

Project Team Members

Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Designer
Paradigm Design Innovations
5005 Riverway Drive
Suite 430
Houston, TX 77056
713.701.9154

Structural Engineer
Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

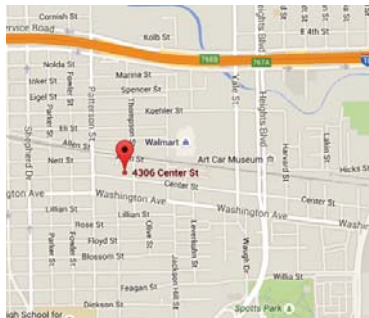
Contractor
Jeff Norman
Coastal Builders

MEP Engineer
NA

Civil Engineer
Momentum Engineering
12651 Briar Forest
Suite 350
Houston, TX 77077
281.741.1998

Landscape Architect
NA

LEED Consultant
NA



Vicinity Map

Center Street Dev

4306 Center Street
Houston, Texas 77007

SITE DEVELOPMENT #

COH PROJECT #

***** COH FORMS ON FOLLOWING SHEETS *****



Sheet Index

General	
G1.00	COH Forms
G1.06	COH Forms
G1.10	General Requirements and Specifications
G1.13	Plot
G1.14	Sketches

Architectural			
A2.01	Site layout	A4.2	Framing and Penetration Details
A2.02	Foundation Plans	A4.3	Wall Sections
A2.03	Foundation Plans	A4.4	Wall Sections
A2.11	First Level Floor Plans	A4.5	Wall Sections
A2.12	Second Level Floor Plans	A4.6	Framing Details
A2.13	Third Level Floor Plans	A4.1	First Level Elec Plans
A2.14	Fourth Level Floor Plan	A4.2	Second Level Elec Plans
A1.21	Roof Plans	A4.3	Third Level Elec Plans
A3.01	Building Elevations	A4.4	Fourth Level Electrical Plans
A3.02	Building Elevations		
A3.03	Building Elevations		
A3.04	Building Elevations		
A4.1	Details		

Civil

Submitted Separately.
Site Develop. # -

Structural	
S1	Foundation Plan
S1.1	Foundation Details and Notes
S3	First Floor Framing Plan
S3	Second Floor Framing Plan
S4	Third Floor Framing Plan
S4	Roof Framing Plan
S5	Framing Details
S6	Structural Details
S7	General Notes

Code Review

International Building Code (IBC),
2006 with City of Houston
Amendments

International Energy Conservation
Code, 2009

National Electric Code, 2014

Uniform Mechanical Code, 2006

Uniform Plumbing Code, 2006

Calc. of Impervious Percentage

per COH Form CE-1207

Re: Civil Calculations

Building Coverage Calculation

per RE: Plan 6113

Re: Civil Calculations

Legal Description

TERRACES ON CENTER
A SUBDIVISION OF 0.159 ACRES (6,935
SQ. FEET) OF LAND, BEING ALL OF
LOTS 48 AND 49 OF MAGNOLIA
ADDITION AS RECORDED IN VOL. 40,
PAGE 235 OF H.C.D.R. CITY OF
HOUSTON, HARRIS COUNTY, TEXAS

PERMIT & CONSTRUCTION

08/18/2015

PROJECT NOTES

THE SCOPE OF THE PROJECT IS TO BUILD 4 FOUR STORY TOWNHOMES.

LOT 1	LOT 2	LOT 3	LOT 4
FIRST LEVEL 365 SQ. FT.	FIRST LEVEL 339 SQ. FT.	FIRST LEVEL 339 SQ. FT.	FIRST LEVEL 339 SQ. FT.
SECOND LEVEL 853 SQ. FT.	SECOND LEVEL 740 SQ. FT.	SECOND LEVEL 740 SQ. FT.	SECOND LEVEL 740 SQ. FT.
THIRD LEVEL 851 SQ. FT.	THIRD LEVEL 821 SQ. FT.	THIRD LEVEL 821 SQ. FT.	THIRD LEVEL 821 SQ. FT.
FOURTH LEVEL 586 SQ. FT.	FOURTH LEVEL 582 SQ. FT.	FOURTH LEVEL 582 SQ. FT.	FOURTH LEVEL 582 SQ. FT.
TOTAL CONDITIONED 2,655 SQ. FT.	TOTAL CONDITIONED 2,462 SQ. FT.	TOTAL CONDITIONED 2,462 SQ. FT.	TOTAL CONDITIONED 2,462 SQ. FT.
GARAGE 383 SQ. FT.	GARAGE 383 SQ. FT.	GARAGE 383 SQ. FT.	GARAGE 383 SQ. FT.
FRONT PORCH 11 SQ. FT.	FRONT PORCH 11 SQ. FT.	FRONT PORCH 11 SQ. FT.	FRONT PORCH 11 SQ. FT.
4TH LEVEL TERRACE 85 SQ. FT.	2ND LEVEL TERRACE 71 SQ. FT.	2ND LEVEL TERRACE 71 SQ. FT.	2ND LEVEL TERRACE 71 SQ. FT.
Mechanics 106 SQ. FT.	4TH LEVEL TERRACE 171 SQ. FT.	4TH LEVEL TERRACE 171 SQ. FT.	4TH LEVEL TERRACE 171 SQ. FT.
TOTAL COVERED 3,233 SQ. FT.	TOTAL COVERED 3,098 SQ. FT.	TOTAL COVERED 3,098 SQ. FT.	TOTAL COVERED 3,098 SQ. FT.



5005 Riverway Drive
Suite 430
Houston, TX 77056
P 713.701.9154
F 713.222.2529
general@paradigmhouston.com



GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET

Appendix E of the Houston Adopted 2006 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 identifies when a separate "Grading Permit" is required. Section 2 identifies the type of grading permit required. "Engineered Grading or Regular Grading," when a "Geotechnical Report" is required in the plans, and when a "Storm Availability Letter" is required to be submitted to the City.

Grading Permits are required for any excavations or fill, or combination thereof, and includes:
• Excavation Permits - Including work proposing the mechanical removal of earth material.
• Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means.

SECTION 1 - Are Permits And Plans Required?

- A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.
NO (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5 feet after completion of such structure?
NO (3) Will there be any excavation greater than 5 feet in depth?
NO (4) Will the excavation create a cut slope 2 feet or more in height but less than 5 feet, with a slope steeper than 1 unit vertical in 1.5 units horizontal? (66.7% slope)

- A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.
NO (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (6) Does the scope of work include fill that is 3 feet or more in depth?
NO (7) Does the scope of work include fill greater than 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope)
NO (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
NO (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
NO (10) Is the proposed fill greater than 1 ft in depth and intended to support a structure, "now or in the future"?

SECTION 2 - What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and testing by a Professional Engineer.
Engineered grading plans are required if "Yes" is answered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading." (8000 cubic yards = 125,000 sq. ft. @ 1 ft depth)

- NO (11) Does the grading project exceed 5000 cubic yards?
Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
YES (12) Does the grading involve less than 5000 cubic yards?
A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:
NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slope)?
NO (14) Is there any grading that requires an engineered design? (Reference Item 11 above.)
NO (15) Does the site include any special geological features and/or considerations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:
NO (16) Does the scope of work to lots exceeding 15,000 sq. ft. include any new impervious cover?
NO (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street DATE 09/24/15
PRINT NAME OF APPLICANT JAMES SCHILLING SIGNATURE
Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 13 of 15

Lot 1



GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET

Appendix E of the Houston Adopted 2006 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 identifies when a separate "Grading Permit" is required. Section 2 identifies the type of grading permit required. "Engineered Grading or Regular Grading," when a "Geotechnical Report" is required in the plans, and when a "Storm Availability Letter" is required to be submitted to the City.

Grading Permits are required for any excavations or fill, or combination thereof, and includes:
• Excavation Permits - Including work proposing the mechanical removal of earth material.
• Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means.

SECTION 1 - Are Permits And Plans Required?

- A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.
NO (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5 feet after completion of such structure?
NO (3) Will there be any excavation greater than 5 feet in depth?
NO (4) Will the excavation create a cut slope 2 feet or more in height but less than 5 feet, with a slope steeper than 1 unit vertical in 1.5 units horizontal? (66.7% slope)

- A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.
NO (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (6) Does the scope of work include fill that is 3 feet or more in depth?
NO (7) Does the scope of work include fill greater than 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope)
NO (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
NO (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
NO (10) Is the proposed fill greater than 1 ft in depth and intended to support a structure, "now or in the future"?

SECTION 2 - What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and testing by a Professional Engineer.
Engineered grading plans are required if "Yes" is answered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading." (8000 cubic yards = 125,000 sq. ft. @ 1 ft depth)

- NO (11) Does the grading project exceed 5000 cubic yards?
Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
YES (12) Does the grading involve less than 5000 cubic yards?
A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:
NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slope)?
NO (14) Is there any grading that requires an engineered design? (Reference Item 11 above.)
NO (15) Does the site include any special geological features and/or considerations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:
NO (16) Does the scope of work to lots exceeding 15,000 sq. ft. include any new impervious cover?
NO (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street DATE 09/24/15
PRINT NAME OF APPLICANT JAMES SCHILLING SIGNATURE
Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 13 of 15

Lot 2



PLAN REVIEW
REQUEST FOR DEFERRED SUBMITTAL
(COMPLETE FORM MUST ACCOMPANY THE SUBMITTA PACKAGE)

PROJECT INFORMATION
Project Address: 4306 Center Street Bid/Site No.
Project Number: Occupancy Classification: SINGLE FAMILY RES.
Construction Type: WOOD FRAME Engineer of Record: James Hattab, P.E.
Dennis Design Group, Inc.
897 Fairview Ln., No. 12 Houston, TX 77057
Phone: 713.898.1008

DEFERRED REQUEST
Indicate items by placing a check in the box which a "Deferred Submittal" is required. Provide the date the plans will be submitted to the City for review.

Table with 2 columns: DEFERRED ITEMS and SUBMITTAL DATE. Rows include Precast Panels, Prefab Metal Building Panels, Prefab Access Floor Systems, Prefab Curtain Wall Systems, Interior Retractable Blinds, Canopies and/or Awnings, Stairs, Prefab Steel Storage Racks, Prefab Wood Trim Details & Linings, Other.

REQUIRES AN APPROVED FABRICATOR
ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements.

- Submittal - All deferred plans will be submitted no later than 90 days from the original plan approval.
Inspections Withheld - A final inspection cannot be scheduled. Certificate of Occupancy (CO) will not be issued, and the release of the utilities will not be granted until all deferred items have been reviewed, inspected and approved.
Holds on Permit - The project will have "Restrictive Holds" entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittal items.
Installation Prohibited - It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal item may be installed or erected prior to the structural plans being submitted and approved for the deferred items.
Engineer of Record Approval - All deferred submittal items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required design / performance specifications. The manufacturer's title block or approval stamp on the shop drawing sheets must be marked (FOR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.
Approved Fabricators - All items designated with an asterisk (*) in the table require a City of Houston Approved Fabricator. To obtain a list of approved fabricators please contact 832-394-9167.

PRINT NAME OF OWNER OR PROJECT MANAGER JAMES SCHILLING
OWNER'S SIGNATURE DATE 09/24/15
PRINT NAME OF CONTRACTOR
CONTRACTOR'S SIGNATURE DATE

Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 1 of 1

Lot 1



GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET

Appendix E of the Houston Adopted 2006 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 identifies when a separate "Grading Permit" is required. Section 2 identifies the type of grading permit required. "Engineered Grading or Regular Grading," when a "Geotechnical Report" is required in the plans, and when a "Storm Availability Letter" is required to be submitted to the City.

Grading Permits are required for any excavations or fill, or combination thereof, and includes:
• Excavation Permits - Including work proposing the mechanical removal of earth material.
• Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means.

SECTION 1 - Are Permits And Plans Required?

- A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.
NO (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5 feet after completion of such structure?
NO (3) Will there be any excavation greater than 5 feet in depth?
NO (4) Will the excavation create a cut slope 2 feet or more in height but less than 5 feet, with a slope steeper than 1 unit vertical in 1.5 units horizontal? (66.7% slope)

- A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.
NO (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (6) Does the scope of work include fill that is 3 feet or more in depth?
NO (7) Does the scope of work include fill greater than 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope)
NO (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
NO (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
NO (10) Is the proposed fill greater than 1 ft in depth and intended to support a structure, "now or in the future"?

SECTION 2 - What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and testing by a Professional Engineer.
Engineered grading plans are required if "Yes" is answered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading." (8000 cubic yards = 125,000 sq. ft. @ 1 ft depth)

- NO (11) Does the grading project exceed 5000 cubic yards?
Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
YES (12) Does the grading involve less than 5000 cubic yards?
A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:
NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slope)?
NO (14) Is there any grading that requires an engineered design? (Reference Item 11 above.)
NO (15) Does the site include any special geological features and/or considerations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:
NO (16) Does the scope of work to lots exceeding 15,000 sq. ft. include any new impervious cover?
NO (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street DATE 09/24/15
PRINT NAME OF APPLICANT JAMES SCHILLING SIGNATURE
Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 13 of 15

Lot 3



GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET

Appendix E of the Houston Adopted 2006 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 identifies when a separate "Grading Permit" is required. Section 2 identifies the type of grading permit required. "Engineered Grading or Regular Grading," when a "Geotechnical Report" is required in the plans, and when a "Storm Availability Letter" is required to be submitted to the City.

Grading Permits are required for any excavations or fill, or combination thereof, and includes:
• Excavation Permits - Including work proposing the mechanical removal of earth material.
• Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means.

SECTION 1 - Are Permits And Plans Required?

- A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.
NO (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5 feet after completion of such structure?
NO (3) Will there be any excavation greater than 5 feet in depth?
NO (4) Will the excavation create a cut slope 2 feet or more in height but less than 5 feet, with a slope steeper than 1 unit vertical in 1.5 units horizontal? (66.7% slope)

- A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.
NO (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
NO (6) Does the scope of work include fill that is 3 feet or more in depth?
NO (7) Does the scope of work include fill greater than 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope)
NO (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
NO (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
NO (10) Is the proposed fill greater than 1 ft in depth and intended to support a structure, "now or in the future"?

SECTION 2 - What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and testing by a Professional Engineer.
Engineered grading plans are required if "Yes" is answered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading." (8000 cubic yards = 125,000 sq. ft. @ 1 ft depth)

- NO (11) Does the grading project exceed 5000 cubic yards?
Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
YES (12) Does the grading involve less than 5000 cubic yards?
A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:
NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slope)?
NO (14) Is there any grading that requires an engineered design? (Reference Item 11 above.)
NO (15) Does the site include any special geological features and/or considerations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:
NO (16) Does the scope of work to lots exceeding 15,000 sq. ft. include any new impervious cover?
NO (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street DATE 09/24/15
PRINT NAME OF APPLICANT JAMES SCHILLING SIGNATURE
Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 13 of 15

Lot 4



PLAN REVIEW
REQUEST FOR DEFERRED SUBMITTAL
(COMPLETE FORM MUST ACCOMPANY THE SUBMITTA PACKAGE)

PROJECT INFORMATION
Project Address: 4306 Center Street Bid/Site No.
Project Number: Occupancy Classification: SINGLE FAMILY RES.
Construction Type: WOOD FRAME Engineer of Record: James Hattab, P.E.
Dennis Design Group, Inc.
897 Fairview Ln., No. 12 Houston, TX 77057
Phone: 713.898.1008

DEFERRED REQUEST
Indicate items by placing a check in the box which a "Deferred Submittal" is required. Provide the date the plans will be submitted to the City for review.

Table with 2 columns: DEFERRED ITEMS and SUBMITTAL DATE. Rows include Precast Panels, Prefab Metal Building Panels, Prefab Access Floor Systems, Prefab Curtain Wall Systems, Interior Retractable Blinds, Canopies and/or Awnings, Stairs, Prefab Steel Storage Racks, Prefab Wood Trim Details & Linings, Other.

REQUIRES AN APPROVED FABRICATOR
ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements.

- Submittal - All deferred plans will be submitted no later than 90 days from the original plan approval.
Inspections Withheld - A final inspection cannot be scheduled. Certificate of Occupancy (CO) will not be issued, and the release of the utilities will not be granted until all deferred items have been reviewed, inspected and approved.
Holds on Permit - The project will have "Restrictive Holds" entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittal items.
Installation Prohibited - It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal item may be installed or erected prior to the structural plans being submitted and approved for the deferred items.
Engineer of Record Approval - All deferred submittal items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required design / performance specifications. The manufacturer's title block or approval stamp on the shop drawing sheets must be marked (FOR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.
Approved Fabricators - All items designated with an asterisk (*) in the table require a City of Houston Approved Fabricator. To obtain a list of approved fabricators please contact 832-394-9167.

PRINT NAME OF OWNER OR PROJECT MANAGER JAMES SCHILLING
OWNER'S SIGNATURE DATE 09/24/15
PRINT NAME OF CONTRACTOR
CONTRACTOR'S SIGNATURE DATE

Form No. CE-1094 06/27/11 (832) 384-8810 Public Works & Engineering Page 1 of 1

Lot 2



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.803.9372
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN AND ENGINEERING. THE DRAWING SET AND ALL ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSOCIATE.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DISCREPANCIES AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION RELATED ISSUES, INCLUDING TECHNICAL SPECIFICATIONS OR PROGRAMS, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate Co.
2420 Houston Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coast Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairlane Ln., No. 12 Houston, TX 77057
Phone: 713.898.1006
jhattab@dd-group.com

Center Street Dev
4306 Center Street
Houston, TX 77007
Job Number: 215022
Client: #Client Inquiry

Drawings Issued For
Permit & Construction

Document Information
CAD FILE NAME: 215022-14-Center Street.dwg
DESIGNED BY: DW
DRAWN BY: DW
CHECKED BY: DW
CORRECTED BY: DW

Project History
Date: 08.11.10
City: Houston
09.00.00 X
09.00.00 X
09.00.00 X
09.24.15 X

COH Forms

G1.03



Department of Public Works & Engineering
Planning & Development Services Division



PLAN REVIEW
REQUEST FOR DEFERRED SUBMITTAL
(COMPLETED FORMS MUST ACCOMPANY THE SUBMITTAL PACKAGE)

PROJECT INFORMATION
Project Address: 4306 Center Street Bldg/Ste. No.
Project Number: _____ Occupancy Classification: SINGLE FAMILY RES.
Construction Type: WOOD FRAME Engineer of Record: James Hattab, P.E.
DYNAMIC DESIGN GROUP, INC.
8177 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096

DEFERRED REQUEST
Indicate items by placing a check in the box which a "Deferred Submittal" is required. Provide the date the plans will be submitted to the City for review.

DEFERRED ITEMS	SUBMITTAL DATE
<input type="checkbox"/> Precast Panels - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Metal Building Panels - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Access Floor Systems	
<input type="checkbox"/> Prefab Curtain Wall Systems - Not Part of a Fire-Rated Assembly	
<input type="checkbox"/> Interior Retractable Blinds	
<input type="checkbox"/> Canopies and/or Awnings	
<input type="checkbox"/> Signs - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Sheet Storage Racks (No High-Pile Storage)	
<input checked="" type="checkbox"/> Prefab Wood Truss Details & Layout	
<input type="checkbox"/> Other:	
<input type="checkbox"/> Other:	

*REQUIRES AN APPROVED FABRICATOR

ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements:

- Submittal** - All deferred plans will be submitted no later than 90 days from the original plan approval.
- Inspections Withheld** - A final inspection cannot be scheduled. Certificate of Occupancy (CO) will not be issued, and the final release of the utilities will not be granted until all deferred items have been reviewed, inspected and approved.
- Holds on Permit** - The project will have "Restrictive Holds" entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittal items.
- Installation Prohibited** - It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal item may be installed or erected prior to the structural plans being submitted and approved for the deferred items.
- Engineer of Record Approval** - All deferred submittal items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required design / performance specifications. The manufacturer's title block or approval stamp on the shop drawings sheets must be marked (FOR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.
- Approved Fabricators** - All items designated with an asterisk (*) in the table require a City of Houston Approved Fabricator. To obtain a list of approved fabricators please contact 832-394-9167.

PRINT NAME OF OWNER OR PROJECT MANAGER: JAMES SCHILLING
OWNER'S SIGNATURE: _____ DATE: 09/24/15
PRINT NAME OF CONTRACTOR: _____
CONTRACTOR'S SIGNATURE: _____ DATE: _____

Form No. CE-1086 06/27/11 (832) 394-8810 Public Works & Engineering Page 1 of 1

Lot 3

CITY OF HOUSTON PLANNING DEPARTMENT
3100 Main Street, 7th Floor Houston, Texas 77056; COB ENFORCEMENT BUILDING

RESIDENTIAL LANDSCAPE ANALYSIS FORM/TREE CREDIT PURCHASE
FOR COMPLETION BY THE APPLICATOR, OWNER OR REPRESENTATIVE FOR THE PROJECT

PROJECT NUMBER: _____
ADDRESS: 4306 Center Street
 HOUSE ADDD NEW CONSTRUCTION

SINGLE FAMILY RESIDENTIAL LOTS UNDER 5000 SF - PLEASE CHECK APPLICABLE BOXES AND SPECIFY SPECIES AND CALIPER

DATE	LOTS UNDER 5000 SF - 1 TREE IS REQUIRED	
	LANDSCAPE	CONSERVATION
LOCATION	<input type="checkbox"/> RIGHT-OF-WAY ONLY	<input type="checkbox"/> RIGHT-OF-WAY ONLY <input type="checkbox"/> BUILDING SITE
<input checked="" type="checkbox"/> PLANTED <input type="checkbox"/> PRESERVED	TREE SPECIES	TREE CALIPER

SINGLE FAMILY RESIDENTIAL LOTS 5000 SF AND GREATER - PLEASE CHECK APPLICABLE BOXES AND SPECIFY SPECIES AND CALIPER

DATE	LOTS 5000 SF AND GREATER - 3 TREES ARE REQUIRED	
	LANDSCAPE	CONSERVATION
LOCATION	<input type="checkbox"/> RIGHT-OF-WAY ONLY	<input type="checkbox"/> RIGHT-OF-WAY ONLY <input type="checkbox"/> BUILDING SITE
<input checked="" type="checkbox"/> PLANTED <input type="checkbox"/> PRESERVED	TREE NUMBER AND SPECIES	TREE CALIPER
		2 TOTAL TREES

- Sec 33-130 PRESERVATION OF EXISTING TREES AND ASSOCIATED UNDERSTORY**
- (a) The following procedure shall be required where credit for the preservation of existing trees and associated understory is being requested to be applied toward the tree planting requirement pursuant to section 33-129(a) of the Code or the protected tree requirement regulation. Where such credit is being requested, the applicant shall also apply to the building official for review with the building plans a tree and associated understory preservation plan and shall include:
- Delineation of proposed limit of clearance and establishment of tree protection zones which shall extend to outside the drip-line of the tree and associated understory to be protected, if any;
 - The proposed soil stabilization practices, i.e., silt fence, hay bales;
 - The species of each tree to be preserved and for which credit is being requested;
 - The proposed finished grade and elevation of land within six feet of or within the drip-line of any tree to be preserved, whichever is greater, shall not be raised or lowered more than three inches unless compensated for by walking or retaining methods;
 - Existing and proposed location of all trees and plant materials to be relocated at the drawing scale;
 - A landscape situation, and formal credit request for existing trees to be preserved which have a minimum of four inches in caliper and greater;
 - Tree and associated understory preservation details; and
 - Specification of ground plane treatment as either turf or sod. If a combination of both is utilized, the limit of each shall be indicated.
- (b) The following tree relocation information shall be provided on the landscape plan in a report for the transplantation of existing specimen trees when preservation credit is being requested for them. This information shall include an assessment of the cost of transplanting the tree as opposed to the potential monthly rate which may result from the altered transpiration. If relocation is selected, the following information shall be provided:
- Transplanting techniques;
 - Equipment to be utilized;
 - Locations of existing trees and proposed locations for transplanted trees;
 - Genus, species, caliper, height and general condition of the existing tree;
 - Planting and maintenance schedule and methods to be followed; and
 - Which form of assurance of performance will be provided, i.e., enclosed contract, bond, or assigned certificate of deposit.
- (c) Preservation credit is requested. The trees shall be protected and preserved as set forth in appendix C.
- (d) The department shall make recommendations to minimize damage to existing vegetation during the site construction phase. The department shall also suggest possible uses for those trees removed as a result of development such as the creation of wood chip mulch from removed hardwood trees.

4306 Center St.



Department of Public Works & Engineering
Planning & Development Services Division



PLAN REVIEW
REQUEST FOR DEFERRED SUBMITTAL
(COMPLETED FORMS MUST ACCOMPANY THE SUBMITTAL PACKAGE)

PROJECT INFORMATION
Project Address: 4306 Center Street Bldg/Ste. No.
Project Number: _____ Occupancy Classification: SINGLE FAMILY RES.
Construction Type: WOOD FRAME Engineer of Record: James Hattab, P.E.
DYNAMIC DESIGN GROUP, INC.
8177 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096

DEFERRED REQUEST
Indicate items by placing a check in the box which a "Deferred Submittal" is required. Provide the date the plans will be submitted to the City for review.

DEFERRED ITEMS	SUBMITTAL DATE
<input type="checkbox"/> Precast Panels - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Metal Building Panels - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Access Floor Systems	
<input type="checkbox"/> Prefab Curtain Wall Systems - Not Part of a Fire-Rated Assembly	
<input type="checkbox"/> Interior Retractable Blinds	
<input type="checkbox"/> Canopies and/or Awnings	
<input type="checkbox"/> Signs - Non Fire-Rated Construction Only	
<input type="checkbox"/> Prefab Sheet Storage Racks (No High-Pile Storage)	
<input checked="" type="checkbox"/> Prefab Wood Truss Details & Layout	
<input type="checkbox"/> Other:	
<input type="checkbox"/> Other:	

*REQUIRES AN APPROVED FABRICATOR

ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements:

- Submittal** - All deferred plans will be submitted no later than 90 days from the original plan approval.
- Inspections Withheld** - A final inspection cannot be scheduled. Certificate of Occupancy (CO) will not be issued, and the final release of the utilities will not be granted until all deferred items have been reviewed, inspected and approved.
- Holds on Permit** - The project will have "Restrictive Holds" entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittal items.
- Installation Prohibited** - It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal item may be installed or erected prior to the structural plans being submitted and approved for the deferred items.
- Engineer of Record Approval** - All deferred submittal items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required design / performance specifications. The manufacturer's title block or approval stamp on the shop drawings sheets must be marked (FOR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.
- Approved Fabricators** - All items designated with an asterisk (*) in the table require a City of Houston Approved Fabricator. To obtain a list of approved fabricators please contact 832-394-9167.

PRINT NAME OF OWNER OR PROJECT MANAGER: JAMES SCHILLING
OWNER'S SIGNATURE: _____ DATE: 09/24/15
PRINT NAME OF CONTRACTOR: _____
CONTRACTOR'S SIGNATURE: _____ DATE: _____

Form No. CE-1086 06/27/11 (832) 394-8810 Public Works & Engineering Page 1 of 1

Lot 4



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.803.9372
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN INNOVATION. DESIGNER, THE DRAWING SET AND ALL OF ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSIGNEE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION, FIELD, OR FIELD OF WORK. THE DESIGNER IS NOT RESPONSIBLE FOR TECHNICAL, REGULATORY, OR PROCEDURAL OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston,
TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: Client company

Drawings Issued For

Permit & Construction

Document Information

CAD FILE NAME: 20150814-Center Street.pln

DESIGNED BY: JWH
DRAWN BY: JWH
CHECKED BY: JWH
DATE: 09/24/15

Project History

Date	Issue
08.10.15	City Submittal
09.00.00	X
09.00.00	X
09.00.00	X

09/24/15

COH Forms

G1.04

\\sct\public\info\Drawings\215022\center_street_development\Drawings\215022\Center Street.dwg



5005 Rivecourt Drive
Houston, Texas 77056
P 713.933.9332
F 713.933.9322
gene@paradigmgroup.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN INNOVATIVE DESIGNER. THE DRAWING SET AND ALL OF ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSIGNEE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION DETAILS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
Jameel Hatab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhatab@ddg-inc.com

Center Street Dev
4306 Center Street
Texas 77007

Job Number: 215022
Client: Client Company

Drawings Issued For

Permit & Construction

Document Information
CAD File Name: 215022\Center Street.dwg

DESIGNED BY: JNH
DRAWN BY: JNH
CHECKED BY: JNH
APPROVED: Paradigm Design - 2015

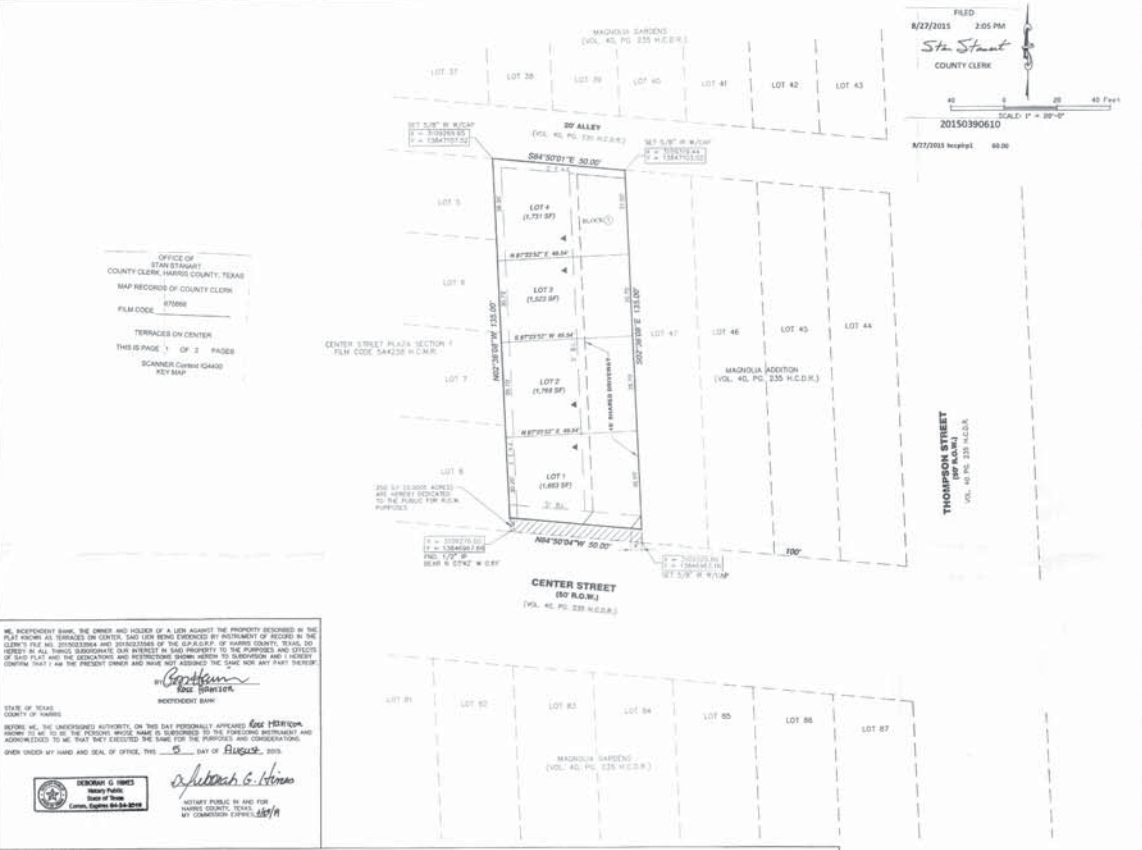
Project History

Date	Issue
08.10.10	City Submittal
08.00.00	X
08.00.00	X
08.00.00	X

09/24/15

Plat

G1.13



FILED
8/27/2015 3:05 PM
City Clerk
State of Texas
20150390610
8/27/2015 10:41 AM 69.00

OFFICE OF
TAMM STAWART
COUNTY CLERK, HARRIS COUNTY, TEXAS
MAP RECORDS OF COUNTY CLERK
FILM CODE: 47668
TERRACES ON CENTER
THIS IS FILED IN 2 PAGES
SCANNER: Canva 04/04/2015
2015-2015-04-04

- GENERAL NOTES:**
- "ELL" INDICATES BUILDING LINE
 - "R" INDICATES RAINFALL EASEMENT
 - "A-E" INDICATES EASEMENT
 - "C" INDICATES FILM CODE
 - "H.C.E." INDICATES HARRIS COUNTY MAP RECORDS
 - "H.E.L." INDICATES HARRIS COUNTY CLAIMS FILE
 - "H.C.D." INDICATES HARRIS COUNTY DEED RECORDS
 - "R.H." INDICATES RIGHT OF WAY
 - "T.M." INDICATES TOWER
 - "V.W." OR "P.C." INDICATES RECORDING VOLUME / PAGE
 - "L.H.L." INDICATES HOISTING LIGHTING AND POWER COMPANY
 - "M" INDICATES MUTT FROM HOUS. WITH CAR LIFT (214.01)
 - "M" INDICATES MONUMENTATION FOUND
 - "V" INDICATES VEHICULAR ACCESS
 - "W.L." INDICATES WATER LINE EASEMENT
 - "S.L.E." INDICATES SANITARY EJECTOR EASEMENT
 - "S.S.A.C." INDICATES SANITARY SEWER ACCESS EASEMENT
 - "S.E.E." INDICATES STORM SEWER EASEMENT
 - "L.E." INDICATES DRAINAGE EASEMENT

LOT NO.	LOT SIZE (SQ. FEET)	MIN. GROUND AREA TO BE COVERED	MAX. BUILDING FOOTPRINT COVERAGE (SQ. FEET)	MAX. BLDG. HEIGHT (FEET)
1	1,963.97	628.56	997.8	28.0
2	1,968.97	628.56	1,002.6	28.0
3	1,972.97	628.56	971	28.0
4	1,977.97	628.56	978	28.0

TOTAL NO. OF DWELLING UNITS	TOTAL GROSS ACRES	TOTAL PROJ. DENSITY (UNITS PER AC.)
4	0.159 ACRES	25.15

1. ADEQUATE EVIDENCE THAT THE DEDICATION PROVISION IS IN FULL COMPLIANCE WITH THE CITY OF HOUSTON, TEXAS	2. NUMBER OF EXISTING DWELLING UNITS	3. NUMBER OF PROPOSED UNITS	4. NET NUMBER OF UNITS
1	0	4	4
1	0	4	4

PLAT NOTES:

1) LOTS 1 THROUGH 4 BLOCK 1 ARE REVERTED TO SINGLE FAMILY RESIDENTIAL USE AS DENIED BY CHAPTER 41 OF CITY OF HOUSTON CODE OF ORDINANCE.

2) UNLESS OTHERWISE INDICATED, THE BUILDING LINES WITHIN ONE OF MORE UNITS ON THIS SUBDIVISION PLAT ARE ESTABLISHED TO EXACTLY COMPLY WITH THE APPLICABLE PROVISIONS OF CHAPTER 43, CODE OF ORDINANCES, CITY OF HOUSTON. DETAILS IN EXCESS OF THE DATE THIS PLAT WAS APPROVED, WHICH MAY BE APPLIED TO THE DATE OF THIS PLAT.

3) SINGLE FAMILY RESIDENTIAL UNITS SHALL BE USED BY A LOT WITH THE BUILDING DESIGNER FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND BATHING INHERENT IN A LOT WHICH IS LOCATED IN A FREE-STANDING BUILDING OR ONE AND A HALF STOREY APARTMENT BUILDING WITHIN A LOT OF MORE THAN 30,000 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONVEYED BY A PARTY SHALL TO PROVIDER BUILDING CONTAINS ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL.

4) AT LEAST ONE SQUARE FOOT OF FURNISHABLE AREA IS REQUIRED FOR EACH SQUARE FOOT OF FURNISHABLE AREA SHALL BE PROVIDED WITHIN THE BOUNDARIES OF THIS SUBDIVISION.

5) EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES FOR DWELLING UNITS ON EACH LOT IN BUSES DISTANCES MADE A SECONDARY DWELLING UNIT IS PROVIDED ONLY THE ADDITIONAL OFF-STREET PARKING SPACE SHALL BE PROVIDED.

6) ALL LOTS SHALL HAVE ADEQUATE WATERWAY SERVICES.

7) NO BUILDING FRONT OR OTHER PERMIT EASEY PERMIT FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF HOUSTON, TEXAS FOR CONSTRUCTION WITHIN THE SUBDIVISION UNITS UNLESS THE CITY ENGINEER HAS BEEN SUBMITTED AND ACCEPTED BY THE CITY.

8) NO LAND IS BEING ESTABLISHED AS PRIVATE FARM OR DEDICATED TO THE PUBLIC FOR PARK PURPOSES.

9) THIS PROJECT IS LOCATED IN A PUBLIC DEVELOPMENT AS DEFINED BY SECTION 41.09 OF THE CITY OF HOUSTON, TEXAS HAS BEEN SUBMITTED AND ACCEPTED BY THE CITY.

10) THIS PERCENTAGE OF UNITS SHALL BE APPLIED TO THE THEN-CURRENT FEE IN USE OF DEDICATION.

11) THE THEN-CURRENT FEE IN USE OF DEDICATION SHALL BE APPLIED TO THIS NUMBER 3 UNITS OF DWELLING UNITS.

12) NO HEAVY OR OVERSEER TRASH-COLLECTION SERVICE SHALL BE PROVIDED TO RESIDENTIAL UNITS SUITABLE FOR COLLECTION PURSUANT TO ITEM 3 OF SEC. 29.03 OF THE CODE OF ORDINANCES.

13) THE COORDINATES SHOW HEREON CAN BE CONVERTED TO DEAK NORTH CENTRAL ZONE 4504 STATE PLANE GRID COORDINATES BY USE BY APPLYING THE FOLLOWING CORRECTED SCALE FACTOR OF 0.999999997.

14) THIS SUBDIVISION CONTAINS ONE OR MORE SHARED DRIVEWAYS THAT HAVE NOT BEEN DEDICATED TO OR ACCEPTED BY THE CITY OF HOUSTON OR ANY OTHER LOCAL GOVERNMENT AGENCY AND PUBLIC RIGHTS OF WAY OF THE CITY OF HOUSTON SHALL BE DEDICATED FOR SUCH USE ONLY UNDER LOCAL GOVERNMENT AGENCY. ANY OBLIGATION TO MAINTAIN OR REPAIR ANY SHARED DRIVEWAYS WITHIN THE SUBDIVISION, WHICH OBLIGATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNERS OF PROPERTY IN THIS SUBDIVISION.

15) ANY FENCE OR WALL UP TO EIGHT FEET HIGH SHALL BE LOCATED AT LEAST TWO FEET FROM THE PROPERTY LINE ALONG THE COLLECTOR STREET ON JACK STREET THIS AREA SHALL BE FINISHED AND MAINTAINED WITH LANDSCAPING.

16) VEHICULAR ACCESS TO LOTS 1 THROUGH 4 SHALL BE PROVIDED FOR BY A SHARED DRIVEWAY ONLY.

17) LOTS WITHIN THIS DEVELOPMENT ARE SUITABLE FOR CITY OF HOUSTON SOLID WASTE PICK UP. ANY HOME PREPARED FOR THIS SUBDIVISION SHOULD INCLUDE NOTICE TO PROPERTY OWNERS FOR THEIR SUFFICIENCY.

18) ALL DRAINAGE UTILIZATION OF THE ADJACENT LOT(S) AND NORMAL DRAINAGE MUST BE KEPT UNDISTURBED FROM AND NON-UTILITY IMPROVEMENTS OR OBLIGATIONS BY THE PROPERTY OWNERS. ANY UNDISTURBED IMPROVEMENTS OR OBLIGATIONS MUST BE MAINTAINED BY ANY PUBLIC UTILITY AT THE PROPERTY OWNER'S EXPENSE. WALL, EXISTING HOISTS AND PARALLEL WOODEN FENCES ALONG THE FRONTER AND BACK (S) OF EACH COLLECTOR AND ALTERNATE FEEL LOTS UNLESS OTHERWISE NOTED. THEY MAY BE REMOVED BY PUBLIC UTILITIES AT THE PROPERTY OWNER'S EXPENSE (S) ONLY IN AN EMERGENCY. PUBLIC UTILITIES MAY PUT 3/4" WOODEN POSTS AND PARALLEL WOODEN FENCES BENEATH, BUT OTHERWISE WILL HAVE NO LIABILITY. PUBLIC UTILITIES MUST PUT 3/4" WOODEN POSTS AND PARALLEL WOODEN FENCES BENEATH, BUT OTHERWISE WILL HAVE NO LIABILITY.

TERRACES ON CENTER
A SUBDIVISION OF 0.159 ACRES (6,935 SQUARE FEET) OF LAND, BEING ALL OF LOTS 48 AND 49 OF MAGNOLIA ADDITION AS RECORDED IN VOL. 40, PAGE 235 OF H.C.D.E.
CITY OF HOUSTON, HARRIS COUNTY, TEXAS.

REASON FOR REPLAT: TO CREATE FOUR (4) RESIDENTIAL LOTS

4 LOTS 1 BLOCK
JULY 2015

OWNERS
SIF DEVELOPMENT, LLC
2420 WASHINGTON AVE.
HOUSTON, TX 77019

ENGINEER & SURVEYOR
MOMENTUM ENGINEERING COMPANY, LLC
1005 BRANTHOPE BLVD, SUITE 200 HOUSTON, TEXAS 77057
(281) 261-1411 (FAX) 281-261-2630
(281) 261-7410 (TOLL FREE)
15-0411-J25 © 15-0411-0001 (SPR) 2 © 15-0411

\\mcc\p\j\p\ch\p\Drawings\201502\center_street_development\Drawings\20150814_Center Street.dwg



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.863.9312
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN. NO PART OF THIS DESIGN SET AND ALL OF ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED, OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSIGNEE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION, MATERIAL, INSTALLATION, TECHNICAL, STRUCTURAL, OR PROGRAMME, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston,
TX 77057
Phone: 713.898.1096
jhattab@ddg-group.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: #Client Company

Drawings Issued For

Permit & Construction

Document Information
CAD FILE NAME: 20150814-Center Street.dwg

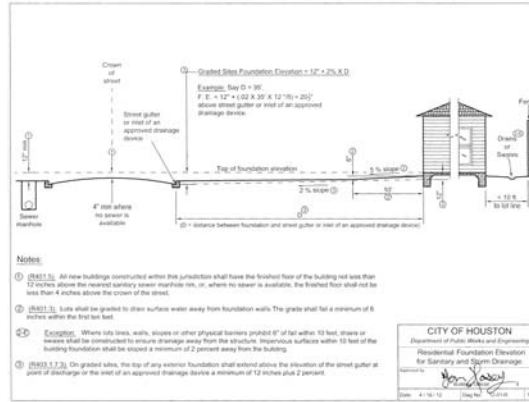
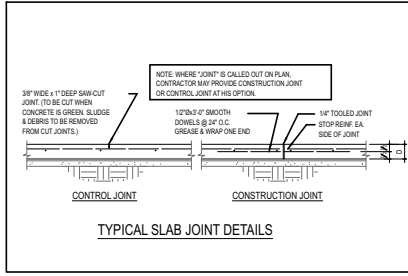
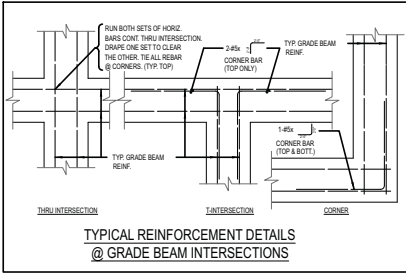
DESIGNED BY: ghw
DRAWN BY: ghw
CHECKED BY: ghw
COPYRIGHT: Paradigm Design - 2015

Project History

Date	Issue
08.18.15	City Submittal
09.02.15	X
09.02.15	X
09.02.15	X

09/24/15
Sketches

G1.14



NOTES

1. FINISHED FLOOR ELEVATION TO BE 1'-0" MIN ABOVE NEAREST MAINHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER (R401.5)
2. LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MINIMUM OF 1/4" IN THE FIRST 10' (S1)

SITE NOTES

1. All drawings presented here reference the IRC 2006 Building Codes, w/ City of Houston amendments.
 2. Finished floor elevation shall be a minimum of 12" above the top of the nearest sanitary sewer mainline cover. Qualified engineer shall determine final slab elevation, and provide a site grading plan as per local authority.
 3. Elevation of the nearest sanitary sewer mainline cover is assumed to be 100.0'. Curb elevation (as referenced) taken from top of the curb.
 4. Builder shall approve location of house on lot and to verify all utility locations. All easements, building, book face and setback lines PRIOR to construction.
 5. Plumber shall determine location of water meter and contact the local authority to connect. Water pipe to be sch. 40 P.V.C. (or equal).
 6. Plumber shall connect into existing sanitary sewer. Piping to be sch. 40 P.V.C. (or equal).
 7. Electrician to run three underground conduits from source pole or transformer to location specified by Contractor for:
 - a. telephone service
 - b. cable service (at the same location)
 8. All drainage and runoff shall be collected on site on an underground system or directed on the surface to the street. Drainage and runoff are not allowed to be directed onto adjacent properties. Drain piping shall be sch. 40 P.V.C. (UNO) when area drains are used.
 9. Provide one qualified tree per 5000 sq. ft. of lot size.
 10. Shaded areas designate minimum common areas and for private easements (per application).
- This parcel is used as a guide for the drafting of the required common area agreement letter only.
Common area agreement letter shall take precedence.
11. All water, sanitary sewer, storm electrical piping, and paving located in the common areas) shall be maintained by the homeowner's association.
12. All piping in the R.O.V. shall be reinforced concrete where applicable.



THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN. INNOVATIVE DESIGNER. THIS DRAWING SET AND ALL OF THE CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSOCIATE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS OF REVISIONS, RE-DESIGN, RE-ESTIMATES, TECHNICAL REVISIONS, OR PROCEEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
James Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group, Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@dsg-group.com

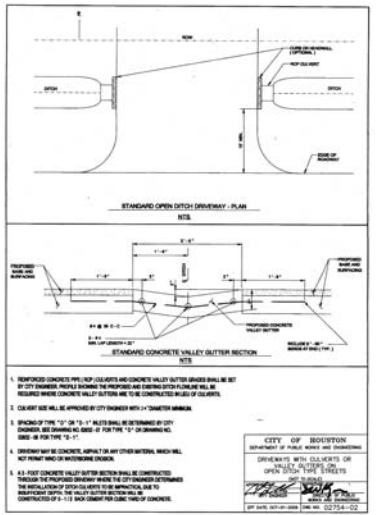
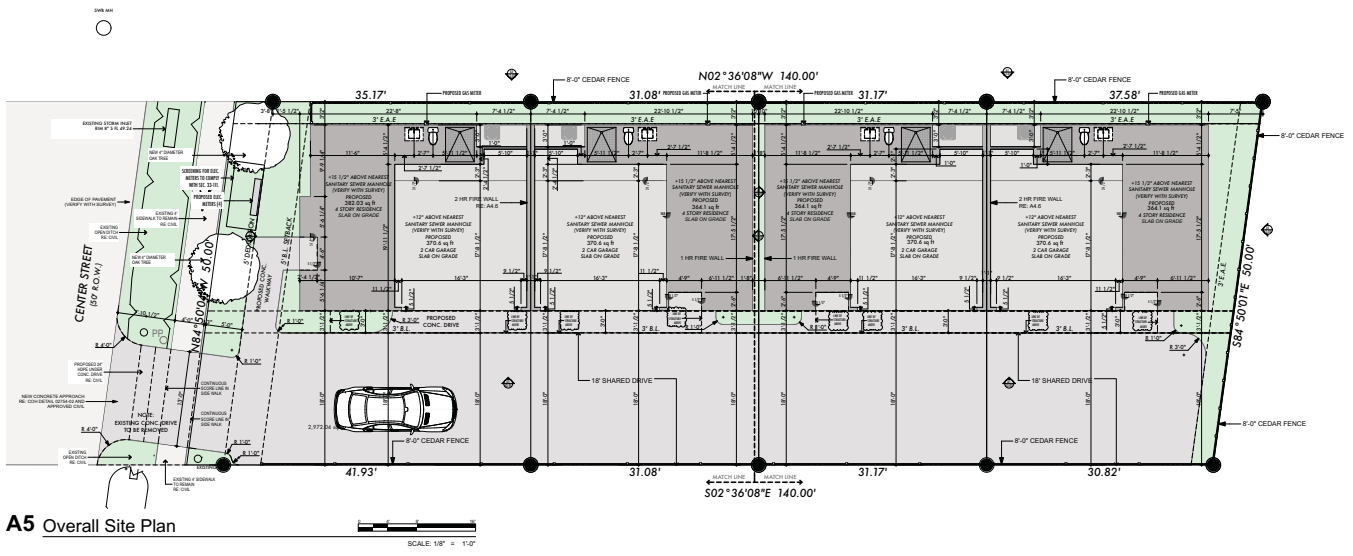
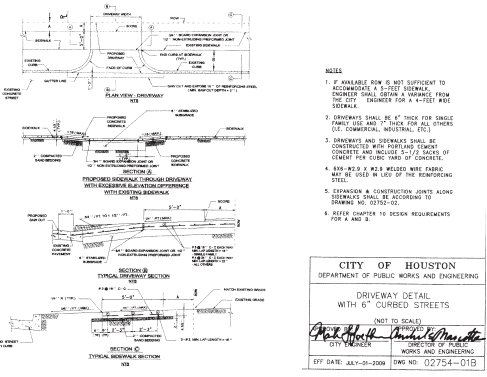
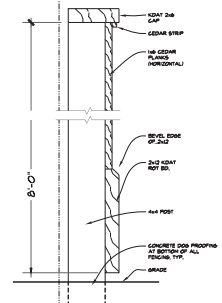
Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: #Client Company

Building Coverage Calculations:

Lot 1 = 1,663 sq ft	Bldg Cov = 788 sq ft / 48%
Lot 2 = 1,769 sq ft	Bldg Cov = 767 sq ft / 43%
Lot 3 = 1,523 sq ft	Bldg Cov = 767 sq ft / 50%
Lot 4 = 1,731 sq ft	Bldg Cov = 767 sq ft / 44%
Total Covered	3,089 sq ft
Total Covered %	45%

Calc. of Impervious Percentage:

Lot	6,936 sq ft / .16 AC
Proposed Impervious Coverage	6,061 sq ft / .24 AC
	87%
	(75% Allowed)



Drawings Issued For
Permit & Construction
Document Information
CAD FILE NAME: 215022-4-Center Street.dwg

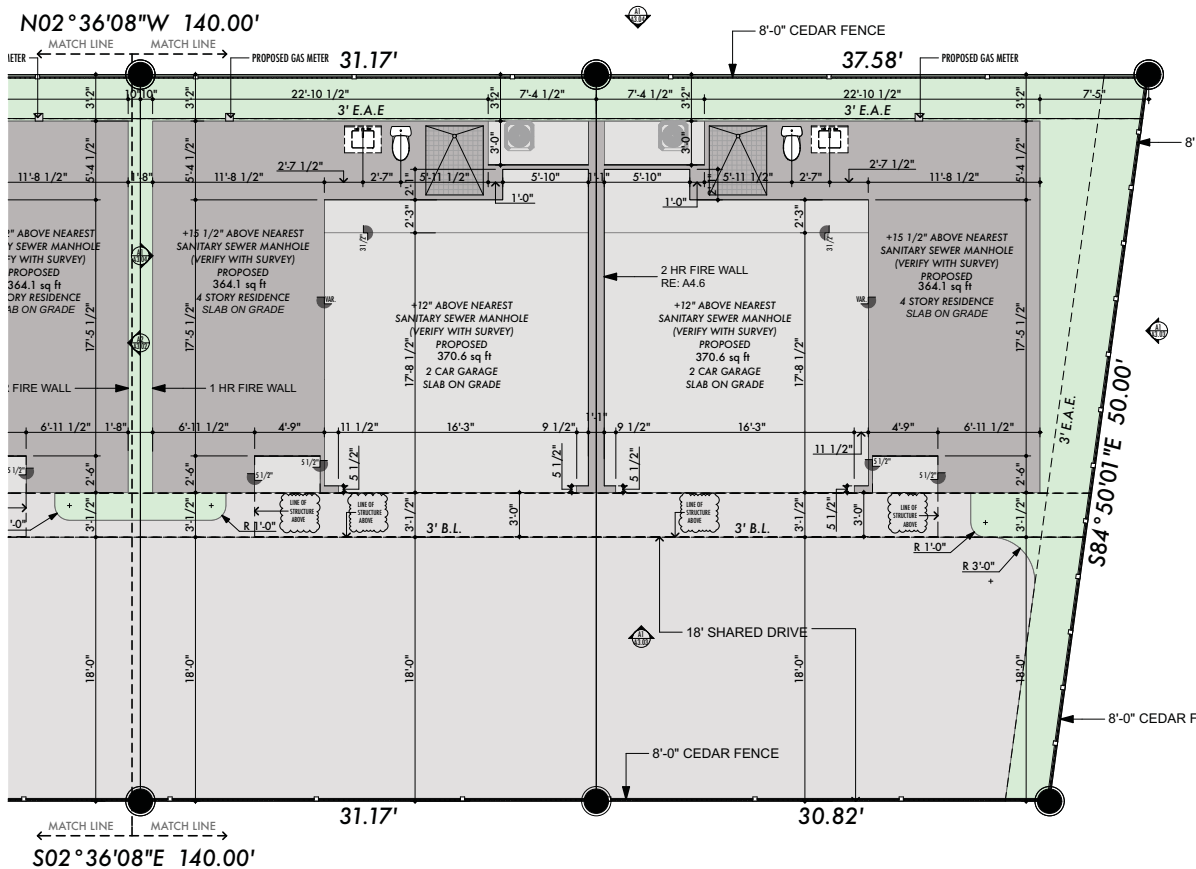
Project History

DESIGNED BY:	DWG
DRAWN BY:	DWG
CHECKED BY:	DWG
CORRECTED:	Paradigm Design - 2015

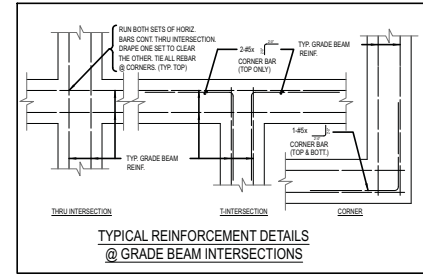
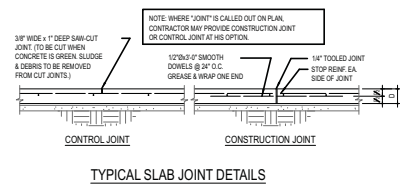
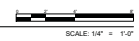
Site layout
09/24/15

A0.01

A:\Users\jstacy\working\Drawings\215022\center_street_development\Drawings\215022\A1\Center Street.dwg



A1 Lot 3 & Lot 4 Foundation Plans



5005 Riverway Drive
 Suite 430
 Houston, Texas 77056
 P 713.701.9154
 F 713.863.9312
 gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN. REPRODUCTION, DESIGN, THE DRAWING SET AND ALL OF ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED, OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSIGNEE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CHANGES TO THE DESIGN, INCLUDING, BUT NOT LIMITED TO, TECHNICAL, SCHEDULE, OR PROGRAMME, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
 Texas Real Estate & Co.
 2420 Washington Ave.
 Houston, TX 77007

Contractor
 Jeff Norman
 Coastal Builders

Structural Engineer
 Jameel Hattab, P.E.
 Dynamic Design Group Inc.
 5917 Fairdale Ln., No. 12 Houston,
 TX 77057
 Phone: 713.898.1096
 jhattab@ddg-group.com

Center Street Dev
 4306 Center Street
 Texas 77007
 Job Number: 215022
 Client: #Client Company

Drawings Issued For

Permit & Construction

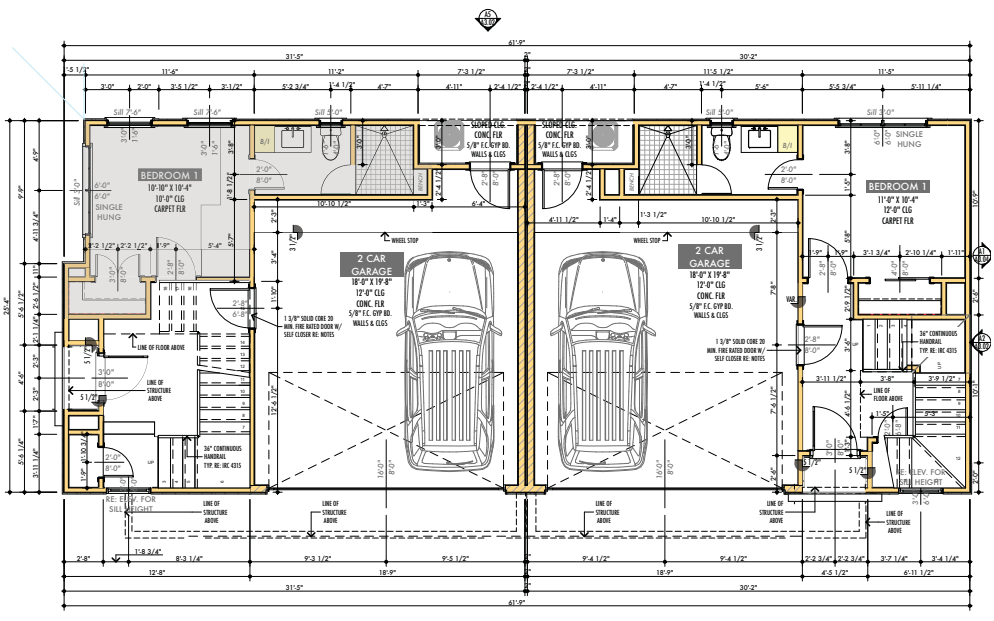
Document Information
 CAD FILE NAME: 20150814-Center Street.dwg
 DESIGNED BY: BHW
 DRAWN BY: BHW
 CHECKED BY: BHW
 CADDIST: Paradigm Design - 2015

Project History

Date	Issue
08.08.15	City Submittal
08.08.00	X
08.08.00	X
08.08.00	X

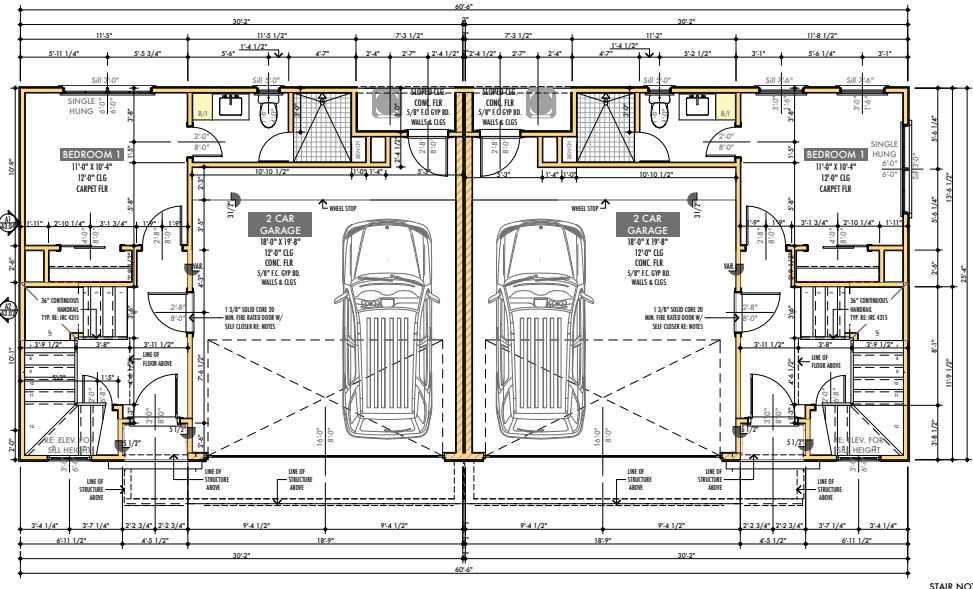
09/24/15
Foundation Plans

A0.03



C5 Lot 1 & 2 First Level Floor Plan

SCALE: 1/4" = 1'-0"



A1 Lot 3 & 4 First Level Floor Plan

SCALE: 1/4" = 1'-0"

- GENERAL PLAN NOTES:**
- ALL EGRESS WINDOWS TO BE SINGLE HUNG.
 - 13R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

LOT 1

FIRST LEVEL	365 SQ. FT.
SECOND LEVEL	855 SQ. FT.
THIRD LEVEL	855 SQ. FT.
FOURTH LEVEL	586 SQ. FT.
TOTAL CONDITIONED	2,665 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
4TH LEVEL TERRACE	80 SQ. FT.
MECHANICAL	154 SQ. FT.
TOTAL COVERED	3,233 SQ. FT.

LOT 2

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 4

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 3

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

- GENERAL PLAN NOTES:**
- DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
 - ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.
 - ALL WINDOWS AND DOOR DIMENSIONS ARE TAKEN TO THE CENTER LINE OF THE UNIT U.I.O.
 - EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.
 - INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.
 - USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION K308.4 OF 2006 IBC.
 - PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS USE 5/8" TYPE-X FIRE RATED SHEETROCK UNLESS SPECIFIED OTHERWISE
 - PROVIDE SQUARE CYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE
 - SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.
 - INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND FLOORING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.
 - INSTALL WEATHER STRIPPING AND METAL THRESHOLDS AT ALL EXTERIOR DOORS. OWNER/ARCHITECT TO APPROVE FINISH.
 - SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF DOWN SPOUTS AND GUTTERS.
 - PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. 1/2" THICK AND SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILING, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.
 - THE FULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOUND ROOFING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
 - CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.
 - PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.
 - ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
 - HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.
 - DOOR FROM GARAGE TO INTERIOR SHALL BE UL RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

- MECHANICAL NOTES:**
- A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.
 - GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD
 - BLOWER MOTOR AT KITCHEN HOOD IS REMOVE W/ SILENCER U.I.O.

- GENERAL PLUMBING NOTES:**
- PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.
 - ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.
 - PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (EVERY WITH OWNER)
 - WATER HEATERS ARE TANKLESS "ON DEMAND."
 - ALL TOILET CUT OFFS SHALL BE COORDINATED WITH OWNER SPECIFIED TOILET AND SPECIFIED BASE MATERIAL. ALL CUT OFFS SHALL BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL.
 - PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
 - PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.
 - ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.
 - ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION B317.3.1.1.

- GENERAL BATH NOTES:**
- TILE FLOORS AT WET AREAS
 - ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
 - SAFETY GLASS AND MUST COMPLY WITH K308 (IBC 2006)
 - SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" AOV. DRAIN INLET OVER CONCRETE BACKERBOARD
 - ALL PLUMBING FIXTURES SHALL BE SPACED PER K307.2 (IBC 2006)
 - BUILDER TO VERIFY BOUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPING

- ATTIC ACCESS NOTES:**
- DISAPPEARING STAIRS MAY BE USED IN FIRE-PROTECTED GARAGE CEILING IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE CRACK SIDE IS NOT LESS THAN 3/4" FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 1/4" GUAGE SHEET METAL

STAIR NOTE:
MINOR STAIR DIAMETER OF 60" FOR A METAL STAIR AND 64" FOR A WOOD STAIR TREAD PATH (LENGTH OF TREAD), 20" CENTER TREAD WIDTH, 7 1/2" IN FROM THE NARROW END OF THE TREAD. HEADROOM MINIMUM OF 6'6". RISER HEIGHT CANNOT EXCEED 9 1/2". BALUSTER SPACING OF MORE THAN 4" (TO PREVENT CHILDREN FROM STICKING THEIR HEADS BETWEEN BALUSTERS); MINIMUM HEIGHT OF THE HANDRAIL OF 34" LANDING WIDTH, USUALLY THE SAME AS THE TREAD PATH. RAIL HEIGHT ON THE LANDING, WELL AND BALCONY RAIL HAS A MINIMUM HEIGHT OF 36". WEIGHT CAPACITY, A MINIMUM OF 300 POUNDS PER SQUARE FOOT.



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.803.9312
gen@paradigmhouston.com

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston,
TX 77057
Phone: 713.898.1096
jhattab@ddg-groupinc.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: Client Company

Drawings Issued For
Permit & Construction
Document Information
CAD FILE NAME: 20150114-Center Street.dwg

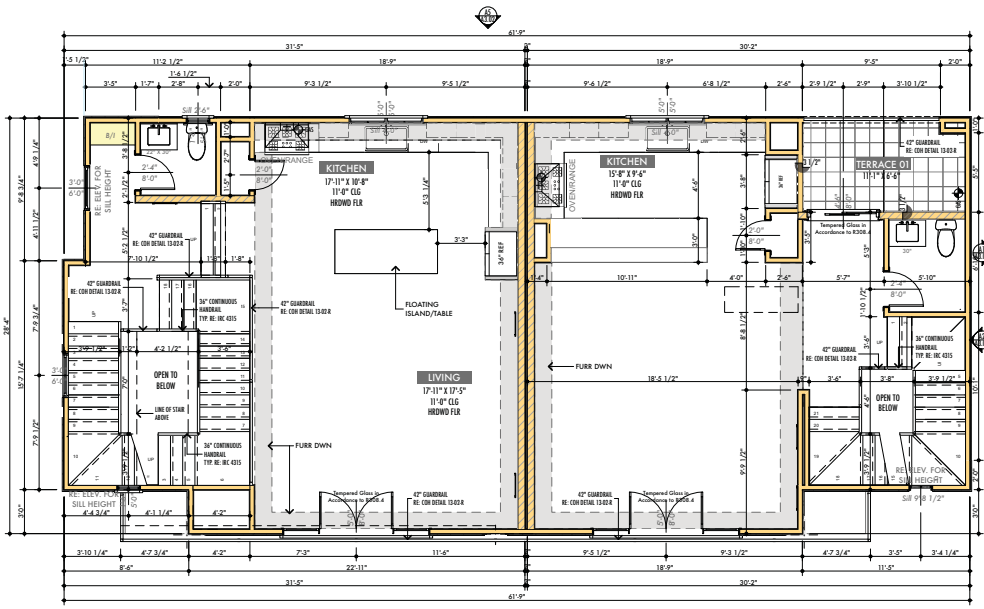
DESIGNED BY: DW
DRAWN BY: DW
CHECKED BY: DW
DATE: 09/24/15

Project History
09/24/15

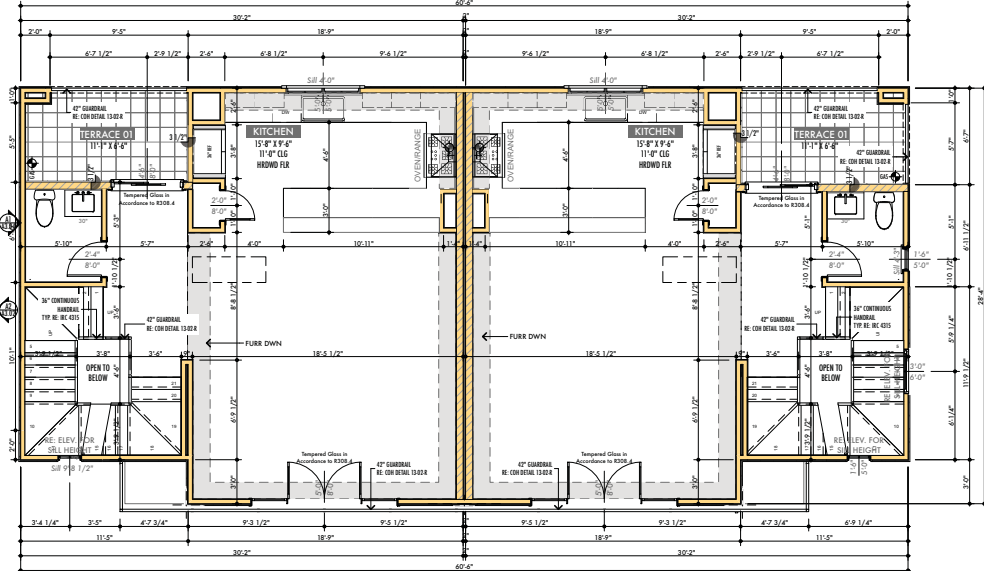
First Level Floor Plans

A2.11

X:\Users\jparadigm\Documents\215022\center_street_dev\development\Drawings\210150114-Center Street.dwg



C5 Lot 1 & 2 Second Level Floor Plan



A1 Lot 3 & 4 Second Level Floor Plan



- NOTE:**
1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.
 2. 13R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

LOT 1

FIRST LEVEL	365 SQ. FT.
SECOND LEVEL	851 SQ. FT.
THIRD LEVEL	851 SQ. FT.
FOURTH LEVEL	586 SQ. FT.
TOTAL CONDITIONED	2,653 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
4TH LEVEL TERRACE	80 SQ. FT.
MECHANICAL	104 SQ. FT.
TOTAL COVERED	3,233 SQ. FT.

LOT 2

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 4

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 3

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

- GENERAL PLAN NOTES**
1. DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
 2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.
 3. ALL WINDOWS AND DOOR DIMENSIONS ARE TAKEN TO THE CENTER LINE OF THE UNIT U.M.C.O.
 4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.
 5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.
 6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING (WHATEVER LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.
 7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS USE 5/8" TYPE-X FIRE RATED SHEETROCK UNLESS SPECIFIED OTHERWISE.
 8. PROVIDE SQUARE CYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.
 9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.
 10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND FLOOR/CEILING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.
 11. INSTALL WEATHER STRIPPING AND METAL THRESHOLDS AT ALL EXTERIOR DOORS. OWNER/ARCHITECT TO APPROVE FINISH.
 12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF DOWN SPOUTS AND GUTTERS.
 13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYPE THICK AND SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILING, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.
 14. THE RISE DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOUND ROOFING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
 15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.
 16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.
 17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
 18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.
 19. DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

- MECHANICAL NOTES**
1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.
 2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD.
 3. BLOWER MOTOR AT KITCHEN HOOD IS REMOVE W/ SILENCER U.M.C.O.

- GENERAL PLUMBING NOTES**
1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.
 2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.
 3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (EVERY WITH OWNER)
 4. WATER HEATERS ARE TANKLESS "ON DEMAND."
 5. ALL TOILET CUT OFFS SHALL BE COORDINATED WITH OWNER SPECIFIED TOILET AND SPECIFIED BASE MATERIAL. ALL CUT OFFS SHALL BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL.
 6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
 7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.
 8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.
 9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R302.3.1.1.

- GENERAL BATH NOTES**
1. TILE FLOORS (AT WET AREAS)
 2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
 3. SAFETY GLASS AND MUST COMPLY WITH R308 (IBC 2006)
 4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" AOV. DRAIN INLET OVER CONCRETE BACKERBOARD
 5. ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IBC 2006)
 6. BUILDER TO VERIFY BOUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPING

- ATTIC ACCESS NOTES**
- DISAPPEARING STAIRS MAY BE USED IN FIRE-PROTECTED GARAGE CEILING IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE CRAB SIDE IS NOT LESS THAN 1/4" FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 1/4 GAUGE SHEET METAL



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.803.9372
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN ARCHITECTURE. DESIGNER. THIS DRAWING SET AND ALL ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSOCIATE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION, REVISIONS, RE-ETCHING, TECHNICAL SPECIFICATIONS OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Structural Builders

Staircase Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@ddg-groupinc.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: Client Company

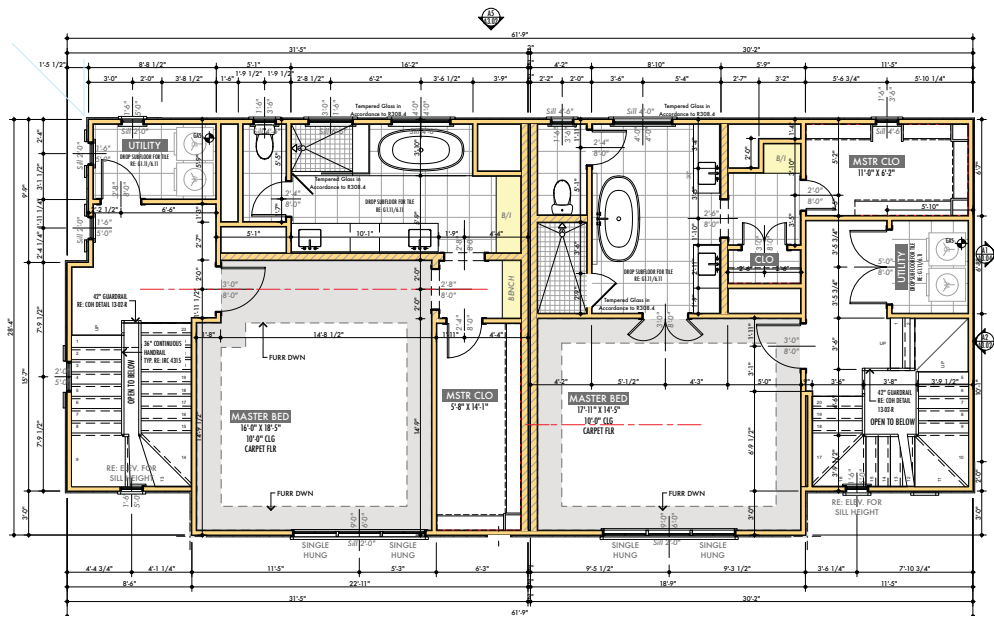
Drawings Issued For
Permit & Construction

Document Information
CAD FILE NAME: 20150814-Center Street.dwg
DESIGNED BY: BNS
DRAWN BY: BNS
CHECKED BY: BNS
DATE: 08/08/15

Project History
Date: 08/08/15
Drawn by: BNS
Checked by: BNS
Date: 08/08/15

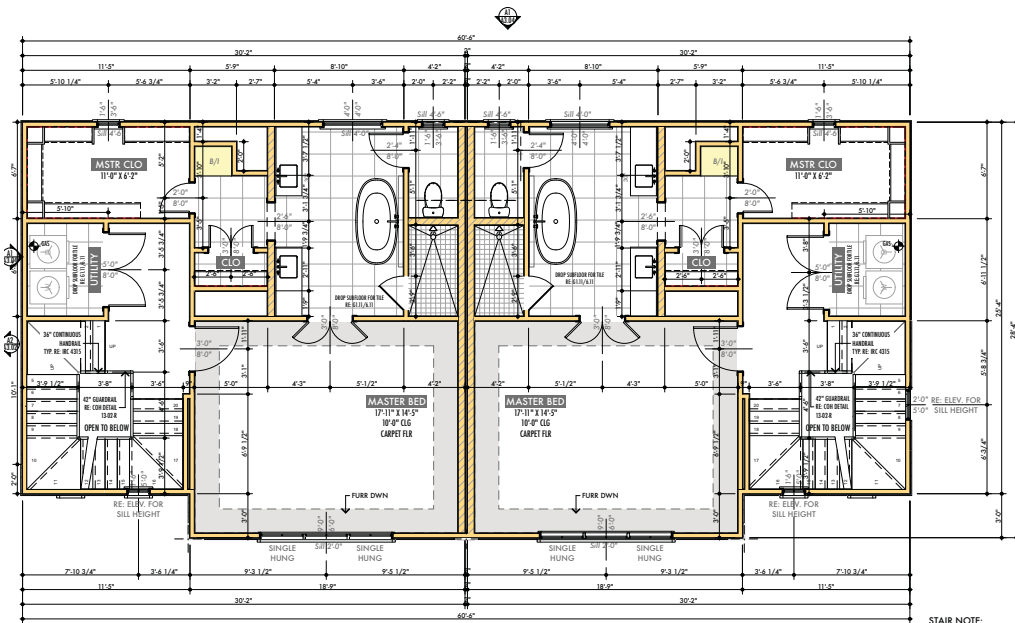
09/24/15
Second Level Floor Plans

A2.12



C5 Lot 1 & 2 Third Level Floor Plan

SCALE: 1/4" = 1'-0"



A1 Lot 3 & 4 Third Level Floor Plan

SCALE: 1/4" = 1'-0"

STAIR NOTE
MINIMUM STAIR DIAMETER OF 60" FOR A METAL STAIR AND 64" FOR A WOOD STAIR
TREAD PATH (LENGTH OF TREAD), 20" CENTER TREAD WIDTH, 7" 1/2" IN FROM THE
NARROW END OF THE TREAD. HEADROOM MINIMUM OF 6'-0". RISER HEIGHT CANNOT
EXCEED 9 1/2". BALUSTER SPACINGS OF MORE THAN 4" (TO PREVENT CHILDREN FROM
STICKING THEIR HEADS BETWEEN BALUSTERS). MINIMUM HEIGHT OF THE HANDRAIL OF
34" LANDING WIDTH, USUALLY THE SAME AS THE TREAD PATH. RAIL HEIGHT ON
THE LANDING, WELL, AND BALCONY RAIL HAS A MINIMUM HEIGHT OF 36". WEIGHT
CAPACITY, A MINIMUM OF 300 POUNDS PER SQUARE FOOT.

- NOTE:**
1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.
 2. 13R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

- GENERAL PLAN NOTES**
1. DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
 2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF THE CENTER LINE OF THE UNIT U.I.O.
 3. ALL WINDOWS AND DOOR DIMENSIONS ARE TAKEN TO THE CENTER LINE OF THE UNIT U.I.O.
 4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.
 5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.
 6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING (HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.
 7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPE X FIRE RATED SHEETROCK UNLESS SPECIFIED OTHERWISE).
 8. PROVIDE SQUARE CYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.
 9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.
 10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND FLOOR/CEILING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.
 11. INSTALL WEATHER STRIPPING AND METAL THRESHOLDS AT ALL EXTERIOR DOORS. OWNER/ARCHITECT TO APPROVE FINISH.
 12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF DOWN SPOUTS AND GUTTERS.
 13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYPE THICK AND SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILING, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.
 14. THE FULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOUND ROOFING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
 15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.
 16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.
 17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
 18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.
 19. DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

LOT 1

FIRST LEVEL	365 SQ. FT.
SECOND LEVEL	855 SQ. FT.
THIRD LEVEL	895 SQ. FT.
FOURTH LEVEL	586 SQ. FT.
TOTAL CONDITIONED	2,685 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11.50 SQ. FT.
4TH LEVEL TERRACE	80 SQ. FT.
MECHANICAL	104 SQ. FT.
TOTAL COVERED	3,233 SQ. FT.

LOT 2

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11.50 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 4

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11.50 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 3

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11.50 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

- MECHANICAL NOTES**
1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.
 2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD.
 3. BLOWER MOTOR AT KITCHEN HOOD IS REMOVE W/ SILENCER U.I.O.

- GENERAL PLUMBING NOTES**
1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.
 2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.
 3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (EVERY WITH OWNER)
 4. WATER HEATERS ARE TANKLESS "ON DEMAND."
 5. ALL TOILET CUT OFFS SHALL BE COORDINATED WITH OWNER SPECIFIED TOILET AND SPECIFIED BASE MATERIAL. ALL CUT OFFS SHALL BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL.
 6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
 7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.
 8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.
 9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R317.1.1.

- GENERAL BATH NOTES**
1. TILE FLOORS (AT WET AREAS)
 2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
 3. SAFETY GLASS AND MUST COMPLY WITH R308 (IBC 2006)
 4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD
 5. ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IBC 2006)
 6. BUILDER TO VERIFY BOUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

- ATTIC ACCESS NOTES**
- DISAPPEARING STAIRS MAY BE USED IN FIRE-PROTECTED GARAGE CEILING IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE CRACK SIDE IS NOT LESS THAN 1/2" FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 1/2" GUAGE SHEET METAL



5005 Riverway Drive
Houston, Texas 77056
P 713.701.9154
F 713.803.9312
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN GROUP, INC. DESIGNER. THE DRAWING SET AND ALL ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSIGNEE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION, REVISIONS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@ddg-groupinc.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: #Client Company

Drawings Issued For
Permit & Construction

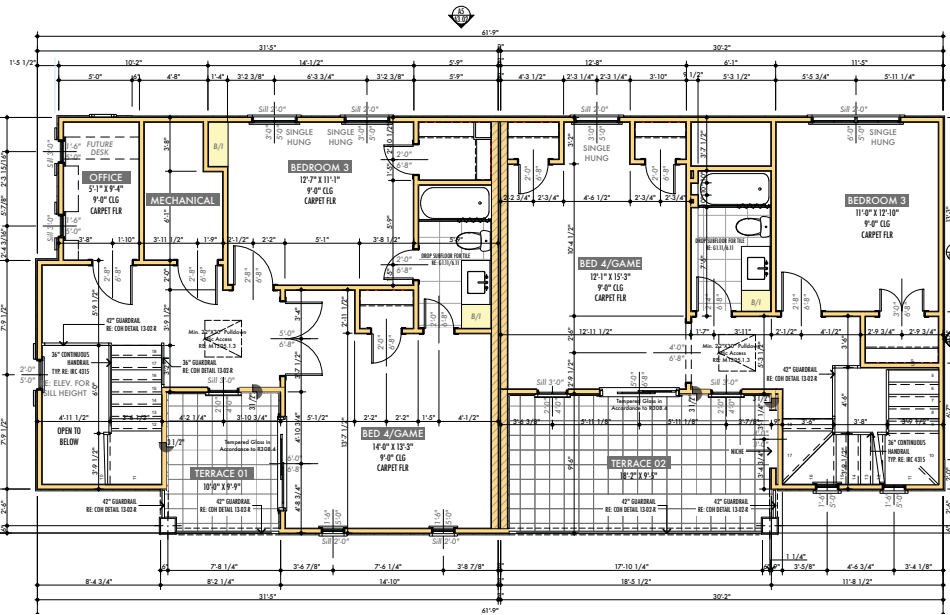
Document Information
CAD FILE NAME: 20150114-Center Street.dgn

DESIGNED BY: DW
DRAWN BY: DW
CHECKED BY: DW
DATE: 09/24/15

Project History
09/24/15

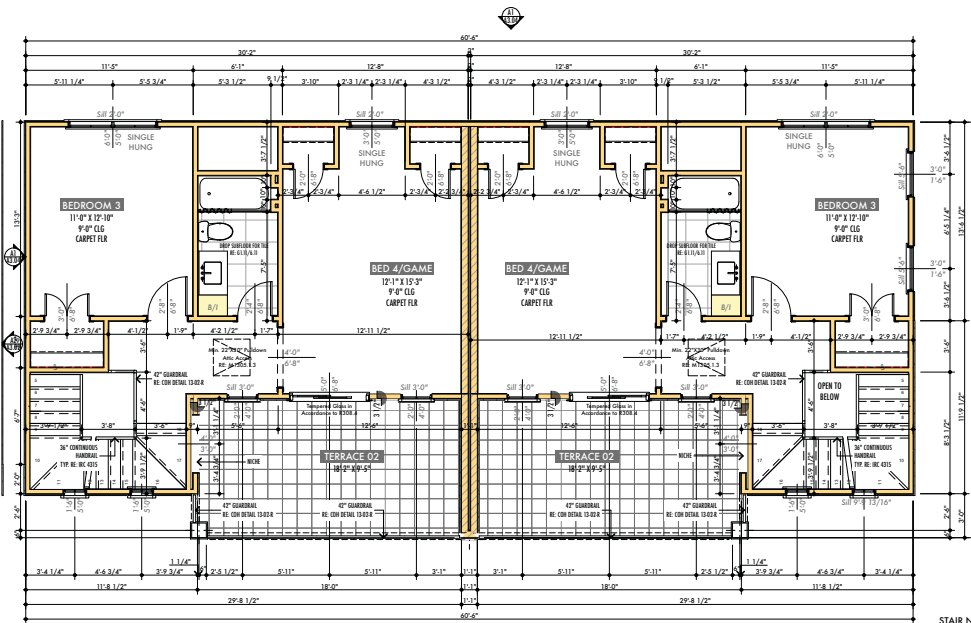
Third Level Floor Plans

A2.13



A1 Lot 1 & 2 Fourth Level Floor Plan

SCALE: 1/4" = 1'-0"



A1 Lot 3 & 4 Fourth Level Floor Plan

SCALE: 1/4" = 1'-0"

- NOTE:**
1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.
 2. 13R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

GENERAL PLAN NOTES

1. DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.
3. ALL WINDOWS AND DOOR DIMENSIONS ARE TAKEN TO THE CENTER LINE OF THE UNIT U.I.O.
4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.
5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.
6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R302.4 OF 2006 IBC.
7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPE X FIRE RATED SHEETROCK UNLESS SPECIFIED OTHERWISE)
8. PROVIDE SQUARE CYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE
9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.
10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND FLOOR/CEILING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.
11. INSTALL WEATHER STRIPPING AND METAL THRESHOLDS AT ALL EXTERIOR DOORS. OWNER/ARCHITECT TO APPROVE FINISH.
12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF DOWN SPOTS AND GUTTERS.
13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. 1/2" THICK AND SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILING, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.
14. THE FULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOUND ROOFING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.
16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.
17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.
19. DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

LOT 1

FIRST LEVEL	365 SQ. FT.
SECOND LEVEL	853 SQ. FT.
THIRD LEVEL	893 SQ. FT.
FOURTH LEVEL	586 SQ. FT.
TOTAL CONDITIONED	2,697 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
4TH LEVEL TERRACE	80 SQ. FT.
MECHANICAL	104 SQ. FT.
TOTAL COVERED	3,233 SQ. FT.

LOT 2

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 4

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

LOT 3

FIRST LEVEL	339 SQ. FT.
SECOND LEVEL	740 SQ. FT.
THIRD LEVEL	821 SQ. FT.
FOURTH LEVEL	562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE	383 SQ. FT.
FRONT PORCH	11 SQ. FT.
2ND LEVEL TERRACE	71 SQ. FT.
4TH LEVEL TERRACE	171 SQ. FT.
TOTAL COVERED	3,098 SQ. FT.

MECHANICAL NOTES

1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.
2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD
3. BLOWER MOTOR AT KITCHEN HOOD IS REMOVE W/ SILENCER U.I.O.

GENERAL PLUMBING NOTES

1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.
2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.
3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (EVERY WITH OWNER)
4. WATER HEATERS ARE TANKLESS "ON DEMAND."
5. ALL TOILET CUT OFFS SHALL BE COORDINATED WITH OWNER SPECIFIED TOILET AND SPECIFIED BASE MATERIAL. ALL CUT OFFS SHALL BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL.
6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.
8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.
9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R312.3.1.1.

GENERAL BATH NOTES

1. TILE FLOORS (AT WET AREAS)
2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
3. SAFETY GLASS AND MUST COMPLY WITH R308 (IBC 2006)
4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABRASIVE SURFACE TO A HT. OF NOT LESS THAN 72" AOV. DRAIN INLET OVER CONCRETE BACKERBOARD
5. ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IBC 2006)
6. BUILDER TO VERIFY BOILING OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

DISAPPEARING STAIRS MAY BE USED IN FIRE-PROTECTED GARAGE CEILING IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE GARAGE SIDE IS NOT LESS THAN 4" OF FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 1/4 GAUGE SHEET METAL

STAIR NOTE

MINIMUM STAIR DIAMETER OF 60" FOR A METAL STAIR AND 64" FOR A WOOD STAIR TREAD PATH (LENGTH OF TREAD), 20" CENTER TREAD WIDTH, 7 1/2" IN FROM THE NARROW END IF THE TREAD. HEADROOM MINIMUM OF 6'8". RISER HEIGHT CANNOT EXCEED 8 1/2". BALUSTER SPACING OF MORE THAN 4" (TO PREVENT CHILDREN FROM STICKING THEIR HEADS BETWEEN BALUSTERS). MINIMUM HEIGHT OF THE HANDRAIL OF 36". LANDING WIDTH, USUALLY THE SAME AS THE TREAD PATH. RAIL HEIGHT ON THE LANDING, WELL AND BALCONY RAIL HAS A MINIMUM HEIGHT OF 36". WEIGHT CAPACITY, A MINIMUM OF 300 POUNDS PER SQUARE FOOT.



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.803.9372
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONCEPT HEREIN ARE THE PROPERTY OF PARADIGM DESIGN. PARADIGM DESIGN, THE DRAWING SET AND ALL ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSOCIATE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DISCREPANCIES AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COST ESTIMATION, REVISIONS, METHODS, OR TECHNICAL SPECIFICATIONS OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer
Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor
Jeff Norman
Coastal Builders

Structural Engineer
James Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@ddg-groupinc.com

Center Street Dev
4306 Center Street
Texas 77007
Job Number: 215022
Client: Client Company

Drawings Issued For

Permit & Construction

Document Information

CAD FILE NAME: 2015014-Center Street.dwg
DESIGNED BY: DW
DRAWN BY: DW
CHECKED BY: DW
DATE: 01/11/15

Project History

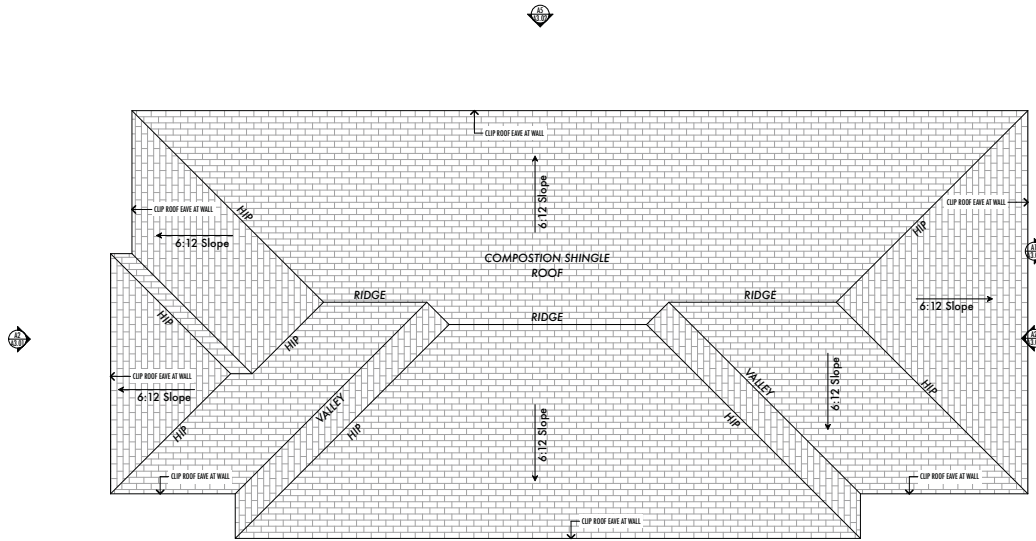
01/11/15
02/03/15
03/03/15
03/03/15

09/24/15

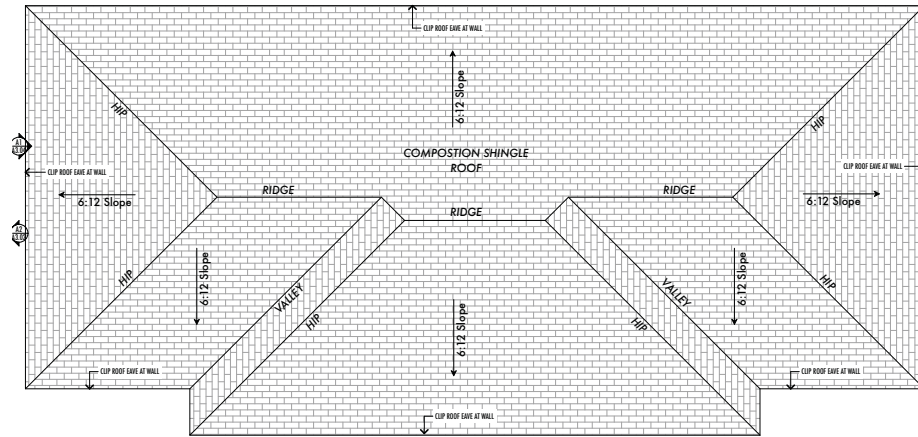
Fourth Level Floor Plan

A2.14

\\msrvc\apps\arch\hkg\Drawings\215022\center_street_development\Drawings\215022\A1-Center-Street.dwg



A1 Lot 1 & 2 Roof Plan



A1 Lot 3 & 4 Roof Plan



NOTE:

1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.
2. 13-R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

GENERAL PLAN NOTES

1. DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.
3. ALL WINDOWS AND DOOR DIMENSIONS ARE TAKEN TO THE CENTER LINE OF THE UNIT U.M.O.
4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.
5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.
6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.
7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS [USE 5/8" TYPE-X FIRE RATED SHEETROCK UNLESS SPECIFIED OTHERWISE]
8. PROVIDE SQUARE OFF. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.
9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.
10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND FLOOR/CEILING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.
11. INSTALL WEATHER STRIPPING AND METAL THRESHOLDS AT ALL EXTERIOR DOORS. OWNER/ARCHITECT TO APPROVE FINISH.
12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF DOWN SPOUTS AND GUTTERS.
13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS, TYP. THICK AND SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILINGS, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.
14. THE FULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOUND ROOFING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.
16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.
17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.
19. DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

MECHANICAL NOTES

1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.
2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD
3. BLOWER MOTOR AT KITCHEN HOOD IS REMOVE W/ SILENCER U.M.O.

GENERAL PLUMBING NOTES

1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.
2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.
3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (VERIFY WITH OWNER)
4. WATER HEATERS ARE TANKLESS "ON DEMAND."
5. ALL TOILET CUT OFFS SHALL BE COORDINATED WITH OWNER SPECIFIED TOILET AND SPECIFIED BASE MATERIAL. ALL CUT OFFS SHALL BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL.
6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.
8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.
9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R302.3.1.1.

GENERAL BATH NOTES

1. TILE FLOORS (AT WET AREAS)
2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
3. SAFETY GLASS AND MUST COMPLY WITH R308 (IBC 2006)
4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD
5. ALL PLUMBING FIXTURES SHALL BE SPACED PER R302.2 (IBC 2006)
6. BUILDER TO VERIFY BOUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

DISAPPEARING STAIRS MAY BE USED IN FIRE-PROTECTED GARAGE CEILINGS IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE GARAGE SIDE IS NOT LESS THAN 1/4" FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 1/6 GAUGE SHEET METAL



5005 Riverway Drive
Suite 430
Houston, Texas 77056
P 713.701.9154
F 713.863.9372
gene@paradigmhouston.com

THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF PARADIGM DESIGN. INNOVATIVE DESIGNER. THE DRAWING SET AND ALL OF ITS CONTENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED, TRANSMITTED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT FROM THE DESIGNER OR HIS ASSOCIATE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION, REVISIONS, REWORKS, TECHNICAL, SCHEDULES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

Owner/Developer

Texas Real Estate & Co.
2420 Washington Ave.
Houston, TX 77007

Contractor

Jeff Norman
Coastal Builders

Structural Engineer

Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston,
TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

Center Street Dev
4306 Center Street
Houston, Texas 77007
Job Number: 215022
Client: #Client Company

Drawings Issued For

Permit & Construction

Document Information

CAD FILE NAME: 20150814-Center Street.dwg
DESIGNED BY: ghw
DRAWN BY: ghw
CHECKED BY: ghw
DATE: 09/24/15

Project History

Date	By	City
09/24/15	ghw	X
09/24/15	ghw	X
09/24/15	ghw	X

09/24/15

Roof Plans

A1.21