Project Team Members

Developer Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Designer Paradigm Design Innovations 5005 Riverway Drive Suite 430 Houston, TX 77056 713.701.9154

Structural Engineer
Jameel Haltab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston, TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

MEP Engineer

Civil Engineer
Momentum Engineer
12651 Briar Forest
Suite 350
Houston, TX 77077
281.741.1998

Landscape Architect

LEED Consultant



Vicinity Map

Center Street Dev

4306 Center Street

Houston, Texas 77007

SITE DEVELOPMENT #

COH PROJECT #

COH FORMS ON FOLLOWING SHEETS



Sheet Index

General

Architectural

Civil

Submitted Separately. Site Devlop. # -

Structural

Code Review

International Building Code (IBC), 2006 with City of Houston Amendments

International Energy Conservation Code, 2009

Uniform Mechanical Code, 2006

Uniform Plumbing Code, 2006

Calc. of Impervious Percentage

Re: Civil Calculations

Building Coverage Calculation

Re: Civil Calculations

Legal Description

TERRACES ON CENTER
A SUBDIVISION OF 0.159 ACRES (6,935
SQUARE FEET) OF LAND, BEING ALL OF
LOTS 48 AND 49 OF MAGNOLIA
ADDITION AS RECORDED IN VOL. 40, PAGE 235 OF H.C.D.R. CITY OF HOUSTON, HARRIS COUNTY, TEXAS

PERMIT & CONSTRUCTION



THE SCOPE OF THE PROJECT IS TO BUILD 4 FOUR STORY TOWNHOMES.

LOTI	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	365 SQ. FT. 853 SQ. FT. 851 SQ. FT. 586 SQ. FT.
TOTAL CONDITIONED	2,655 SQ. FT.
GARAGE FRONT PORCH 4TH LEVEL TERRACE MECHANICAL	383 SQ. FT. 11 SQ. FT. 80 SQ. FT. 104 SQ. FT.
TOTAL COVERED	3,233 SQ. FT.

LOT 2	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	339 SQ. FT 740 SQ. FT 821 SQ. FT 562 SQ. FT
TOTAL CONDITIONED	2,462 SQ. FT
GARAGE FRONT PORCH 2ND LEVEL TERRACE 4TH LEVEL TERRACE	383 SQ. FT 11 SQ. FT 71 SQ. FT 171 SQ. FT
TOTAL COVERED	3,098 SQ. FT

LOT 3	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	339 SQ. FT 740 SQ. FT 821 SQ. FT 562 SQ. FT
TOTAL CONDITIONED	2,462 SQ. FT
GARAGE FRONT PORCH 2ND LEVEL TERRACE 4TH LEVEL TERRACE	
TOTAL COVERED	3,098 SQ. FT

339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.
2,462 SQ. FT.
383 SQ. FT. 11 SQ. FT. 71 SQ. FT. 171 SQ. FT.

Grading Permits are required for any excavations or fill, or combination thereof, and includes

Excavation Permits - Including work proposing the mechanical removal of earth material.

Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means

SECTION 1 Are Permits And Plans Required?

A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.

A Grading Excevation permit 8 plans are required if "Yes" is answered to any question 1 through 4.

NO (1) Does the excavation work affect the lateral apport or increase the stresses in, or pressure upon any specient, or configurate property.

NO (2) Does the excavation work affect the lateral apport or increase the stresses in, or pressure upon any specient, or configurate property.

NO (3) With the excavation created a suit face that completed or flavor through the stresses of the stress

SECTION 2 What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic bedows may be involved, grading will be required to contern to incommend or garding, inspection, and feating by a Professional Engineer.

Engineered grading plana are required in "Fee" is asswered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading".

(2000 cacile grading 10.00 says 0.00 st.) gar 0.00 st. 0.00 s

____ (11) Does the grading project exceed 5000 cubic yards? Grading plans shall be designated "Regular Grading" if "Yes" is answered on guestion 12: (no engineer reg.)

YES (12) Does the grading involve less than 5000 cubic yards?

A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:

NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slopes)?

NO (14) Is there any grading that requires an engineered design? (Reference item 11 above.)

NO (15) Does the site include any special geological features and/or considerations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:

NO (16) Does the scope of work to lots exceeding 15,000 sq. ft., include any new impervious cover?

NO (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4	1306 Center Str	eet		DATE	09/24/15
PRINT NAME OF APPLIC	ANT	JAMES SCHILLING	SIGNATURE	J-5m	
Form No: CE-10	04.06/27/11	(832) 394-8810	Public Work	r & Engineering	Page 12

Lot 1





GRADING PERMITS FOR EYCAVATION AND FILL WORKSHEET

Approxise 5 of the Novation Adopted 2005 International Building Code as Amended specifies permit requirements to grading a law of any size on private property. Section 11 including some account "Grading Permit" interprise Section 2 including size of grading permit required. "Engineered Grading or Regular Grading", whom a "Geotechnical Report" is required in the plans, and when a "Storm Audishibity Latter" is required to be subtraited document.

Grading Permits are required for any excavations or fill, or combination thereof, and includes

Excavation Permits - Including work proposing the mechanical removal of earth material.
 Fill Permits - Including a deposit and/or relocation of earth material placed by artificial me

SECTION 1 Are Permits And Plans Required?

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____ (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any TV. (1) Does the accordance work affect the latent asoptor or increase the stresses in, or pressure upon any 0.2 (2) When according to the control of the co

According Fill premark and plans are required "Yes" is answered to any question 5 through 10.

NO (5) Does the fill work affect file the listent support or increase the stresses in, or pressure upon any adjacent, or configuous properly "
NO (5) Does the fill work affect the listent support or increase the stresses in, or pressure upon any adjacent, or configuous properly" and the stresses in the stresses in, or pressure upon any adjacent, or configuous properly "
NO (7) Does the scope of work include fill greater than 15 bett ulses than 18 set, with a stope that is equal to or greater than 1 unit vertice in 5 units horizontal 7 (20% stope)

NO (8) Does the scope of work under fill that is greater than 50 cable; yeards on any one lot?

NO (10) been the coprocessed fill debruct any stantial and/or previously constructed drainage course?

NO (10) proposed fill seether in 11 in depth and intended to speport a stume, "row or in the future?"

SECTION 2 What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and settled by a Professional Engineer.

Engineered grading plants are required in "Yea" is asswered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading" conductives the professional engineer. These grading permits shall be designated as "Engineered Grading".

NO (11) Does the grading project exceed 5000 cubic yards?

Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
YES (12) Does the grading involve less than 5000 cubic yards?

A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:

NO (13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slopes)?

NO (14) Is there any grading that requires an engineered design? (Reference item 11 above.)

NO (15) Does the site include any special geological features and/or condiciderations for any grading?

A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:

NO (17) Does the scope of work to lots exceeding 15,000 sq. ft., include any new impervious cover?
(17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street 09/24/15

JAMES SCHILLING SIGNATURE (832) 394-8810 Public Works & Engineering

Lot 3

Department of Public Works & Engineering Planning & Development Services Division GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET

the Houston Adopted 2005 International Building Code as Amended specifies permit requirements for grading a laveled properly. Section 1 - Identifies when a separative Todarding Permit is required. Section 2 - Identifies when a separative Todarding Permit is required. Section 2 - Identifies they precuired, "Engineered Grading or Regular Grading", when a "Geotechnical Report" is required to experience of the Code of the Code

Grading Permits are required for any excavations or fill, or combination thereof, and includes

Excavation Permits - Including work proposing the mechanical removal of earth material.
 Fill Permits - Including a deposit and/or relocation of earth material placed by artificial means

SECTION 1 Are Permits And Plans Required?

tion permit & plans are required if "Yes" is answered to any question 1 through 4.

A Grading Excavation permit 8, plans are required if "Yes" is answered to any question 1 through 4.

NO (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contigious property?

NO (2) When executating below finish grade for the stements and footings of a building, retaining wall or other permit of the state of th

(50 cublc yards = 1350 sq. ft. @ 1 ft depth)

NO

(5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any

salizanet, or ordipuous property?

NO (5) Does the scope of work included fill that is 5 feet or more in depth?

NO (7) Does the scope of work included fill that is 5 feet or more in depth?

NO (8) Does the scope of work include fill that is present than 1 foot but less than 3 feet, with a slope that is equal to the control of the con

SECTION 2 What Type Of Permits And Plans Are Required?

NOTE: When the building official has cause to believe that geologic bottors may be involved, grading will be required to continue to recommend grading, respective, and testing by a Professional Engineer.

Engineered grading plans are required if "Fee" is assessed to question if I. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading".

NO ____ (11) Does the grading project exceed 5000 cubic yards?

Grading plans shall be designated "Regular Grading" if "Yes" is answered on guestion 12: (no engineer reg.) YES (12) Does the grading involve less than 5000 cubic yards? A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:

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NO (16) Does the scope of work to lots exceeding 15,000 sq. ft., include any new impervious cover?

NO (17) Does the project include connection to the city's public storm segwer sordern?

ADDRESS 43	06 Center Street		DATE	09/24/15
PRINT NAME OF APPLICA	4T JAMES SCHILLING	3 SIGNATURE	d	J-5"
Form No: CE-1094	06/27/11 (832) 394-88	10 Public W	Vorks & Engineering	Page 13 of 15

Lot 2



GRADING PERMITS FOR EXCAVATION AND FILL WORKSHEET



Appendix E of the Houston Adopted 2006 International Building Code as Amended specifies permit requirements for grading a lot of any size on private properly. Section 1 - Identifies when a separate 'Grading Permit' is required. Section 2 - Medifies the type of grading permit required. Serplinesed Grading' when a "Geolechnical Report" is required in the plans, and

Grading Permits are required for any excavations or fill, or combination thereof, and includes

Excavation Permits - Including work proposing the mechanical removal of earth material. Fill Permits - Including a deposit and/or relocation of earth material placed by artificial mea

SECTION 1 Are Permits And Plans Required?

A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.

NO ____ (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any TO.

10 Does the excansion work affect the lateral support or increase the stresses in, or pressure upon any M. 2

When the excansing before thin grade for basements and footings of a building, relating way and or other structures authorized by a valid building permit, will there be an unsupported excansion foeling the stress of the structures authorized by a valid building permit, will there be an unsupported excansion height permit and the structure of the structures authorized by a valid building permit, will the serve the structure of the structure of the structures are structured as a valid permit and the structure of the

steeper than 1 unit vertical in 1.5 units horizontal? (6.8.7% stope)

A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.

NO (5) Does the fill work after the lateral support or increases the stresses in, or pressure upon any siglicent, or contigious properly?

NO (5) Does the fill work after the lateral support or increases the stresses in, or pressure upon any siglicent, or contigious properly?

NO (7) Does the scope of work include fill preset from 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope).

NO (8) Does the scope of work include fill preset than 50 out but yends on any one lot?

NO (9) Does the scope of work include fill that is greater than 50 out but yends on any one lot?

NO (10) been the proposed fill obstruct any natural and/or previously constructed drainage course?

NO (10) be proposed fill restrict any natural and/or previously constructed drainage course?

SECTION 2 What Type Of Permits And Plans Are Required?

NOTE: When he building official has cause to believe that geologic before may be involved, grading will be required to conform to recommended grading; respectively and testing by a Professional Engineer.

Engineered grading plans are required if "Yea" is assessed to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading".

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A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to juestions 16 or 17: NO (16) Does the scope of work to lots exceeding 15,000 sq. ft., include any new impervious cover? (17) Does the project include connection to the city's public storm sewer system?

ADDRESS 4306 Center Street 09/24/15 NAME OF APPLICANT JAMES SCHILLING SIGNATURE (832) 394-8810 Public Works & Engineering

Lot 4



PLAN REVIEW



(
ROJECT INFORM			
roject Address:	4306 Center Street	Bldg/Ste. No	
roiect Number:		Occupancy Classification: SINGLE FAMILY RES.	
onstruction Type:	WOOD FRAME	Engineer of Record: Dynamic Design Group Inc.	
EFERRED REQU	EST	5917 Fairdale Ln., No. 12 Houston, TX 77057 Phone: 713.898.1096	
dicate items by pla abmitted to the City		ich a "Deferred Submittan" Percesten nach de the date the plans will be	

	DEFERRED ITEMS	SUBMITTAL DATE
	Precast Panels - Non Fire-Rated Construction Only *	
	Prefab Metal Building Plans - Non Fire-Rated Construction Only*	
	Prefab Access Floor Systems*	
	Prefab Curtain Wall Systems - Not Part of a Fire-Rated Assembly*	
	Interior Retractable Bleachers	
	Canopies and/or Awnings*	
	Spires - Non Fire-Rated Construction Only	
	Prefab Steel Stairs*	
	Prefab Steel Storage Racks (No High-Pile Storage)	
Х	Prefab Wood Truss Details & Layout*	
	Other:	
	Other:	
	Other:	

ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to

In the following statements.

Submittal: All deterred plans will be submitted no later than 90 days from the original plan approval.

Inspections Willhard - All mal inspection cannot be scheduled, Certificate of Occupancy (CO) will not be issued, and the final release of the utilities will not be granted until all deterred items have been reviewed, inspected and approved. Holds on Permit - The project will have "Restrictive Holds" entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittal items.

Installation Prohibited - It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal may be installed or erected prior to the structural plans being submitted and approved for the deferred

homs.

Engineer of Record Approval - All deferred submittal items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required engine prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required engine prior on the shop drawing steets must be marked (POR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.

*Accorded Pathedran - All Items designated with an astertik (?) in the table required a City of Houston Approved.

Fabricator. To obtain a list of approved fa			ile a City of Hot	ston Approved	
PRINT NAME OF OWNER OR PROJECT MAN.	AGER	R JAMES SCHILLING			
OWNER'S SIGNATURE	J-500	DATE	09/24/15		
PRINT NAME OF CONTRACTOR	0				
CONTRACTOR'S SIGNATURE		DATE _			
Form No: CE-1086 06/27/11 (83	2) 394-8810	Public Works & Eng	ineering	Page 1 of 1	

Lot 1



Department of Public Works & Engineering Planning & Development Services Division





ROJECT INFORM	IATION	
oject Address:	4306 Center Street	Bldg/Ste. No
oject Number:		Occupancy Classification: SINGLE FAMILY RES.
onstruction Type:	WOOD FRAME	Engineer of Record: Dynamic Design Group Inc.
		5917 Fairdale Ln., No. 12 Houston, TX 77057

DEFERRED REQUEST
Indicate items by placing a check in the box which a "Deferred Submit®" 18 8608180 1606 the date the plans will be

DEFERRED ITEMS	SUBMITTAL DATE
Precast Panels - Non Fire-Rated Construction Only *	
Prefab Metal Building Plans - Non Fire-Rated Construction Only*	
Prefab Access Floor Systems*	
Prefab Curtain Wall Systems - Not Part of a Fire-Rated Assembly*	
Interior Retractable Bleachers	
Canopies and/or Awnings*	
Spires - Non Fire-Rated Construction Only	
Prefab Steel Stairs*	
Prefab Steel Storage Racks (No High-Pile Storage)	
X Prefab Wood Truss Details & Layout*	
Other:	
Other:	
Other:	

ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements

all the following statements.

Submittat: All detending has will be submitted no later than 90 days from the original plan approval.

Inspections Withheld + A final impection cannot be scheduled, Certificate of Coopanny (Cr0) will not be issued, and the
Inspections Withheld + A final impection is consistent to the control of the proper of the proper

Installation Prohibited . It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal time may be installed or erected prior to the structural plans being submitted and approved for the deferred

	approved fabricators please contact	t 832-394-9167.	
INT NAME OF OWNER OR PRO	DJECT MANAGER	JAMES SCHILLING DATE 09/24/15	
INT NAME OF CONTRACTOR INTRACTOR'S SIGNATURE		DATE	
m No: CE-1086 06/27/11	(832) 394-8810	Public Works & Engineering	Page 1 of 1

5005 Riverway Drive Suite 430 Houston , Texas 77056 P 713.701.9154 F 713.963.9372

Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor

leff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Dynamic Design Group Inc. 5917 Fairdale Ln., No. 12 Houston TX 77057 Phone: 713.898.1096

Street 1

Drawings Issued For

Permit & Construction

Document Information

| DESIGNED BY: gwj | DRAWN BY: gwj | CHECKED BY: gwj | COPYRIGHT: Paradigm Dasign - 2015

Project History

COH Forms

Lot 2



PI AN REVIEW



REQUEST FOR DEFERRED SUBMITTAL	

Project Address:	4306 Center Street	Bldg/S	ite. No
Project Number: Construction Type: DEFERRED REQUES Indicate items by plac submitted to the City f	ET ing a check in the box wh	Occupancy Classification James Hattab, PE _Engineer of Record: <u>Oyanes Dasing Rose</u> 5917 Faidata Ln, No. Phone: 713.888.1098 ich a "Deferred Submittal"等 電台網報	12 Houston, TX 77057
	DEFERRED	ITEMS	SUBMITTAL DATE
Precast Panels	- Non Fire-Rated Constr	uction Only *	
Prefab Metal Bo	uilding Plans – Non Fire-l	Rated Construction Only*	
Prefab Access	Floor Systems*		
		of a Fire-Rated Assembly*	
Interior Retracta	able Bleachers		
Canopies and/o			•
	ire-Rated Construction O	nly	•
Prefab Steel St	airs*		
Prefab Steel St	orage Racks (No High-Pi	le Storage)	

X Pedia Victor Trains Details & Layout*

Other:
Other:
Other:

Other:

Other:

**GOODES AN APPROVED FABRICATOR* ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to

all the following statements.

• Submittal - All deferred plans will be submitted no later than 90 days from the original plan approval.

• Inspections Withheld - A final inspection cannot be scheduled, Certificate of Occupancy (CO) will not be issued, and the final release of the utilities will not be granted until all deferred times have been reviewed, inspected and approved.

- Holds on Permit The project will have "Restrictive Holds' entered in the computer system to identify actions to be accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the deferred submittail terms.
- Items.

 Engineer of Record Approval All deferred submittal Items must be reviewed and approved by the engineer of record prior to submitting the documents for plan review. The engineer must include in the structural plans the minimum required design / performance specifications. The manufacturar's tills before approval stamps on the shop drawing beste must be marked (POR CONSTRUCTION) and sealed on the structural plans, by the engineer of record.

 Approved Fabricars All Rems designated with an astertik (*) in the table require a CIfy of Houston Approved

Fabricator. To obtain a list of ap PRINT NAME OF OWNER OR PROJ			MES SCHILLING	
OWNER'S SIGNATURE	Control Control	DATE _	09/24/15	
PRINT NAME OF CONTRACTOR	0	DATE _		
Form No: CE-1086 06/27/11	(832) 394-8810	Public Works & Eng	ineering	Page 1 of

Lot 3





PLAN REVIEW
REQUEST FOR DEFERRED SUBMITTAL
(COMPLETED FORM MUST ACCOMPANY THE SUBMITTAL PACKAGE)

roject Address:	4306 Center Street	Bldg/Ste. No
Project Number:		Occupancy Classification: SINGLE FAMILY RES.
Construction Type:	WOOD FRAME	Engineer of Record: Dynamic Design Group Inc.
EFERRED REQU	FST	5917 Fairdale Ln., No. 12 Houston, TX 77057 Phone: 713.898.1096
ndicate items by pl	acing a check in the box wh	ich a "Deferred Submittal" is requested. Include the date the plans will be

DEFERRED ITEMS	SUBMITTAL DATE
Precast Panels - Non Fire-Rated Construction Only *	
Prefab Metal Building Plans - Non Fire-Rated Construction Only	
Prefab Access Floor Systems*	
Prefab Curtain Wall Systems - Not Part of a Fire-Rated Assembl	y*
Interior Retractable Bleachers	
Canopies and/or Awnings*	
Spires - Non Fire-Rated Construction Only	
Prefab Steel Stairs*	
Prefab Steel Storage Racks (No High-Pile Storage)	
Prefab Wood Truss Details & Layout*	
Other:	
Other:	
Other:	

ACKNOWLEDGMENTS By signing this form the owner(s) and all responsible parties, acknowledge and agree to all the following statements

- all the following statements.

 Submittal: All deterring plans will be submitted no later than 90 days from the original plan approval.

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 Hodge of Permit I The propiet will have "Restrative Holds" entered in the compater years to identify actions to be
 accomplished prior to final approval, or issuing a CO. Notes will be added to print on the building permit identifying the
 offerend submittal compared to the company of the company of
- ceterred submittal items.

 Installation Prohibited It is the Owner, the Owner's Project Manager, and the General Contractor's responsibility to coordinate the submittal and approval of all deferred submittal items according to the compliance date. No deferred submittal and approval of or rected prior to the structural plans being submitted and approved for the deferred

PRINT NAME OF OWNER OR PROJE	CT MANAGER	JAMES SC	HILLING
OWNER'S SIGNATURE	J-5m	DATE	4/15
PRINT NAME OF CONTRACTOR			
CONTRACTOR'S SIGNATURE		DATE	
Form No: CE-1086 06/27/11	(832) 394-8810	Public Works & Engineering	Page 1 o

Lot 4

CITY OF HOUSTON PLANNING DEPARTMENT

RESIDENTIAL LANDSCAPE ANALYSIS FORM/TREE CREDIT PURCHASE oness: 4306 Center Street

SINGLE FAMILY RESIDENTIAL LOTS UNDER 5000 SE - PLEASE CHECK APPLICABLE BOXES AND SPECIFY SPECIES AND CALIPER				
	LOTS UNDER	5000 SF - 1 TREE IS REQUIR	ED	
TREES	PLANTING 1 TREE	DERESERVING 1 TREE		
LOCATION	MUST BE LOCATED IN RIGHT OF WAY	☐ RIGHT OF WAY	OR	DUILDING SITE
PLANTED E PRESERVED TREE SPECIES TREE CALIFER				

LOTS 5000 SF AND GREATER- 2 TREES ARE REQUIRED				
TREES	PLANTING 1 TREE & PRESERVING 1 TREE	PLANTING 2 NEW TREES	☐ PLANTING 1 - 4" TREE	PRESERVING 2 TREES
LOCATION	RIGHT-OF-WAY ONLY	I RIGHT-OF-WAY ONLY	TREE TO BE LOCATED: RIGHT-OF-WAY ONLY	BOTH TREES TO BE LOCATED: BOTH MUST BE LOCATED BETWEEN: BUILDING LINE
				AND
				RIGHT-OF-WAY
	2 ⁰⁰ TREE TO BE LOCATED: DRIGHT OF WAY OR	2 ¹⁰ TREE TO BE LOCATED: DRIGHT OF WAY OR		
	☐ BULDING SITE	DULLDING SITE		
X PLA		OAK OAK	TREE CALIPER 4" TREE CALIPER 4"	2 TOTAL TREES AT STREET

THE SERVICE OF EXISTING TREES AND ASSOCIATE UNDERSTORY

The following procedure shall be required where most for the presentation of entiting here and associated understry to being requested to be applied about the being procedure and associated control to the applied about the being procedure procedure to present beauto to 12/10/2 of the Code or positional for registered requirement procedures and control to 12/10/2 of the Code or positional for registered requirement procedures and control the being required procedures are presented registered and so associated understry presentation plan and shall endude:

- Delineation of proposed limit of clearance and establishment of tree protection zones which shall extend to outside the dripline of the tree and

- Solution of proposed lend of classros and enablement of the protection zones which shall estand to active the depther of the text and associated undergood to be protected. As a life focus, they gloss are proposed and the protection of the protect

4306 Center St.



Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor

leff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Houston,
TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

> Center Street Dev 4306 Center Street Texas 77007

Drawings Issued For

Permit & Construction

Document Information

 DESIGNED BY:
 gwj

 DRAWN BY:
 gwj

 CHECKED BY:
 gwj

 COPYRIGHT:
 Paradigm Dasign - 2015

Project History

COH Forms

General Requirements

DRAWINGS: THE DRAWING SET IS ARRANGED FROM THE GENERAL TO THE SPECIFIC, FROM THE OVERALL VIEW TO THE DETAILED VIEW. THE DRAWINGS ARE TITLED ACCORDING TO I CHCATION IN THE PROJECT AND TYPE OF DRAWING, GENERALLY, THE DETAIL DRAWINGS ARE NOT REFERENCED TO THE OVERALL VIEWS WHEN THER TITLE SUFFICIENTLY DESCRIBES THEIR LOCATION IN THE PROJECT. UNLESS OTHERWISE TO INDICATED, INDIVIDUAL DRAWINGS ARE THE SAME SCALE AS NOTED IN THE TITLE BLOCK OF THE SHEET OF WHICH THE DRAWINGS

CODES: THE PROJECT SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, LATEST REVISIONS AND SUPPLEMENTS, INVOLVING THE INTERNATIONAL BUILDING CODE, THE INTERNATIONARESIDENTIAL CODE, THE NATIONAL ELECTRICAL CODE, THE TEXAS MUNICIPAL LEAGUE PLUMBING CODE, THE N.F.P.A. 90A & N.F.P.A. 90B CODES FOR HVAC SYSTEMS, THE INTERNATIONAL FIRE CODE, AND CODES FOR HYAC SYSTEMS, THE INTERNATIONAL HIRE CODE, AND APPLICABLE STANDARDS PROVIDED BY THE CONSTRUCTION CODE OF UL (UNDERWRITERS LABORATORIES INC.) ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES REGARDLESS OF INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS

COMPLETION OF WORK: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAS, AND EQUIPMENT NECESSARY TO COMPLETE THE INTERT OF THE ENTIRE PROJECT, INCLUDING BUT NOT LIMITED TO ALL INTERIOR AND EXTERIOR THINISES, MECHANICAL, ELECTRICAL, FULMBING, MOISTURE POTICETION, HOUSILING, AND OUTLINES AS NECESSARY FOR OBTAINING A CERTIFICATE OF OCCUMENTAL RECEIVED FOR CONTRACTOR OF THE CONSTRUCTION DOCUMENTS.

- COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING THE CONSTRUCTION DOCUMENTS, INCLUDING THE SCOPE OF WORK AND ALL REQUISEMENTS NECESSARY TO COMPLETE THE WORK, FOR ALL TRADES AND SUPPLIERS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION ALL CONSTRUCTION WORK AND SUBCONTRACTORS.
- WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN AN ORDINARY, CUSTOMARY, AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND CUSTOMARY CONSTRUCTION METHODS.
- SUBSTITUTIONS AND COLORS: WHERE NAME BRANDS AND/OR MODEL NUMBERS ARE CALLED FOR IN THE SPECIFICATIONS, THEY ARE TO BE AS SPECIFIED OR AN APPROVED EQUAL AS DETERMINED BY THE OWNER AND ARCHITECT. WHERE COLORS OR TEXTURES ARE INDICATED, PROVIDE A MIN. 12*X12*SAMPE PANEL FOR FINAL APPROVAL OF
- INSPECTION OF PREMISES: THE CONTRACTOR IS FULLY RESPONSIBLE FOR INSPECTING THE EXISTING PREMISES OR PROPERTY AND VERIFYING ALL EXISTING CONDITIONS IN THE FIELD, INCLUDING ALL DEED RESTRICTIONS, EASEMENTS, UTILITIES, AND BUILDING REGULATIONS.
- HOLD HARMLESS: ALL CONTRACTORS AND SUBCONTRACTORS AGREE TO HOLD HARMLESS AND HIDDAHIFY THE OWNER, ASCHITECT, BHGINEER, WHICH MAY ARISE. DIRECTIVE OR NOIBECTITY, ON ACCOUNT OF THE CONSTRUCTION DOCUMENTS.
- LICENSED TRADESMEN: TO THE EXTENT REQUIRED BY LAW, ALL WORK SHALL BE PERFORMED BY INDIVIDUALS DULY LICENSED AND AUTHORIZED BY LAW TO PERFORM SAID WORK.
- RELEASES: CONTRACTOR SHALL FURNISH OWNER EVIDENCE OF APPROPRIATE RELEASES OR WAIVERS OF LIEN FROM SUBCONTRACTORS AND TRADESMEN FOR ALL WORK PERFORMED OR MATERIALS PROVIDED PRIOR TO THE COMPLETION OF THE PROJECT.
- IGE ORDER: ALL CHANGE ORDERS SHALL BE IN WRITING AND ED BY BOTH THE OWNER AND CONTRACTOR. NO ADDITIONA CHARGES WILL BE ALLOWED ON THE BASIS OF INFORMATION PROVIDED OR NOT PROVIDED IN THE CONSTRUCTION DOCUMENTS.
- INSURANCE: THE CONTRACTOR WARRANTS IT IS ADEQUATELY INSURED INDUMNITE: THE VEHICLES WARDEN HE WEST AND A STATE OF THE OWNER OF THE WARDEN HE WAS A SECURE OF THE ACT OF THE CONTRACTOR OF ITS EMPLOYES OR SUBCONTRACTORS. THE CONTRACTOR AND SUBCONTRACTOR SHALL HAVE IN FORCE THE MINIMUM LIMITS OF INSURANCE INCLUDING WORKMEN'S COMPENSATION, AS REQUIR LAW, FOR THE DURATION OF THE PROJECT. 1.13
- CLEANLINESS: CONTRACTOR AGREES TO REMOVE ALL DEBRIS AND LEAVE THE PREMISES IN BROOM CLEAN CONDITION. CONTRACTOR AGREES TO PROTECT ADJACENT PROPERTIES AND VEGETATION AND OTHER EXISTING CONDITIONS TO BE PRESERVED FROM DAMAGE DU
- DISPUTES: ALL DISPUTES SHALL BE RESOLVED BY BINDIN ARBITRATION IN ACCORDANCE WITH RULES OF THE AMERICAN ARBITRATION ASSOCIATION OR THROUGH MEDIATION BY A LICENSED PROFESSIONAL MEDIATOR.
- ACCUBACY DE OLIMINES. THE OWNER AND CONTRACTOR RECOGNIZE THAT THERE MAY BE NANCOURAGES OR OMISSIONS IN THE CHAPTER MAY BE NANCOURAGES OR OMISSIONS IN THE CHAPTER MAY BE NANCOURAGES OR OMISSIONS IN THE CONSTRUCTION DO COURSENS AND RECOURT OF THE CONSTRUCTION DO COURSENS AND RECOVER ANY PROLIEMS ASSENDED TO COURSE AND RECOGNIZED OR OF THE CONSTRUCTION DO COURSENS AND RECOGNIZED OR OWNER OF THE CONSTRUCTION DO COURSENS AND RECOGNIZED OR OWNER OF THE CONSTRUCTION OF

NOTE: GENERAL REQUIREMENTS AND SPECIFICATIONS ARE PROVIDED BY PARADIGM DESIGN AS CONSTRUCTION RECOMMENDATIONS OR GUIDELINES. ANY SPECIFICATIONS PROVIDED BY THE OWNER OR THE ONER'S CONTRACTOR SHALL TAKE PRECEDENCE.

Division 2: Sitework

- ALL SITE WORK SHALL BE DONE PER THE GOVERNING AUTHORITY'S
- VERIFY ANY DEMOLITION AS NECESSARY TO PROCEED WITH CONSTRUCTION OF THE PROJECT. DEMOLITION SHALL INCLUDE TEMPORARY UTILITIES, DEMOLITION PERMITS, PROFICCTION OF FENCES, TREES AND STRUCTURES TO REMAIN, INCLUDING THOSE ON ADJACENT PROFERIES, AND CONTROL OF HOISE, DUST, AND DEBRIS.
- ALL SITE PREPARATION FOR BUILDING FOUNDATION SHALL TAKE PLACE BASED ON REGUIREMENTS SET FORTH BY THE GEOTECHNICAL INVESTIGATION (IF PROVIDED) AND A THOROUGH UNDERSTANDING OF THE ENGINEER'S CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION SURVEYING AND STAKING TO PROPERTY LOCATE THE STRUCTURE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR FINSIRING THAT THE SURVEY DOCUMENT IS ACCURATE AND CORRECT
- ALL SITE PREPARATION FOR BUILDING FOUNDATION, FORCHES, DRIVEWAYS, SIDEWALKS, OFHER FLATWORK, WALLS, AND FENCES SHALL PROMOTE FOSITIVE DEARHAGE AWAY FROM BUILDING FOUNDATION. A DRAINAGE AND RUNOFF SHALL BE DIRECTED TO THE STREET. TYPICAL SLOPES FOR DRIVEWAYS, SIDEWALS AND EXTERIOR PAIDS SHALL BE A MINIMUM OF 1%, AND A MAXIMUM OF 5%. CROSS SLOPES AT SIDEWALKS AND DRIVEWAYS SHALL NOT EXCEDE 2%.
- ALL UNPAYED AREAS SHALL BE LANDSCAPED AND GRADED TO PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION.
- PROVIDE ALL REQUIRED CURB CUTS, SUB-BASE, DRIVEWAYS, PARKING AREAS, AND OTHER PAVING. CONTRACTOR SHALL PROVIDE ALL REQUIRED FENCING, GATES, AND OTHER ENCLOSURES AND MATERIALS.
- ALL AREAS TO RECEIVE LANDSCAPING SHALL BE PROVIDED WITH A MINIMUM 8" DEPTH OF TOPSOIL, SMOOTHLY GRADED TO SLOPE AWAY

Division 3: Concrete

- CONCRETE SHALL BE 5-SACK MIX, MINIMUM 3000 PSI COMPRESSIVE STRENGHT AT 28 DAYS AND 4-5 INCH SLUMP IN STANDARD CYLINDER REINFORCING STEEL IS ASTM A-615 GRADE 60 WITH A-305 DEFORMATIONS DETAILED AND INSTALLED AS PER ACI CODE. CHAIRS SHALL BE GALVANIZED WITH PLASTIC TIPS OR ALL PLASTIC. USE UTILITY GRADE FIR OR BETTER FOR FORM BOARDS.
- PROVIDE ALL REQUIRED FOUNDATIONS, GRADE BEAMS, PIERS, AND FLATWORK TO COMPLETE THE PROJECT IN STRICT ACCORDANCE WITH THE PROJECT WHICH INVESTIGATION AND ENGINEER'S CONSTRUCTION DOCUMENTS
- VERIFY ALL REQUIRED FOUNDATION DROPS OR RECESSES FOR FIREPLACES, ELEVATORS, GARAGE, AND SPECIAL FLOORING.
- RECESS FOUNDATION 6" AT PREFAB FIREPLACE AND 3" FOR MATERIAL AT FLUSH HEARTH.
- THRESHOLD RECESS AT ALL EXTERIOR DOORS SHALL BE 3 1/2" U.N.O.
- SLOPE FINISHED FLOOR AT GARAGE AND EXTERIOR COVERED AREAS AWAY FROM THE BUILDING FOR DRAINAGE.
- VERIFY THE MINIMUM FINISHED SLAB ELEVATION TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY AND THE DESIGN INTEN
- CONCRETE SLAB SHALL RECEIVE A SMOOTH TROWELED FINISH. EXTERIOR SIDEWALKS AND DRIVEWAYS SHALL RECEIVE A LIGHT BROOM

Division 4: Masonry

- 4.1 PROVIDE ALL REQUIRED MASONRY TO COMPLETE THE PROJECT.
- ALL MASONRY, INCLUDING BRICK, CONCRETE MASONRY,, STONE, CAST STONE, CONCRETE PAVERS, AND RELATED MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLICABLE CODES.
- ALL MASONRY VENEER WALLS TO BE INSTALLED WITH WALL TIES AT 24'
 o.c. HORIZONTALLY AND 16" o.c. VERTICALLY. PROVIDE WEEP HOLES
 AT 24" o.c. AT BASE OF WALL AND ABOVE ALL OPENINGS.
- PROVIDE STEEL LINTELS AT MASONRY OPENINGS AS INDICATED IN DIVISION 5.
- MASONRY FIREPLACES SHALL BE CONSTRUCTED WITH FIREBRICK, STONE HEARTH, STEEL DAMPER, SMOKE CHAMBER, CLAY TILE FLUE, AND MASONRY CHIMNEY ACCORDING TO THE LATEST AMI STANDARDS.

- Division 5: Metals
 PROVIDE ALL REQUIRED STRUCTURAL STEEL MEMBERS AND RELATED
 PLATES, GUSSETS, BOLTS, SCREWS, JOISTS HANGERS, WEIDS, ETC. TO
 5.1 COMPLETE THE PROJECT IN STRUCT ACCORDANCE WITH THE ENGINEE
 CONSTRUCTION DOCUMENTS AND APPLICABLE CODES.
- ALL HOT-ROLLED STEEL SHAPES SHALL CONFORM TO ASTM A-36, STEEL PIPE TO ASTM A501. GALVANIZED STEEL SHALL CONFORM TO
- ALL LOIST HANGEDS STRAPTIES HURRICANE ANCHORS TO BE

5.5 STEEL LINTEL SCHEDULE:

MAY OPENIG ANGLE PROLLIPED MIN BEADIG

5'.0" 3 1/2 x 3 1/2 x 5/16 7'.0" 4 1/2 x 3 1/2 x 5/16 8'.0" 5 1/2 x 3 1/2 x 3/8 9'.0" 5 1/2 x 3 1/2 x 3/8 10'.0" 6 1/2 x 3 1/2 x 3/8

ALL LONG LEGS VERTICAL

Division 6: Wood

- ALL FRAMING LUMBER SHALL BE #2 SYP-KD, EXCEPT THAT STUDS MAY BE STUD GRADE. ALL WALL FRAMING SHALL SPACE STUDS NO MORE
- ALL TOP AND SOLE PLATES, HEADERS, AND SILLS SHALL BE WOLMANIZED PRESSURE TREATED #2 SYP
- SECOND FLOOR FRAMING SHALL BE 18" WOOD TRUSSES U.N.O. PLACED ACCORDING TO ENGINEER DRAWINGS AND MANUF. INSTRUCTIONS.
- ROOF FRAMING SHALL BE 2X6 AND 2X8 #2 KD SYP RAFTERS PLACED AT 16" O.C. ACCORDING TO ENGINEER DRAWINGS WITH 2X8 RIDGE BEAMS AND 2X10 VALLEY BEAMS. PROVIDE CONTINUOUS RIDGE VENTS.
- EXTERIOR SHEATHING SHALL BE 1/2" CDX PLYWOOD WITH "TYVEK" BUILDING PAPER TAPED AND SEALED.
- 6.7 ROOF DECK SHALL BE 5/8" CDX PLYWOOD WITH "COOL-PLY" BACKING. REFER TO MANUF. SPECS. FOR HORIZONTAL SUPPORT APPLICATION AND
- SOFFIT SHALL BE 3/8" AC PLYWOOD WITH CONTINUOUS 3" OR 4" 6.8 SOFFIT VENT.
- ALL FRAMING DIMENSIONS ARE FROM FACE OF STUD OR TO CENTERLINES OF OPENINGS.
- 6.10 VERIFY LOCATION AND PLATE HEIGHT OF ALL DORMER, ATTIC, PONY WALL, TOWER, AND STORAGE ELEMENTS IN FIELD PRIOR TO PLACING.
- ALL SECOND AND THIRD FLOOR BATHS AND LAUNDRY ROOM SHALL HAVE 1 1/8" RECESS TO ACCEPT TILE FLOORING. USE
- "STURDIFLOOR" ON 2X4 LEDGER BETWEEN TRUSSES MIN. 6.12 CONTRACTOR SHALL VERIFY STAIR FRAMING PRIOR TO PLACEMENT. ALL STAIR FRAMING SHALL BE PER APPLICABLE CODE. MIN. CLEAR HEAD HEIGHT AT STAIRS SHALL BE 6'-10".
- 6.14 INTERIOR WOOD TRIM SHALL BE STAIN GRADE OR PAINT GRADE AS
- 6.15 EXCEPT AS OTHERWISE SHOWN, PROVIDE DOOR AND WINDOW HEADERS PER THE FOLLOWING SCHEDULE:

MAX. S	PAN	SI
2'-6"	2-2:	4
4'-6"	2-2:	κ6
6'-0"	2.2	8

Division 7: Thermal and Moisture Protection

- INGRIVESS OF BUILDING, INCLUDING ROUP AND WALL ASSEMBLIES, CHIMMEYS, CHIMMEY CAPS, UNDER SLAB, WINDOWS, DOORS, AND OTHER OPENINGS. PROVIDE ALL MATERIALS NECESSARY FOR COMPREHENSIVE MOISTURE PROTECTION, INCLUDING FLASHING, COUNTER FLASHING, VAPOR BARRIERS, GUTTERS, DOWNSPOUTS, AND SEALERS.
- 72 ROOFING SHALL BE MIN. 30-YEAR RATED ASPHALT SHINGLES ON 30# ASPHALT FEIT UNDERLAYMENT.
- 7.3 PROVIDE FIBERGLASS BATT THERMAL INSULATION IN ALL EXTERIOR WALLS AND ABOVE ANY CEILINGS AT UNCONDITIONED SPACE.
- FINISHED EXTERIOR WALL ASSEMBLY SHALL PROVIDE A THERMAL INSULATION VALUE RATING OF NOT LESS THAN R-19.
- FINISHED ROOF ASSEMBLY SHALL PROVIDE A THERMAL INSULATION VALUE RATING OF NOT LESS THAN R-30.

- EXTERIOR SIDING AND TRIM BOARDS SHALL BE FIBER CEMENT LAP SIDING AND TRIM BOARDS AS MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS.

Division 8: Doors and Windows

- PROVIDE FIRST QUALITY WINDOWS AND DOORS. ALL WINDOW SIZES ARE NOMINAL. REFER TO MANUF. SPECS FOR ACTUAL SIZE. (B) MIN. NET CLEAR OPENING AT EGRESS WINDOWS SHALL BE 5.7 S.F. WITH SILL 36" A FE MAY.
- ALL HABITABLE ROOMS SHALL HAVE NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS. GLAZED OPENING AREA TO BE MIN. 10% OF FLOOR AREA OF ROOM.
- DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1 3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.
- ALL GLASS WITHIN 24" OF EGRESS DOORS OR 18" OF FLOOR SHALL BE SAFETY GLAZED. ALL FRENCH DOORS AND GLASS BATH ENCLOSURES SHALL BE SAFETY GLAZED.
- UNDERCUT DOOR OF LAUNDRY TO ALLOW ADEQUATE GAS APPLIANCE VENTILATION.
- PROVIDE ALL NECESSARY HARDWARE TO COMPLETE THE PROJECT, INCLUDING HINGES, LOCKS, DEAD BOLTS, DOOR STOPS, DOOR PULLS, MASTER KEYS, ETC.

- Division 9: Finishes
 Interior walls and Cellings shall be 1/2" gyrsum board on
 19.1 Frest and Second Rooss. Where celling height exceeds 10'.0",
 5/8" gyrsum board shall be used.
- ON WALLS AND CEILINGS BELOW ALL STAIRS AND IN GARAGE USE 5/8" TYPE X FIRE-RATED GYPSUM BOARD.
- INTERIOR WALLS AT TUB AND SHOWER ENCLOSURES SHALL BE 1/2"
- ALL DRYWALL TO BE TAPED, FLOATED, AND SANDED TO PRESENT A SMOOTH SURFACE, FREE OF IRREGULARITIES AND IMPERFECTIONS.
- PAINTED WALLS AND CEILINGS SHALL RECEIVE A LIGHT TEXTURE, ONE COAT PRIMER AND TWO FINISH COATS COATS OF HIGH QUALITY SATIN LATEX PAINT IN COLORS SELECTED BY OWNHER. CONTRACTOR TO VERIFY WITH OWNER TEXTURE TYPE DESIRED.
- WALLS WITH COVERINGS SHALL RECEIVE NO TEXTURE OR PAINT. WALL COVERING IS TO BE PROVIDED BY THE OWNER FOR INSTALLATION BY THE CONTRACTOR
- PROVIDE ALL STONE, TILE, CARPET, WOOD, AND OTHER FLOOR FINISH MATERIALS NECESSARY TO COMPLETE THE PROJECT.
- PROVIDE ALL KITCHEN, BATH, BAR, ETC. COUNTERTOP AND BACKSPLASH FINISH MATERIALS NECESSARY TO COMPLETE THE PROJECT.

Division 10: Specialties

PROVIDE ALL BATH ACCESSORIES SELECTED BY OWNER TO COMPLETE THE PROJECT, INCLUDING TOILET SEATS, TOILET PAPER HOLDERS, MIRRORS, SHOWER CURTAIN RODS, MEDICINE CABINETS, HEATERS, EXHALUST FANS. TOWEL BARS AND TOWEL RACKS.

Division 11: Equipment

- 11.1 ENSURE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCES FOR THE INSTALLATION OF ALL EQUIPMENT AND APPLIANCES.
- PROVIDE ALL NECESSARY EQUIPMENT AND APPLIANCES TO COMPLETE
 THE PROJECT. RESOLVE ANY ALLOWANCE ISSUES PRIOR TO BEGINNING
 THE PROJECT
- PROVIDE UTILITY CONNECTIONS IN RECESSED WALL BOXES FOR ALL

Division 12: Furnishings

Division 13: Special Construction

- PROVIDE ALL REQUIRED ELECTRICAL AND PLUMBING FOR AN OUTDOOR 13.1 POOL OR SPA.
- COORDINATE ANY PERMITTING, LOCATION, AND INSTALLATION ISSUES WITH POOL CONTRACTOR.
- EXCEPT AS OTHERWISE INDICATED, PRE-MANUFACTURED FIREPLACES SHALL BE MAJESTIC SUPER HEARTH 36 OR APPROVED EQUAL CONSTRUCTED WITH PRESENCE, STONE HEARTH, STEEL DAMPER, SMOKE CHAMBER, DOUBLE WALL FLUE, AND MASONRY CHIMNEY ACCORDING THE LATEST AM STANDARDS.

Division 14: Conveying Systems

Division 15: Mechanical

- PROVIDE ALL REQUIRED PLUMBING EQUIPMENT TO COMPLETE THE PROJECT, INCLUDING WATER, WASTE, AND VENT PIPES, CLEANOUTS, CHECK VALVES, AND FLOOR DRAINS, ETC.
- PROVIDE ALL PLUMBING FIXTURES SELECTED BY OWNER TO COMPLETE THE PROJECT, INCLUDING WATER CLOSETS, BIDETS, LAVATORIES, SINKS, BATHTUBS, SHOWERS, FITTINGS, APPLIANCES AND EQUIPMENT.
- 15.3 INSTALL ALL PLUMBING AND GAS EQUIPMENT PER APPLICABLE CODES
- VERIFY LOCATION OF ALL WATER AND SEWER LINES PRIOR TO FOUNDATION PLACEMENT.
- 15.5 WATER HEATER SHALL HAVE METAL DRIP PAN AND RELIEF LINE (SECONDARY DRAIN) FULL SIZE TO TERMINATION AT EXTERIOR WALL.
- 15.4 LAUNDRY FLOOR DRAIN SHALL TERMINATE AT SANITARY SEWER
- 15.7 SECURE PIPING TO STRUCTURE WITH HANGERS AND STRAPS. PROVIDE SHOCK ABSORBING AIR CHAMBERS AT EACH FITTING.
- 15.8 FIRE SPRINKLER SYSTEMS SHALL COMPLY WITH N.F.P.A. 13r. OBTAIN ENSURE HVAC SYSTEM IS DESIGNED TO PROVIDE ALL-WEATHER INSIDE COMFORT LEVELS IN ACCORDANCE WITH A.R.I. STANDARDS. HIGH EFFICIENCY 12-0.9 SEER OR BETTER HVAC UNITS AND 80% A.F.U.E. OR BETTER SHALL BE INSTALLED.
- SUMMER OUTSIDE TEMP. = 96 DEG. F
 72 DEG. F
 WINTER OUTSIDE TEMP. = 20 DEG. F
 75 DEG. F
 INSIDE TEMP. =
- PROVIDE ALL REQUIRED CONDENSING UNITS, DUCTWORK, RETURN AND SUPPLY GRILLES, THERMOSTAT CONTROLS, CONDENSATE METAL PANS AND DRAINS, ELECTRICAL, ETC. TO COMPLETE THE PROJECT.
- ALL DUCTWORK SHALL BE INSULATED RIGID METAL WITH SUPERIOR QUALITY ADJUSTABLE PAINTED METAL SUPPLY GRILLES. INSULATED FLEXIBLE DUCTWORK MAY BE USED FOR RETURN AIR SHAFTS AND IN DIFFICULT TO ACCESS SUPPLY AREAS.
- ALL SUPPLY GRILLES SHALL BE LOCATED IN A SYMMETRICAL LOGICAL PATTERN WITH REGARD TO LIGHT FIXTURES, WINDOWS, DOORS, AND ROOM CEILING. MISPLACED GRILLES WILL BE RELOCATED AT NO COST
- 1514 WOODEN LOUVER RETURN AIR CRILLE SHALL BE LOCATED 10" A E.E.
- ALL HYAC EQUIPMENT SHALL BE LOCATED TO PREVENT NOISE AND VIBRATION IN ALL ROOMS OF BUILDING. HYAC FAN UNITS SHALL BE INSTALLED ON VIBRATION ISOLATORS. HYAC CONDENSING UNITS SHALL BE LOCATED ON CONCRETE PADS.
- 15.16 VERIFY LOCATION OF HVAC CONDENSING UNITS ON SITE PLAN PRIOR TO
- 15.17 ALL MECHANICAL EXHAUSTS SHALL BE INSTALLED PER MANUF. SPECS AND TERMINATE AT THE EXTERIOR OF THE BUILDING.
- DOWNDRAFT EXHAUST SHALL HAVE 8" PVC LINE AND BE INSTALLED PER
 15.18 MANUF. SPECS AT ISLAND OR WALL COUNTER.
- 15.19 PROVIDE EQUIPMENT ACCESS SPACE AND POSITIVE ATTIC VENTILATION,

Division 16: Electrical

- VERIFY THE PROPER PLACEMENT OF ALL ELECTRICAL EQUIPMENT, INCLUDING RECEPTACLE AND SWITCH HEIGHTS, AND CEILING FIXTURE OUTLET BOXES.
 NEAREST EXTERIOR WALL.
- 16.3 ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUF
- 16.4 PROVIDE GFIC RECEPTACLES WHERE SHOWN OR AS REQUIRED BY CODE.
 PROVIDE WAITER PROOF GFIC RECEPTACLES IN GARAGE AND ON
 EXTERIOR. (E) PROVIDE WATERPROOF GFIC DUPLEX RECEPTACLE IN
 SOFITI AT EVERY MAJOR CORNER OF THE ROOF
- PRE-WIRE AUDIO/VIDEO, COMMUNICATION, DATA AND SECURITY SYSTEMS.

 16.5 COORDINATE LOCATIONS WITH OWNER AND ARCHITECT.



Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave.

Contractor

leff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Dynamic Design Group Inc. 5917 Fairdale Ln., No. 12 Houston

4306 Center Strea Texas 77007

Street 1

Drawings Issued For

Permit & Construction

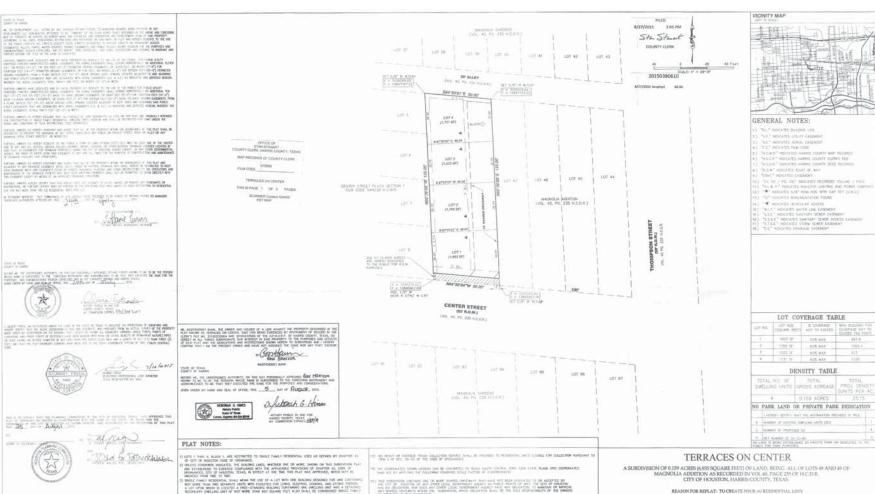
Document Information

Project History

General Requirements

and Specifications





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Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor leff Norman

Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Jameel Hattab, P.E. Dynamic Design Group Inc. 5917 Fairdale Ln., No. 12 Houstor TX 77057 Phone: 713.898.1096 jhattab@dd-groupinc.com

> Center Street Dev 4306 Center Street Texas 77007

Drawings Issued For

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Document Information

4 LOTS 1 BLOCK

OWNERS SST DEVELOPMENT, LL 2420 WASHINGTON AVI HOUSTON, TX 77019 JULY 2015

ENGINEER & SURVEYOR

(30,8V JOB + 15-02010) (FROL 6 (5-11)

Project History

Plat



5005 Riverway Drive Suite 430 Houston , Texas 7705 P 713.701.9154 F 713.963.9372 gene@paradigmhouston.c

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THE GENERAL CONTRACTOR IS RESPONSIBLE FI CONFIDENCE AND CORRELATES DIMENSIONS AT IT JOB SITE. THE DESIGNER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROCEDURES.

Owner/Develop

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor

Jeff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Hous
TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

Center Street Dev 4306 Center Street Texas 77007

Job Number: 215022 Client: #Client Company

Drawings Issued For

Permit & Construction

Document Information

DESIGNED BY: gwj DRAWN BY: gwj CHECKED BY: gwj COPYRIGHT Para

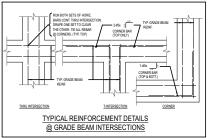
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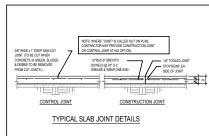
Project History

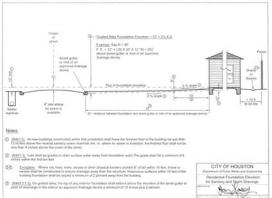
Date: 08.18.15 00.00.00 00.00.00 00.00.00

09/

Sketches







NOTES

1. FINISHED FLOOR ELEVATION TO BE 1'0" MIN ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREER WHICH EVER IS

2. LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MINIMUM OF 6" IN THE FIRST 10" (5%) (R401.3)

SITE NOTES

aron

SHONGOF THE "O" OR "O-1" MUST SHALL BE DETERMINED BY DOY DIGHERS, SEE DIMMING NO DEED-17 FOR THE "O" OF DIMMING NO. DIKE-88 FOR THE "O-1".

A3-FOOT CONCRETE VALUE OF THE SECTION SHALL BE CONSTRUCTED.
THE COLOR THE PROPOSED SHAWNY WHEN THE CITY ON MARKET DETERMINE

- All drawings presented here reference the IRC 2006 Building Codes, w/ City of
- All drawings presented here reference the IRC 2006 Building Codes, wil City of Legislation amordisms that be an initiative of 12 above the top of the nearest sanitary sever markelos cover. Caulified engineer shall determine final slab elevation, and provide a site grading plan are per local authority. Elivación or the nearest sanitary sever markelos cover a sessured to be 100.0°. Elivación or the nearest sanitary sever markelos cover a sessured to be 100.0°. Elivación or the nearest sanitary sever markelos cover a sessured to be 100.0°. Elivación or the nearest sanitary sever markelos cover a sessured to Elivación or the nearest sanitary sever markelos cover a Elivación or the nearest sanitary sever markelos covers. Elivación del sever sever sever sever sever sever sever sever Elivación del sever sever

- Plumber shall determine location of water meter and contact the local authority to connect. Water pipe to be sch. 40 PVC. (or equal). Plumber shall connect the existing sandary series. Piping to be sch. 40 PVC. (or Electrican to not three underground conduits from source pole or transformer to location specified by Contractor for: a electrical service.

- u. Sindided areas designates minimum common areas and roll private eastern This panel is used as a guide for the drafting of the required common area agreement letter only. Common area agreement letter shall take precedence. Common area agreement letter shall be precedence. Common area(s) are to be maintained by the homoowner's association. C. All piping in the R.O.W. shall be intrificred concrete where applicable.

PRE.

100

MILIONY --

CITY OF BOUSTON

OPEN DITCH THE STREETS THE SHEETS

Owner/Developer

5005 Riverway Dr Suite 430 Houston , Texas 7 P 713.701.915 F 713.963.9372

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor

leff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Jameel Hattab, P.E.
Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Hour
TX 77057
Phone: 713.898.1096
jhattab@dd-groupinc.com

> Center Street Dev 4306 Center Strea Texas 77007

Drawings Issued For

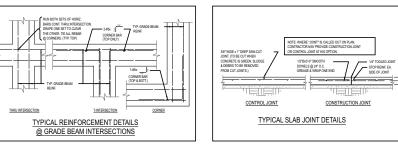
Permit & Construction

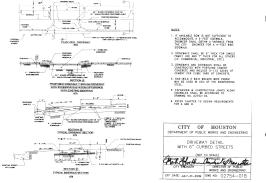
Document Information

Project History

Site layout

A0.01





0

A5 Overall Site Plan

Building Coverage Calculations:

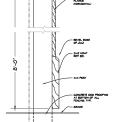
Lot 1 = 1,663 sq ft Lot 2 = 1,769 sq ft Lot 3 = 1,523 sq ft Blda Cov = 788 sa ft / 48% Bldg Cov = 767 sq ft / 43% Bldg Cov = 767 sq ft / 50% Lot 4 = 1.731 sq ft Bldg Cov = 767 sq ft / 44%

Total Covered 3,089 sq ft

Total Covered %

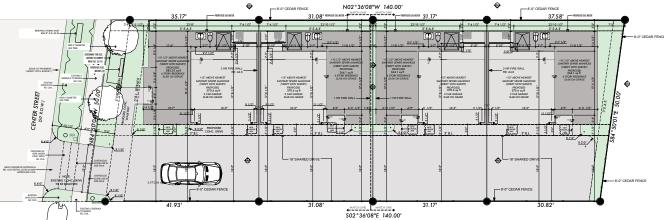
Calc. of Impervious Percentage:

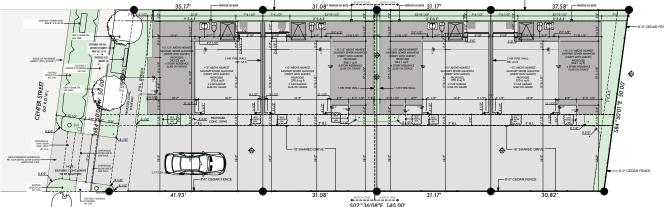
6,936 sq ft / .16 AC 6,061 sq ft / .24 AC Proposed Impervious 87%



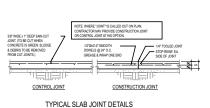
B3 Cedar Fence

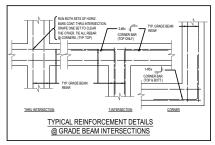
NOT TO SCALE





SWB MH







Owner/Developer

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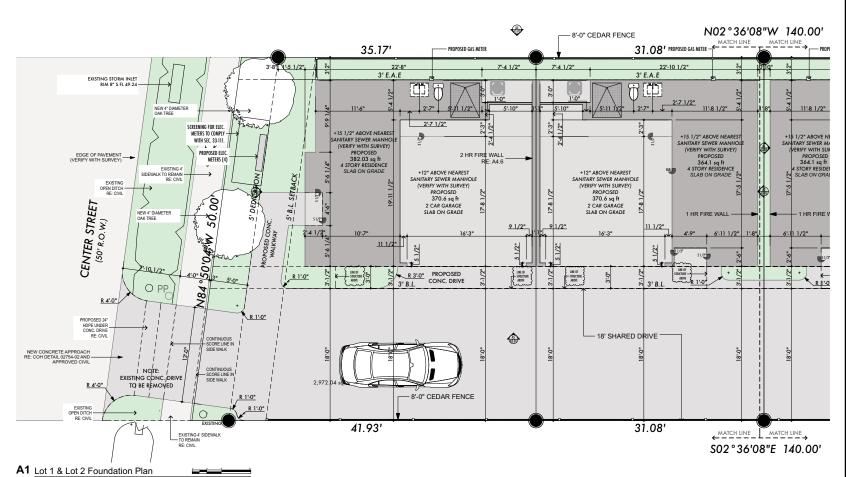
Permit & Construction

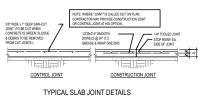
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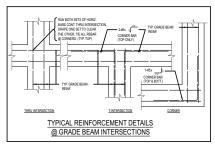
Project History

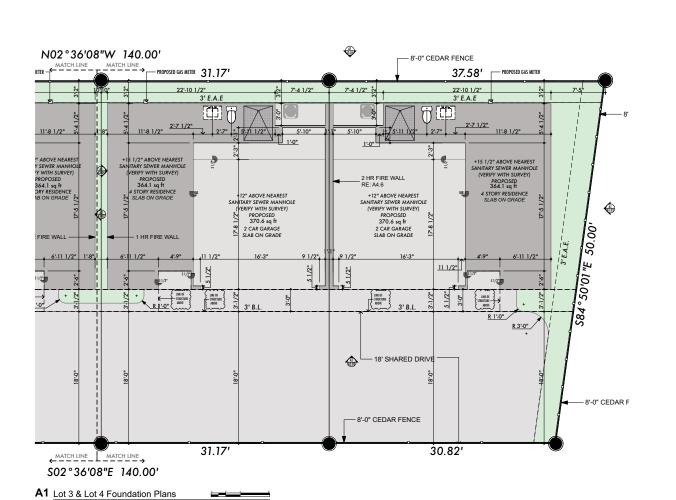
Foundation Plans

A0.02









Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor

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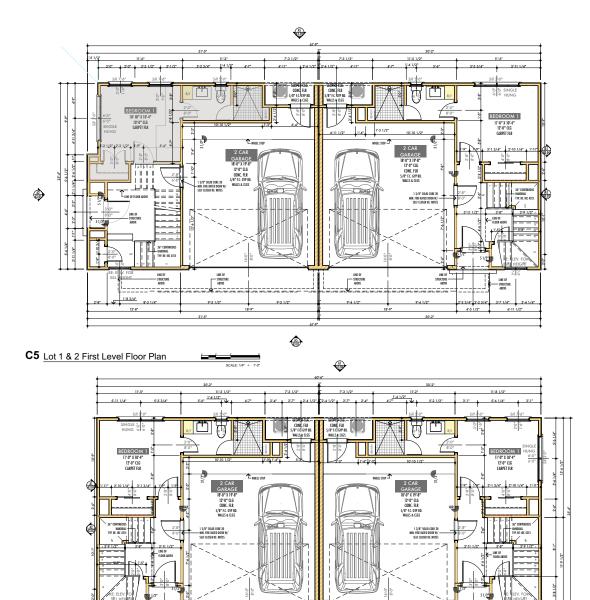
Permit & Construction

Document Information

Project History

Foundation Plans

A0.03



NOTE:

1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.

2. 13-R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

LOT 1 TOTAL CONDITIONED 2,655 SQ. FT. TOTAL COVERED 3.233 SQ. FT.

LOT 2	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE FRONT PORCH 2ND LEVEL TERRACE 4TH LEVEL TERRACE	383 SQ. FT. 11 SQ. FT. 71 SQ. FT. 171 SQ. FT.

LOT 4

FIRST LEVEL

TOTAL CONDITIONED

TOTAL COVERED

TOTAL CONDITIONED

TOTAL COVERED

MANAUM START DIAMETER OF 60° FOR A METAL STARF AND 64° FOR A WOOD STAN MARROW START IN THE TREAT HEADEROOM MAINING OF 64° RESER HEIGHT CANNO EXCEED 9 12°. BAULISTER SHOCKNO OF MORE THAN 4" (TO PREVENT CHILDREN FROM STOWNS THEM THE MASS SETWERN BAULISTERS) MANAUM HEIGHT OF THE HANDWA THE LANDING, WELL AND BALCONY FAIL HAS A MISMAMM HEIGHT OF THE HANDWA THE LANDING, WELL AND BALCONY FAIL HAS A MISMAMM HEIGHT OF 50°. WEIGH CAPACITY, AMBIMOM OF 200 POLIORS PER SOUMER FOOT.

4'-5 1/2"

30'-2"

6:11 1/2*

LOT 3

2,462 SQ. FT.

3.008 SO ET

339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.

2,462 SQ. FT.

3.098 SQ. FT.

GENERAL PLAN NOTES

DRAWINGS ARE NOT TO BE SCALED, PARADIGM IS TO BE NOTIFIED N CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.

2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.

4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.

5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.

6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.

7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPEX FIRE RATED SHEETROCK) UNLESS SPECIFIED OTHERWISE

8. PROVIDE SQUARE GYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.

9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.

10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, TO FORM AN FFECTIVE BARRIER BUTWEEN A TOP STOY AND A ROOF OR ATTIC SPACE AND FLOOD-ECTRING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.

12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF

13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYP. THICK MUD SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILINGS, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.

14. THE PULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 39 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTE 5 NOT LESS THAN 24 INCHES WIDTH. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.

16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.

17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR BALCOINES AND FORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTIAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONIAL BALLS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.

DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1.3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

MECHANICAL NOTES

1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST

2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP

3. BLOWER MOTOR AT KITCHEN HOOD IS REMOTE W/ SILENCER U.N.O.

GENERAL PLUMBING NOTES

1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.

ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.

3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. [VERIFY WITH

4. WATER HEATERS ARE TANKLESS "ON DEMAND."

BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL

6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY

7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS. 8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.

9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R317:3.1.1.

GENERAL BATH NOTES

TILE FLOORS (AT WET AREAS)

2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED

3. SAFETY GLASS AND MUST COMPLY WITH R3OB (IRC 2006)

4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABY. DRAIN INLET OVER CONCRETE BACKERBOARD

5. ALL PLUMING FIXTURES SHALL BE SPACED PER R3O7.2 (IBC 2006)

BUILDER TO VERIFY ROUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

DISAPPEARING STAIRS MAY BE USED IN FIRE PROTECTED GARAGE
CEILINGS IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF
PLYWOOD ON THE GRACE SIDE IS NOT LESS THAT 3/8" FIRE FRARDANT
PLYWOOD OR COVERED WITH A MINIMUM 16 GUAGE SHEET METAL



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Owner/Developer

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Contractor leff Norman Coastal Builders

Structural Engineer

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> Center Street Dev 4306 Center Strea Texas 77007

Drawings Issued For

Permit & Construction

Document Information

Project History

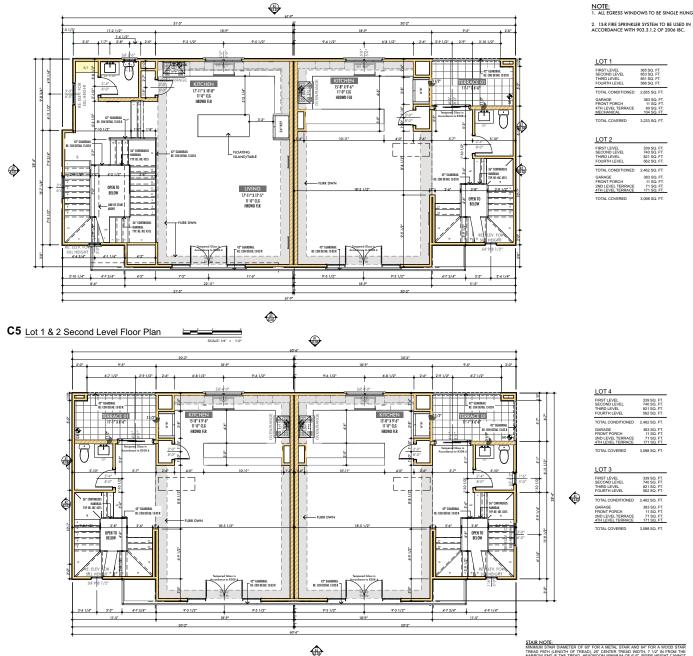
First Level Floor Plans

A2.11

A1 Lot 3 & 4 First Level Floor Plan

30'-2"

A1 Lot 3 & 4 Second Level Floor Plan



NOTE:

1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.

GENERAL PLAN NOTES

DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.

2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.

4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.

5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.

6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.

7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPEX FIRE RATED SHEETROCK) UNLESS SPECIFIED OTHERWISE

8. PROVIDE SQUARE GYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.

9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.

10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, TO FORM AN FFECTIVE BARRIER BUTWEEN A TOP STOY AND A ROOF OR ATTIC SPACE AND FLOOD-ECTRING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.

12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF

13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYP. THICK MUD SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILINGS, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.

14. THE PULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 39 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTE 5 NOT LESS THAN 24 INCHES WIDTH. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.

16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.

17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR BALCOINES AND FORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTIAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONIAL BALLS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.

18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM

DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1.3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

MECHANICAL NOTES

A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.

2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP

3. BLOWER MOTOR AT KITCHEN HOOD IS REMOTE W/ SILENCER U.N.O.

GENERAL PLUMBING NOTES

PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.

2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.

3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. [VERIFY WITH

4. WATER HEATERS ARE TANKLESS "ON DEMAND."

BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL

6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY

7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.

8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED. 9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R317.3.1.1.

GENERAL BATH NOTES

TILE FLOORS (AT WET AREAS)

2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED

3 SAFETY GLASS AND MUST COMBLY WITH \$208 (IRC 2004)

4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD

5. ALL PLUMING FIXTURES SHALL BE SPACED PER R3O7.2 (IBC 2006)

BUILDER TO VERIFY ROUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

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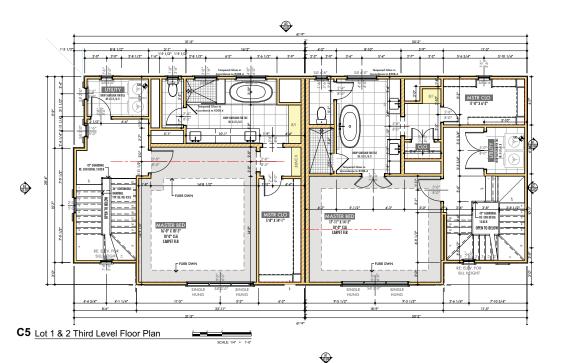
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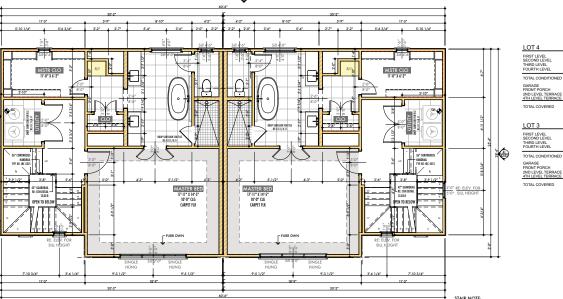
Project History

Second Level Floor

Plans

A2.12





A1 Lot 3 & 4 Third Level Floor Plan

NOTE:

1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.

2. 13-R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

LOT 1	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	365 SQ. FT. 853 SQ. FT. 851 SQ. FT. 586 SQ. FT.
TOTAL CONDITIONED	2.655 SQ. FT.
GARAGE FRONT PORCH 4TH LEVEL TERRACE MECHANICAL	383 SQ. FT. 11 SQ. FT. 80 SQ. FT. 104 SQ. FT.

LOT 2	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	339 SQ. FT 740 SQ. FT 821 SQ. FT 562 SQ. FT
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE FRONT PORCH 2ND LEVEL TERRACE 4TH LEVEL TERRACE	

2,462 SQ. FT.

2.008 SO ET

339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.

2,462 SQ. FT.

3.098 SQ. FT.

DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.

GENERAL PLAN NOTES

2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.

4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.

5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.

6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.

7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPEX FIRE RATED SHEETROCK) UNLESS SPECIFIED OTHERWISE

8. PROVIDE SQUARE GYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.

9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.

10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, TO FORM AN FFECTIVE BARRIER BUTWEEN A TOP STOY AND A ROOF OR ATTIC SPACE AND FLOOD-ECTRING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.

12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF

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15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.

16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.

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MECHANICAL NOTES

A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.

2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP

3. BLOWER MOTOR AT KITCHEN HOOD IS REMOTE W/ SILENCER U.N.O.

GENERAL PLUMBING NOTES

PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.

2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.

3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. [VERIFY WITH

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GENERAL BATH NOTES

TILE FLOORS (AT WET AREAS)

2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED

3. SAFETY GLASS AND MUST COMPLY WITH R3OR (IRC 200A)

4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD

5. ALL PLUMING FIXTURES SHALL BE SPACED PER R3O7.2 (IBC 2006)

BUILDER TO VERIFY ROUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

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Center Street Dev

Drawings Issued For

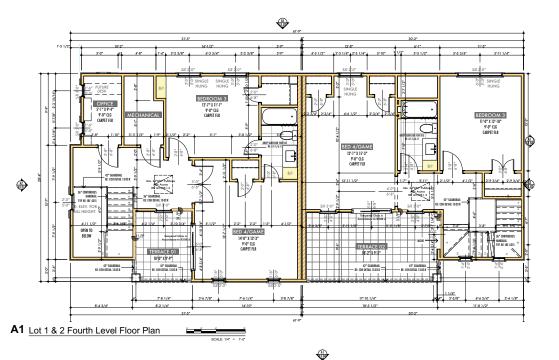
Permit & Construction

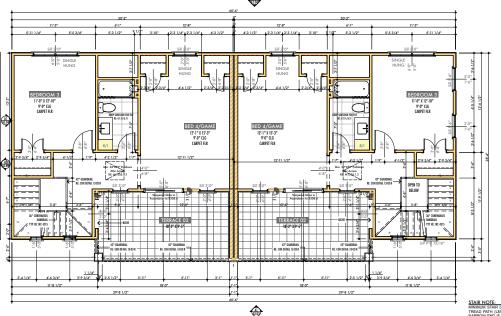
Document Information

Project History

Third Level Floor Plans

A2.13





NOTE:

1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.

2. 13-R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

LOT 1	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	365 SQ. FT. 853 SQ. FT. 851 SQ. FT. 586 SQ. FT.
TOTAL CONDITIONED	2,655 SQ. FT.
GARAGE FRONT PORCH 4TH LEVEL TERRACE MECHANICAL	383 SQ. FT. 11 SQ. FT. 80 SQ. FT. 104 SQ. FT.

LOT 2	
FIRST LEVEL SECOND LEVEL THIRD LEVEL FOURTH LEVEL	339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.
TOTAL CONDITIONED	2,462 SQ. FT.
GARAGE FRONT PORCH 2ND LEVEL TERRACE 4TH LEVEL TERRACE	383 SQ. FT. 11 SQ. FT. 71 SQ. FT. 171 SQ. FT.

LOT 4

FIRST LEVEL

TOTAL CONDITIONED

TOTAL COVERED

TOTAL CONDITIONED

TOTAL COVERED

LOT 3

2,462 SQ. FT.

3.008 SO ET

339 SQ. FT. 740 SQ. FT. 821 SQ. FT. 562 SQ. FT.

2,462 SQ. FT

3.098 SQ. FT.

GENERAL PLAN NOTES

. DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED N CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.

2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF THE STUD OR THE EDGE OF FOUNDATION.

4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.

5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.

6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.

7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS [USE 5/8" TYPE-X FIRE RATED SHEETROCK] UNLESS SPECIFIED OTHERWISE

8. PROVIDE SQUARE GYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.

9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.

10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, TO FORM AN FFECTIVE BARRIER BUTWEEN A TOP STOY AND A ROOF OR ATTIC SPACE AND FLOOD-ECTRING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS.

12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF

13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYP. THICK MUD SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILINGS, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.

14. THE PULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 39 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTE 5 NOT LESS THAN 24 INCHES WIDTH. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.

16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.

BALCOINES AND FORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTIAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONIAL BALLS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.

DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1.3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

MECHANICAL NOTES

1. A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST

2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP

3. BLOWER MOTOR AT KITCHEN HOOD IS REMOTE W/ SILENCER U.N.O.

GENERAL PLUMBING NOTES

1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES

2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.

3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. (VERIFY WITH

4. WATER HEATERS ARE TANKLESS "ON DEMAND."

BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL

6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY

7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS. 8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.

9. ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R317.3.1.1.

GENERAL BATH NOTES

TILE FLOORS (AT WET AREAS)

2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED

3. SAFETY GLASS AND MUST COMPLY WITH R3OB (IRC 2006)

SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD

5. ALL PLUMING FIXTURES SHALL BE SPACED PER R3O7.2 (IBC 2006)

BUILDER TO VERIFY ROUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

DISAPPEARING STAIRS MAY BE USED IN FIRE PROTECTED GARAGE
CEILINGS IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF
PLYWOOD ON THE GRACE SIDE IS NOT LESS THAT 3/8" FIRE FRARDANT
PLYWOOD OR COVERED WITH A MINIMUM 16 GUAGE SHEET METAL



5005 Riverway Driv Suite 430 Houston , Texas 770 P 713.701.9154 F 713.963.9372

Owner/Developer

Texas Real Estate & Co. 2420 Washington Ave. Houston, TX 77007

Contractor leff Norman Coastal Builders

Structural Engineer

Jameel Hattab, P.E. Dynamic Design Group Inc.
5917 Fairdale Ln., No. 12 Hous
TX 77057
Phone: 713.898.1096

> Center Street Dev 4306 Center Strea Texas 77007

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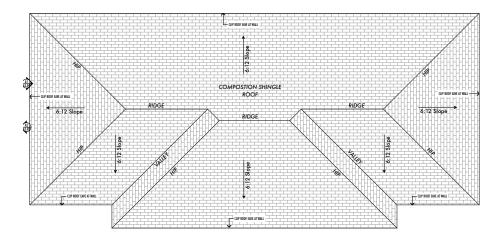
Project History

Fourth Level Floor Plan

A2.14

A1 Lot 3 & 4 Fourth Level Floor Plan

A1 Lot 1 & 2 Roof Plan





 $\underline{\underline{\text{NOTE:}}}_{\text{1. ALL EGRESS WINDOWS TO BE SINGLE HUNG.}}$

2. 13-R FIRE SPRINKLER SYSTEM TO BE USED IN ACCORDANCE WITH 903.3.1.2 OF 2006 IBC.

5. INTERIOR WALL STUDS ARE AS NOTED ON THE PLAN.

7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT EXCEPT AT GARAGE AND UNDER STAIRS (USE 5/8" TYPE-X FIRE RATED SHEETROCK) UNLESS SPECIFIED OTHERWISE

10. INSTALL FIRE BLOCKS AND DRAFT STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTIAL, TO FORM AN EFFECTIVE BARRIER BETWEEN A TOP STOY AND A ROOF OR ATTIC SPACE AND FLOOR-CRUING ASSEMBLIES. MAINTAIN THE INTEGRITY OF ALL FIRE BLOCKS. AND DRAFT STOY.

12. SEE SITE PLAN AND EXTERIOR ELEVATIONS FOR LOCATION OF

13. PROVIDE 5/8" WATER PROOF "GREEN BOARD" AT ALL "WET" AREAS. TYP. THICK MUD SET TO BE USED AT ALL SHOWERS, TUB SURROUNDS, FLOORS AND CEILINGS, USE 5/8" GREEN BD. AT REMAINING WALLS OF "WET" AREA.

30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

MECHANICAL NOTES

3. BLOWER MOTOR AT KITCHEN HOOD IS REMOTE W/ SILENCER U.N.O.

2. ALL EXPOSED PLUMBING TO EXTERIOR SHALL BE COPPER. PLUMBING STACKS, VENTS, SHALL BE PAINTED TO MATCH COLOR OF ROOF.

3. PROVIDE INSTA HOT WATER DISPENSER AT KITCHEN. [VERIFY WITH

4. WATER HEATERS ARE TANKLESS "ON DEMAND."

6. PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY

7. PROVIDE FLOOR DRAINS AT ALL ICE MAKER LOCATIONS.

TILE FLOORS (AT WET AREAS)

2. ANY GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED

3. SAFETY GLASS AND MUST COMPLY WITH R3OB (IRC 2006)

4. SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABY. DRAIN INLET OVER CONCRETE BACKERBOARD

5. ALL PLUMING FIXTURES SHALL BE SPACED PER R3O7.2 (IBC 2006)

BUILDER TO VERIFY ROUGH OPENING OF TUB WITH MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL

ATTIC ACCESS NOTES

DISAPPEARING STAIRS MAY BE USED IN FIRE PROTECTED GARAGE CEILINGS IN RESIDENTIAL GARAGES PROVIDED THE EXPOSED PANEL OF PLYWOOD ON THE GRAGE SIDE IS NOT LESS THAT 3/8° FIRE RETARDANT PLYWOOD OR COVERED WITH A MINIMUM 16 GUAGE SHEET METAL

GENERAL PLAN NOTES

DRAWINGS ARE NOT TO BE SCALED. PARADIGM IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.

 $2. \;$ all plan dimensions are typically taken to the face of the stud or the edge of foundation.

4. EXTERIOR WALL STUDS ARE 2 X 4 UNLESS OTHERWISE NOTED.

6. USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH AND SHOWER DOORS. ALL GLAZING(HAZARDOUS LOCATION) SHALL COMPLY WITH SECTION R308.4 OF 2006 IBC.

8. PROVIDE SQUARE GYP. BD. CORNERS THROUGHOUT UNLESS SPECIFIED OTHERWISE.

9. SEE ELECTRICAL SHEETS FOR LOCATIONS OF SMOKE DETECTORS.

14. THE PULL DOWN STAIRWAY SHALL HAVE AN OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 39 POUNDS. THE PASSAGEWAY IN THE ATTIC SHALL HAVE A CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTE 5 NOT LESS THAN 24 INCHES WIDTH. A LEVEL SERVICE SPACE AT LEAST

15. CONSTRUCTION DRAWINGS FOR: LANDSCAPING, LANDSCAPE LIGHTING, HARDSCAPE, DRAINAGE AND IRRIGATION BY OTHERS.

16. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND FIXTURES.

17. ALL GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTIAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONIAL BAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.

18. HANDRAILS AND GUARDRAILS SHALL ACCOMMODATE A MINIMUM OF 200 LBS. PER SQ. FT.

DOOR FROM GARAGE TO INTERIOR SHALL BE U.L. RATED 20 MINUTE 1.3/8" SOLID CORE SELF-CLOSING AND LATCHING WITH CLOSER.

A/C DUCTWORK IS INSULATED R6 SHEET METAL DUCT OR EQ. MUST MEET ENERGY CODE.

2. GENERAL CONTRACTOR TO SIZE EXHAUST FOR SELECTED COOKTOP AND HOOD

GENERAL PLUMBING NOTES

1. PROVIDE HEAVY INSULATION @ ALL EXPOSED PIPES.

BE LOCATED TO THE CENTER OF SCHEDULED BASE MATERIAL

8. ALL INTERIOR BATHROOM PLUMBING WALLS TO BE INSULATED.

ALL PLUMBING PENETRATIONS THROUGH FIRE WALLS SHALL COMPLY WITH SECTION R317.3.1.1.

GENERAL BATH NOTES

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Owner/Developer

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Contractor

Jeff Norman Coastal Builders

Structural Engineer

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Center Street Dev

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Document Information

Project History

Roof Plans

A1.21