

Structure Home Inspection

Property Inspection Report



5239 Dumore Drive, Houston, TX 77048
Inspection prepared for: Juquan Tellis
Date of Inspection: 3/12/2019 Time: 3:00 PM
Age of Home: 57 Years Size: 1,184 SF
Weather: Sunny 75 degrees

Inspector: Russell Wright
License #20996
1735 Amber Chase, Katy, TX 77450
Phone: 281.235.5119
Email: russell@structurehomeinspection.com
www.structurehomeinspection.com



Structure Home Inspection

PROPERTY INSPECTION REPORT

Prepared For: Juquan Tellis
 (Name of Client)

Concerning: 5239 Dumore Drive, Houston TX, 77048
 (Address or Other Identification of Inspected Property)

By: Russell Wright, License #20996 3/12/2019
 (Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
<http://www.trec.texas.gov>.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- Improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- Improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- Ordinary glass in locations where modern construction techniques call for safety glass;
- The lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- Excessive spacing between balusters on stairways and porches;
- Improperly installed appliances;
- Improperly installed or defective safety devices; and
- Lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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A. Foundations

Type of Foundation(s):

- Concrete slab foundation

Comments:

• Expansive and shifting soil conditions, drainage, leakage, tree roots, and other adverse factors are able to affect structures and differential movements are likely to occur. The Inspectors opinion is based upon visual observations of accessible and unobstructed areas of the foundation at the time of inspection. Future performance of the structure cannot be predicted or warranted.

- All components were found to be performing and in satisfactory condition at the time of the inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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B. Grading and Drainage

Comments:

- Large tree stump in the back yard should be removed.



Large tree stump in the back yard should be removed.

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C. Roof Covering Materials

Type(s) of Roof Covering:

- Fiberglass composite shingles noted.

Viewed From:

- Ground with binoculars

Comments:

- The inspector is not required to inspect from the roof level if; in the inspectors reasonable judgement, the inspector cannot safely reach and/or stay on the roof without significant damage to the roof covering materials

- Front left corner of roof (over previous garage) missing shingles and needs repair.
- Area at the rear section of the roof appears to have a dip or deflection in the shingles. This should be investigated further by a qualified roofing contractor and repaired.
- Galvanized metal roof flashings will rust over time unless sealed with a rust proof paint. Most new home builders paint the exposed flashing material with a color matched (to the roof shingles) rust proof paint.



Roof shingles are 30 year warranted fiberglas laminated shingles, and in excellent condition.

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Front left corner of roof (over previous garage) missing shingles and needs repair.



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Area at the rear section of the roof appears to have a dip or deflection in the shingles. This should be investigated further by a qualified roofing contractor and repaired.



Galvanized metal roof flashings will rust over time unless sealed with a rust proof paint. Most new home builders paint the exposed flashing material with a color matched (to the roof shingles) rust proof paint.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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D. Roof Structure and Attics

Viewed From:

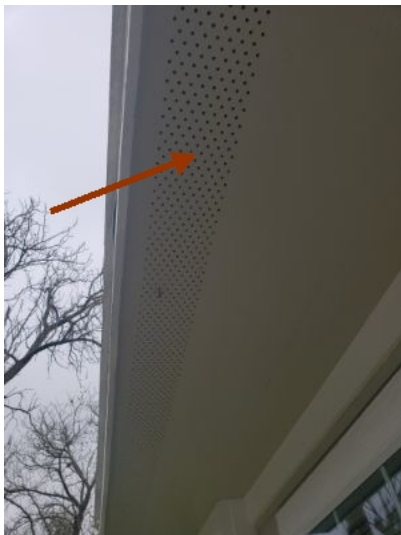
- Attic
- Ground

Approximate Average Depth of Insulation:

- Insulation is approximately 12 inches deep.

Comments:

- The roof structure purlins are not properly supported in one or more locations. Under current building standards; the purlins should be supported by {2x4} braces to load bearing walls at a slope of not less than 45 degrees. The bracing should be spaced within the middle third of the rafter and support every other rafter at minimum.
- Split ridge beam observed in the attic area and needs repair.



Pre-drilled soffit vents allow fresh air into the attic.



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The roof structure purlins are not properly supported in one or more locations. Under current building standards; the purlins should be supported by {2x4} braces to load bearing walls at a slope of not less than 45 degrees. The bracing should be spaced within the middle third of the rafter and support every other rafter at minimum.



The roof structure purlins are not properly supported in one or more locations. Under current building standards; the purlins should be supported by {2x4} braces to load bearing walls at a slope of not less than 45 degrees. The bracing should be spaced within the middle third of the rafter and support every other rafter at minimum.

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The loose fill attic insulation averages a depth of approximately 12".



Split ridge beam observed in the attic area and needs repair.

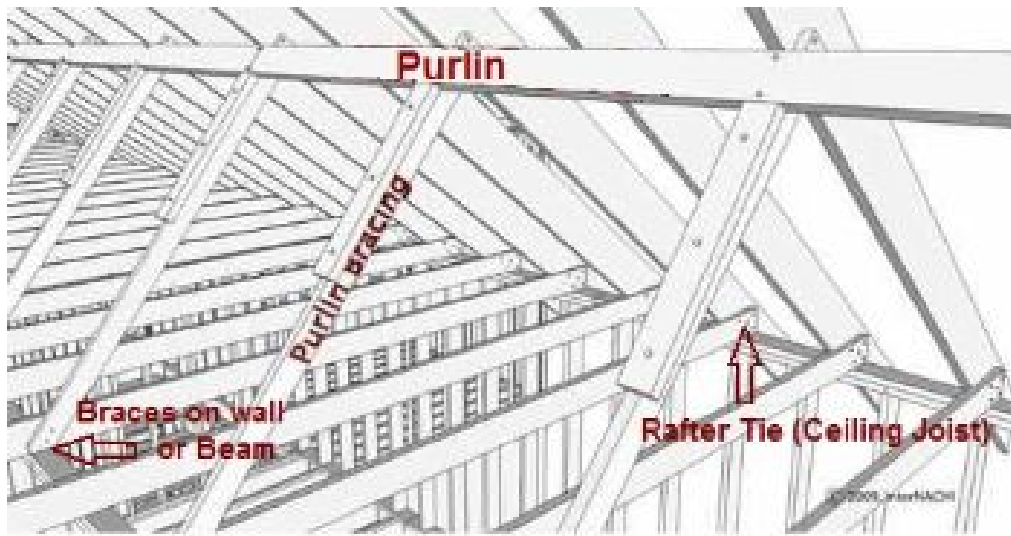
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Drawing showing proper roof bracing installation.

E. Walls (Interior and Exterior)

Wall Materials:

- Exterior walls covered with brick/stone veneer and cement based composite siding/trim (Hardiplank or equal).
- Drywall walls noted on interior

Comments:

- **Both bathroom walls are missing mirrors.**



Exterior walls covered with brick/stone veneer and cement based composite siding/trim (Hardiplank or equal).



Previous garage converted into the family room.

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Both bathroom walls are missing mirrors.

F. Ceilings and Floors

Ceiling and Floor Materials:

- Ceiling is made of drywall with textured finish.
- Floors are covered with porcelain tile and carpet.

Comments:

- All components were found to be performing and in satisfactory condition at the time of the inspection

G. Doors (Interior and Exterior)

Comments:

- Laundry room door tight and needs adjusting to easily close.
- The master bathroom shower is missing a door or enclosure.



Laundry room door tight and needs adjusting to easily close.



The master bathroom shower is missing a door or enclosure.

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H. Windows

Window Types:

- Windows are made of vinyl with double glazing and radiant barrier.

Comments:

- All window components were found to be performing and in satisfactory condition at the time of the inspection

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Locations:

- Fireplace is located in the family room

Types:

Comments:

- **Combustible material required to be a minimum of 8" from the sides of the opening. Wood trim is currently on a few inches from the opening.**
- **When gas logs are installed, the damper should have a C clamp installed to prevent the damper from closing.**
- **I could not get the fireplace to light and didn't detect gas coming out of the lighter when the valve was on. A remote control was not available and the switch to the right of the fireplace didn't do anything.**



I could not get the fireplace to light and didn't detect gas coming out of the lighter when the valve was on. A remote control was not available and the switch to the right of the fireplace didn't do anything.

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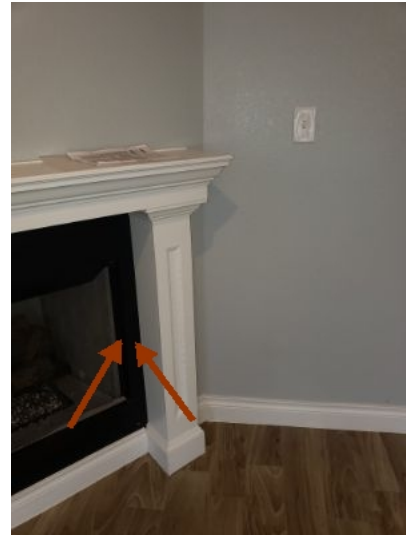
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When gas logs are installed, the damper should have a C clamp installed to prevent the damper from closing.



Combustible material required to be a minimum of 8" from the sides of the opening. Wood trim is currently on a few inches from the opening.

K. Porches, Balconies, Decks, and Carports

Comments:

- Cracks and fractures noted on the driveway/walkway, which is typical for the age of the concrete material and due to shifting soil conditions, also typical for our area.
- **The rear concrete patio is cracked and settled beyond repair and should be replaced.**



Cracks and fractures noted on the driveway/walkway, which is typical for the age of the concrete material and due to shifting soil conditions, also typical for our area.



Cracks and fractures noted on the driveway/walkway, which is typical for the age of the concrete material and due to shifting soil conditions, also typical for our area.

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The rear concrete patio is cracked and settled beyond repair and should be replaced.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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L. Other

Materials:
Comments:

II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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A. Service Entrance and Panels

Panel Locations:

- Electrical panel is located on the exterior wall of the structure.

Materials and Amp Rating:

- Copper wiring
- 60 AMP

Comments:

- Service brand/size: General Electric 60 AMP service.
- Electrical service wires and weather head installed too low for current requirements. They are at 8' from the ground and should be a minimum of 10' from the ground.
- No ARC fault breakers {**AFCI**} were observed at the service panel at the time of the inspection; although this may not have been a requirement when the home was built. Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. AFCI breakers provide fire protection by opening the circuit when an arcing fault is detected.
- The service panel is NOT completely and/or properly labeled. All breakers must be specifically identified as to appliances, lighting and receptacles
- The service panel is missing a main circuit breaker.
- The service is missing a main ground wire with ground rod below the panel. Ground rods should be driven a minimum of 8' into the ground and have the main ground wire properly clamped.

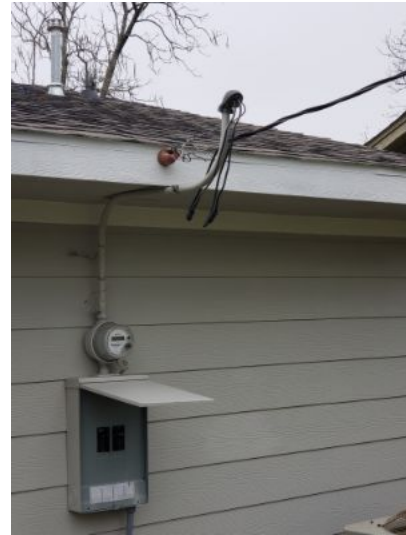
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Electrical service wires and weather head installed too low for current requirements. They are at 8' from the ground and should be a minimum of 10' from the ground.



Service brand/size: General Electric 60 AMP service.



The service panel is NOT completely and/or properly labeled. All breakers must be specifically identified as to appliances, lighting and receptacles

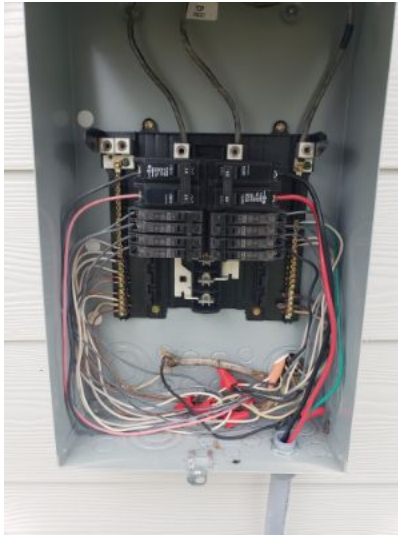
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Interior wiring view of the circuits.



The service panel is missing a main circuit breaker.

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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring

Comments:

- NOTE: The 2014 National Electrical Code requires all 15 and 20 AMP circuits that are not being protected by a **GFCI** circuit, an outlet that is designated for an alarm system, or outlets for built in appliances to be protected with ARC-Fault protection breakers. Previous codes only required the bedrooms and smoke detectors to be protected. As a TREC inspector I am required to note these items if not present as “Deficient” per our new 2015 Standards of Practice. (Please refer to TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES on pages 2 & 3 of this report.)
- Ground Fault Circuit Interrupter (GFCI) (Refer to TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES on pages 2 &3 of this report.)

- GFCI reset locations: Kitchen (one device controls all kitchen counter top outlets) and hall bathroom (one device controls both bathroom outlets).
- Smoke detectors should not be located in kitchens. When testing the oven, it set the smoke detection system off.
- The kitchen counter tops only have one circuit but are required to have two 20 AMP circuits serving the counter tops.
- Most of the electrical wiring is original and has not been replace or upgraded, although the home appears to be marketed as new. The original wiring is a two wire system with no ground. New three wires have been installed in the kitchen and laundry room, but most of the other wiring is a two wire system. There is nothing wrong with a two wire system, it just is not as safe as a three wire system.
- Breakfast room light fixture has a burned out bulb.
- The front and rear exterior outlets, and washing machine outlet are required to be GFCI protected and are not.
- The bathroom GFCI device has an open ground (two wire system) and does not trip when shorted. The GFCI protection may not be present. Consult with a licensed electrician.

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Smoke detectors should not be located in kitchens. When testing the oven, it set the smoke detection system off.



Breakfast room light fixture has a burned out bulb.



Most of the electrical wiring is original and has not been replaced or upgraded, although the home appears to be marketed as new. The original wiring is a two wire system with no ground. New three wires have been installed in the kitchen and laundry room, but most of the other wiring is a two wire system. There is nothing wrong with a two wire system, it just is not as safe as a three wire system.



The bathroom GFCI device has an open ground (two wire system) and does not trip when shorted. The GFCI protection may not be present. Consult with a licensed electrician.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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 A. Heating Equipment

Type of Systems:

- Natural gas fired forced hot air.

Energy Sources:

- The furnace is natural gas powered.

Comments:

- Brand/model: Goodman Manufacturing (manufacture label not easily located) estimated to have been manufactured in 2017.
- Please note that to properly inspect the heat exchanger; the unit must be physically dismantled and heat exchangers removed for examination. Due to the limitations of the Texas Real Estate Commission {TREC}; this procedure is prohibited and the inspection of the heat exchanger was limited
- The functional testing and/or inspection of the heating system was unable to be conducted due to an outside temperature in excess of {70} degrees. A limited visual inspection was performed.



Brand/model: Goodman Manufacturing (manufacture label not easily located) estimated to have been manufactured in 2017.

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B. Cooling Equipment

Type of Systems:

- Electric forced cold air.
- The home has a split system.

Comments:

• Brand/model: The condenser is a Payne model PA13NA048-C/serial number 1210X76136 13 SEER 4 ton unit manufactured in March of 2010 and the evaporator coil a Goodman Manufacturing model CSCF4160N6DA/serial number 1712000504 manufactured in December of 2017.

Type of system: Conventional split system using R-410A freon to cool.

- Temperature differential: The temperature differential was measured by taking the difference in the lowest supply reading and the main return air reading. Temperature differentials for cooling should always be between 15 - 20 degrees. The temperature differential was measured at 7 degrees (not acceptable).
- A licensed HVAC contractor should investigate further as the system is not cooling properly with a temperature differential of only 7 degrees. If low on freon, the system should be checked for freon leaks. If leaking at the condenser, the condenser should be replaced.
- The main condensation line drains to the exterior. We highly recommend the line be tied into an existing sewer vent pipe so the area outside will not be constantly wet during hot months.



Long pipe is the main A/C drain line, which drains to the lower area rear corner. The short pipe is the secondary drain line.



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Brand/model: The condenser is a Payne model PA13NA048-C/serial number 1210X76136 13 SEER 4 ton unit manufactured in March of 2010 and the evaporator coil a Goodman Manufacturing model CSCF4160N6DA/serial number 1712000504 manufactured in December of 2017. Type of system: Conventional split system using R-410A freon to cool. Evaporator coil with drain pan and main/secondary drain lines.

C. Duct Systems, Chases, and Vents

- Comments:
- HVAC filters are conventional and located at the return grills.
 - **Laundry room missing an HVAC supply grill.**

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution System and Fixtures

- Location of Water Meter:
- West side of the property near the street.
- Location of Main Water Supply Valve:
- West side of the home.
- Comments:
- Type of water pipe: Combination of galvanized steel pipes in walls (original material) with PEX repairs done at the laundry room and CPVC repairs done in the attic.
 - The anti static water pressure was observed at 60 PSI.
 - The anti static water pressure readings are typically at {40-80 psi} in the normal operating range. Pressure exceeding these limits or higher than {80 psi} is likely to put excessive pressure on the household water system.
 - **One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system**

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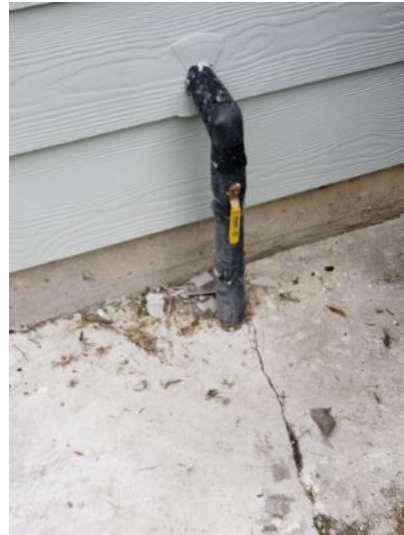
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The anti static water pressure was observed at 60 PSI.



Main water service line located on the west wall.



One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system



Water meter located on the west side of the property, near the street.

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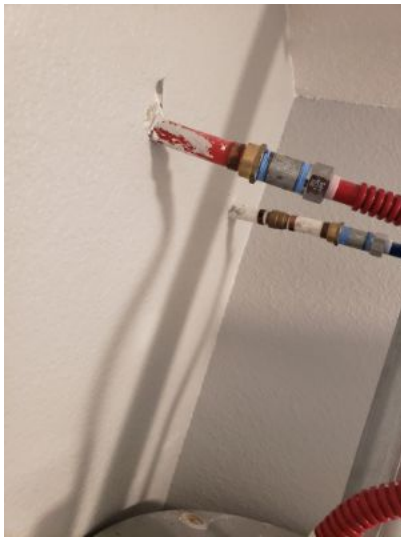
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I	NI	NP	D
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One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system



Rusty water coming out of both tub fixtures for approximately 10 seconds before it cleared up.

I=Inspected

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D=Deficient

I	NI	NP	D
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B. Drains, Wastes, and Vents

Comments:

- Hall bath toilet installed crooked.



Hall bath toilet installed crooked.



Kitchen sink drains/trap.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Energy Source:

- Water heater(s) is natural gas.
- Water heater(s) is located in the laundry room.

Capacity:

- Unit is 40 gallons.

Comments:

- Brand/model: AO Smith model G6-S4040NV40/serial number 1810109552722 manufactured in March of 2018.
- The water heater and its components were found to be performing and in satisfactory condition at the time of the inspection.
- NOTE: A plumber was on site at the time of inspection repairing the water heater vent pipe. Pipe was not on a proper stand allowing space between the vent and appliance gas discharge area.
- The hot and cold supply fittings were noted to be made of a flexible metal, and the water pipe is made of a plastic material (CPVC or PEX). When this type pipe is used, the metal fittings at the top need to be grounded. This can be done by installing #8 bare copper wires from the metal fittings to the gas pipe below with approved clamps.



Water heater drain lines located on the west wall.



The water heater and its components were found to be performing and in satisfactory condition at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The hot and cold supply fittings were noted to be made of a flexible metal, and the water pipe is made of a plastic material (CPVC or PEX). When this type pipe is used, the metal fittings at the top need to be grounded. This can be done by installing #8 bare copper wires from the metal fittings to the gas pipe below with approved clamps.

D. Hydro-Massage Therapy Equipment

Comments:

E. Other

Materials:
Comments:

V. APPLIANCES

A. Dishwashers

Comments:

B. Food Waste Disposers

Comments:

C. Range Hood and Exhaust Systems

- Comments:
- Range hood a combination unit. See comments in the microwave oven section.
 - Self filtering unit with fan that vents to the exterior.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Ranges, Cooktops, and Ovens

Comments:

- Brand/model: General Electric model JGB908SEL3SS/serial number HM208456P manufactured in 2019.
- The oven was set on bake at 350 degrees and allowed to heat completely, and measured at 351 degrees (acceptable).
- Appliance(s) was functional and operational at the time of the inspection.



Brand/model: General Electric model JGB908SEL3SS/serial number HM208456P manufactured in 2019.



The oven was set on bake at 350 degrees and allowed to heat completely, and measured at 351 degrees (acceptable).

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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E. Microwave Ovens

Comments:

- Brand/model: LG model LMVM2033ST/serial number 807TATGAM329 manufactured in July of 2018.
- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.



Brand/model: LG model LMVM2033ST/serial number 807TATGAM329 manufactured in July of 2018.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

G. Garage Door Operators

Door Type:

Comments:

H. Dryer Exhaust Systems

Comments:

- Laundry room wall missing a clothes dryer vent.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Laundry room wall missing a clothes dryer vent.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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I. Other

Observations:

VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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A. Landscape Irrigation (Sprinkler) Systems

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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C. Outbuildings

Materials:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:

Type of Storage Equipment:

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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E. Private Sewage Disposal (Septic) Systems

Type of System:
Location of Drain Field:
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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F. Other

Comments:

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

Report Summary

STRUCTURAL SYSTEMS

Page 4 Item: B	Grading and Drainage	<ul style="list-style-type: none"> • Large tree stump in the back yard should be removed.
Page 5 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> • Front left corner of roof (over previous garage) missing shingles and needs repair. • Area at the rear section of the roof appears to have a dip or deflection in the shingles. This should be investigated further by a qualified roofing contractor and repaired. • Galvanized metal roof flashings will rust over time unless sealed with a rust proof paint. Most new home builders paint the exposed flashing material with a color matched (to the roof shingles) rust proof paint.
Page 8 Item: D	Roof Structure and Attics	<ul style="list-style-type: none"> • The roof structure purlins are not properly supported in one or more locations. Under current building standards; the purlins should be supported by {2x4} braces to load bearing walls at a slope of not less than 45 degrees. The bracing should be spaced within the middle third of the rafter and support every other rafter at minimum. • Split ridge beam observed in the attic area and needs repair.
Page 11 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • Both bathroom walls are missing mirrors.
Page 12 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> • Laundry room door tight and needs adjusting to easily close. • The master bathroom shower is missing a door or enclosure.
Page 13 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> • Combustible material required to be a minimum of 8" from the sides of the opening. Wood trim is currently on a few inches from the opening. • When gas logs are installed, the damper should have a C clamp installed to prevent the damper from closing. • I could not get the fireplace to light and didn't detect gas coming out of the lighter when the valve was on. A remote control was not available and the switch to the right of the fireplace didn't do anything.
Page 14 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> • The rear concrete patio is cracked and settled beyond repair and should be replaced.

ELECTRICAL SYSTEMS

Page 16 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> • Electrical service wires and weather head installed too low for current requirements. They are at 8' from the ground and should be a minimum of 10' from the ground. • No ARC fault breakers {AFCI} were observed at the service panel at the time of the inspection; although this may not have been a requirement when the home was built. Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. AFCI breakers provide fire protection by opening the circuit when an arcing fault is detected. • The service panel is NOT completely and/or properly labeled. All breakers must be specifically identified as to appliances, lighting and receptacles • The service panel is missing a main circuit breaker. • The service is missing a main ground wire with ground rod below the panel. Ground rods should be driven a minimum of 8' into the ground and have the main ground wire properly clamped.
Page 18 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • Smoke detectors should not be located in kitchens. When testing the oven, it set the smoke detection system off. • The kitchen counter tops only have one circuit but are required to have two 20 AMP circuits serving the counter tops. • Most of the electrical wiring is original and has not been replaced or upgraded, although the home appears to be marketed as new. The original wiring is a two wire system with no ground. New three wires have been installed in the kitchen and laundry room, but most of the other wiring is a two wire system. There is nothing wrong with a two wire system, it just is not as safe as a three wire system. • Breakfast room light fixture has a burned out bulb. • The front and rear exterior outlets, and washing machine outlet are required to be GFCI protected and are not. • The bathroom GFCI device has an open ground (two wire system) and does not trip when shorted. The GFCI protection may not be present. Consult with a licensed electrician.
HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS		
Page 21 Item: B	Cooling Equipment	<ul style="list-style-type: none"> • A licensed HVAC contractor should investigate further as the system is not cooling properly with a temperature differential of only 7 degrees. If low on freon, the system should be checked for freon leaks. If leaking at the condenser, the condenser should be replaced. • The main condensation line drains to the exterior. We highly recommend the line be tied into an existing sewer vent pipe so the area outside will not be constantly wet during hot months.
Page 22 Item: C	Duct Systems, Chases, and Vents	<ul style="list-style-type: none"> • Laundry room missing an HVAC supply grill.
PLUMBING SYSTEM		
Page 23 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> • One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system
Page 25 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • Hall bath toilet installed crooked.

Page 26 Item: C	Water Heating Equipment	<ul style="list-style-type: none">• The hot and cold supply fittings were noted to be made of a flexible metal, and the water pipe is made of a plastic material (CPVC or PEX). When this type pipe is used, the metal fittings at the top need to be grounded. This can be done by installing #8 bare copper wires from the metal fittings to the gas pipe below with approved clamps.
APPLIANCES		
Page 29 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none">• Laundry room wall missing a clothes dryer vent.