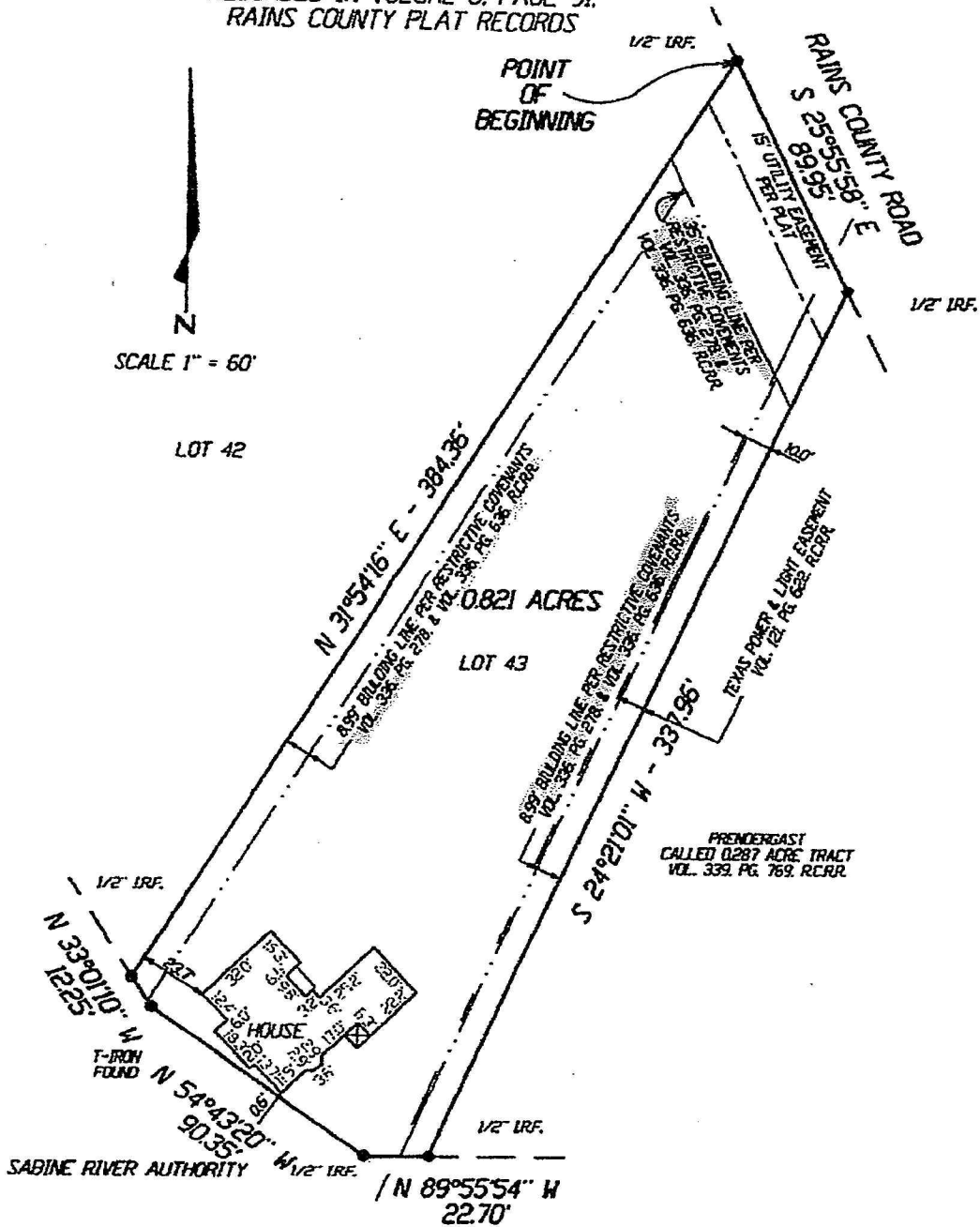


JOHNNIE STOTTS
PL. EVANS SURVEY ABSTRACT NO. 16
RAINS COUNTY, TEXAS

PLAT SHOWING LOT 43 OF
NORTH SHORES SUBDIVISION, PHASE I
RECORDED IN VOLUME 5, PAGE 91,
RAINS COUNTY PLAT RECORDS



NOTE : Basis of Bearing is the east line of Lot 43 (5/91).

NOTE : According to Flood panel map no. 480975 0002 A, dated October 18, 1977, published by the Federal Management Agency, this property DOES NOT lie within a 100 year Flood zone area.

I, Danny W. Beasley, Registered Professional Land Surveyor, State of Texas, do certify that the plat hereon is a true, correct, and accurate representation of the property as determined by an on the ground survey and there are NO VISIBLE ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, except as shown on plat.

BEASLEY LAND SURVEYING
P. O. BOX 451
EMORY, TEXAS 75440
903-473-8020

Danny W. Beasley
Danny W. Beasley, R.P.L.S. No. 4913

DATE : 10-28-97
JOB NO. 97166
SHEET 1 OF 1



**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: _____ GF No. _____

Name of Affiant(s): Arlene Stotts

Address of Affiant: 1016 RCR 3500 - EMORY, TX 75440

Description of Property: Lot 43 - Northshores Subdivision

County Rains, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."): owner

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since October 28, 1997 there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which encroach on the Property;
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): n/a

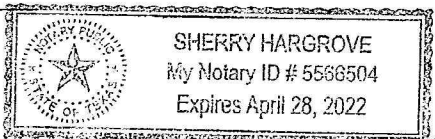
5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Arlene E. Stotts
Arlene E. Stotts

SWORN AND SUBSCRIBED this 7th day of March 2019,

[Signature]
Notary Public



(TAR-1907) 02-01-2010