



Inspection Report

Miranda McFarland

Property Address:
8009 Safeway St.
Houston TX 77028



American Dream Inspections TX, LLC

Kevin Sandel 22389
4634 Kingfisher Dr.
Houston, TX 77035
832-566-0973

PROPERTY INSPECTION REPORT

Prepared For: Miranda McFarland

(Name of Client)

Concerning: 8009 Safeway St., Houston, TX 77028

(Address or Other Identification of Inspected Property)

By: Kevin Sandel 22389 / American Dream Inspections TX, llc 5/20/2019

(Name and License Number of Inspector)

(Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standard for inspections by TREC Licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers.

Promulgated by the Texas Real Estate Commission(TREC) P.O. Box 12188, Austin, TX 78711-2188 (512)936-3000
(<http://www.trec.state.tx.us>).

You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

In Attendance:

Customer and Seller

Type of building:

Single Family (1 story)

Approximate age of building:

Over 50 Years

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

Ground/Soil surface condition:

Damp

Rain in last 3 days:

Yes

Radon Test:

No

Water Test:

No

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. Structural Systems

THE BELOW MAJOR DEFICIENCIES LISTS ARE TO BE CORRECTED FIRST BY A PROFESSIONAL TRADE. THERE WILL BE OTHER ITEMS IN THE REPORT THAT CAN BE CORRECTED AT A LATER TIME, SO PLEASE COMPLETELY READ THE FULL REPORT!

STRUCTURAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Gutters are full of debris at time of inspection. Should have a professional clean debris from gutters for proper water dispersement.
- 2) Gap between drip edge flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.
- 3) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.
- 4) All roof lifted plumbing jacks should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.
- 5) Front roof structure is sloped at time of inspection. Should have a professional inspect and correct if necessary.
- 6) Exterior soffits have signs of possible WDO (Wood Destroying Organisms) growth at time of inspection. Should have a professional correct properly.
- 7) Walls in garage conversion has high moisture in several areas at time of inspection. Should have a professional inspect and correct properly.
- 8) Several interior doors were not operating and latching properly due to not being installed properly. Should have a professional install doors properly.
- 9) Front exterior door was not seating properly at time of inspection. Should have a professional adjust door properly.
- 10) All exterior and interior window penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.
- 11) Side window is cracked in several areas and is plastic at time of inspection. Should have a professional replace with a glass window.
- 12) Several windows were not operating properly and has leveler rods un installed at time of inspection. Should have a professional correct for proper egress. Possible safety hazard.
- 13) Front and rear exterior steps are missing hand railings at time of inspection. This is a possible safety hazard. Should have a professional correct properly.
- 14) Stairs to garage conversion was missing railings at time of inspection. Should correct properly. Possible safety hazard.
- 15) Exterior metal carport is damaged and has signs of leaking in several areas at time of inspection. Should have a professional inspect and correct properly.
- 16) Front exterior wood porch columns have moisture damage and are splitting in several areas at time of inspection. Should have a professional inspect and correct properly.
- 17) Front porch is sloped toward the structure at time of inspection. This is conducive to moisture distributing toward the structure. Should slope away from the structure.

A. Foundations

Type of Foundation(s): Poured concrete, Pier & Beam

Method used to observe Crawlspace: Unsafe conditions

Columns or Piers: Masonry block

Comments:

Could not safely access all areas of the crawlspace under structure at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Foundation issues could be hidden and not visible at time of inspection. It's always recommended to have a professional inspect and further evaluate foundation for any defects or deficiencies.



A. Item 1(Picture)

B. Grading and Drainage

Comments:

(1) Soil is too high to foundation in several areas at time of inspection. Soil should be graded 6" in 10' away from the foundation.



B. Item 1(Picture)

(2) All gutters should disperse water 5' away from the foundation.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 2(Picture)

(3) Gutters are full of debris at time of inspection. Should have a professional clean debris from gutters for proper water dispersement.



B. Item 3(Picture)

C. Roof Covering Materials

Types of Roof Covering: 3-Tab fiberglass

Viewed roof covering from: Walked roof

Comments:

(1) Gap between drip edge flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)

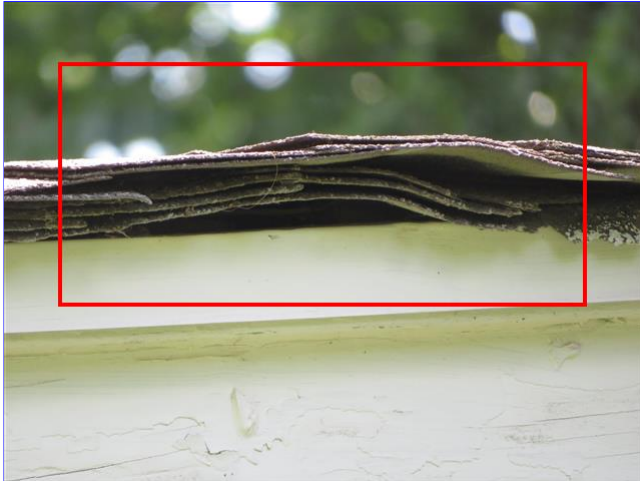
(2) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

The absolute water-tightness of a roof system can only be determined by observing it during a period of prolonged rainfall and differing weather and wind conditions. These conditions are rarely, if ever, present during the inspection, and if they are, there are almost always some areas of the roof that will not be observable, due to factors such as, but not limited to: construction/ framing design, ductwork, insulation, low headroom, etc. Therefore this report should not be construed as a warranty, or an absolute opinion, of the complete water-tightness of the roof system. We will, however, endeavor to report observable evidence of roof leaks or problems. It is also important to talk to the homeowner about any ceiling stains and leak activity whether past or present. A homeowner is obligated by the seller's disclosure paperwork to truthfully report on any roof leak issues since they have owned the home. Make sure you have reviewed the seller's disclosure statement in its entirety.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 2(Picture)



C. Item 3(Picture)

(3) All roof lifted plumbing jacks should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.



C. Item 4(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

D. Roof Structures and Attics

Roof-Type: Gable

Roof Structure Type: 2 X 6 Rafters

Method used to observe attic: From entry

Attic info: Scuttle hole

Approximate Average Depth of Insulation: 10 inches

Comments:

(1) Front roof structure is sloped at time of inspection. Should have a professional inspect and correct if necessary.



D. Item 1(Picture)



D. Item 2(Picture)

(2) Exterior soffits have signs of possible WDO (Wood Destroying Organisms) growth at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



D. Item 3(Picture)

(3) Attic space was not accessible to inspect at time of inspection.



D. Item 4(Picture)

E. Walls (Interior and Exterior)

Wall Structure: Wood

Siding Style: Brick

Siding Material: Full brick

Wall Material: Gypsum Board

Cabinetry: Wood

Countertop: Laminate

Comments:

(1) All exterior brick Frieze board gaps should be sealed properly. Conducive to moisture intrusion and causing possible damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



E. Item 1(Picture)

(2) All bathroom tile wall penetrations, gaps or cracks should be sealed properly. Conducive to moisture intrusion.



E. Item 2(Picture)

(3) Walls in garage conversion has high moisture in several areas at time of inspection. Should have a professional inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

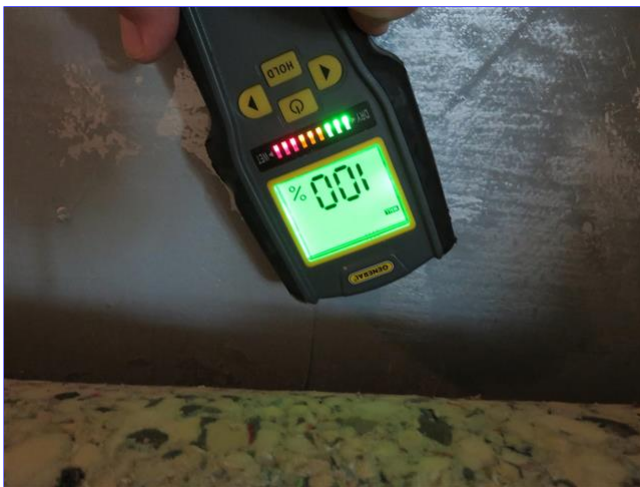
I NI NP D



E. Item 3(Picture)



E. Item 4(Picture)



E. Item 5(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



E. Item 6(Picture)



E. Item 7(Picture)

F. Ceilings and Floors

Ceiling Structure: Not visible

Floor Structure: Wood joists, Slab

Ceiling Materials: Gypsum Board

Floor Covering(s): Carpet, Laminated T&G, Tile

Comments:

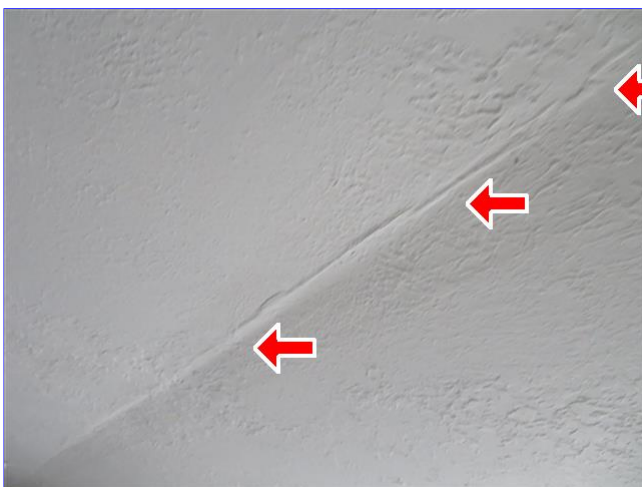
Interior ceilings are sagging, cracked and have been patched in several areas at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



F. Item 1(Picture)



F. Item 2(Picture)

G. Doors (Interior and Exterior)

Exterior Entry Doors: Fiberglass, Single pane

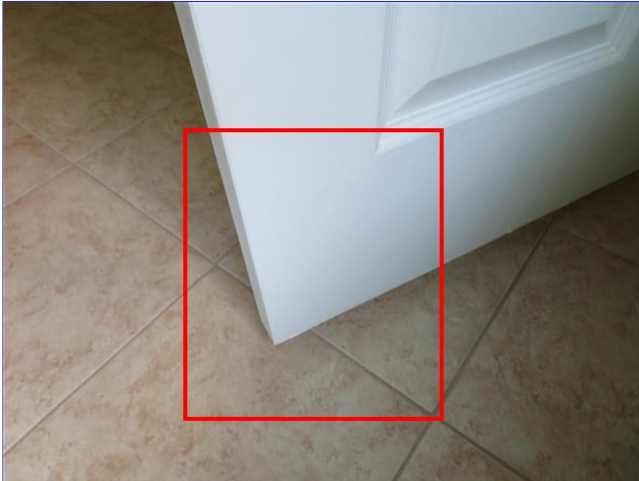
Interior Doors: Hollow core

Comments:

(1) Several interior doors were missing door stoppers at time of inspection. Should be corrected properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 1(Picture)

(2) Several interior doors were not operating and latching properly due to not being installed properly. Should have a professional install doors properly.



G. Item 2(Picture)

(3) Front glass slider door was missing screen at time of inspection. Should replace screen properly.

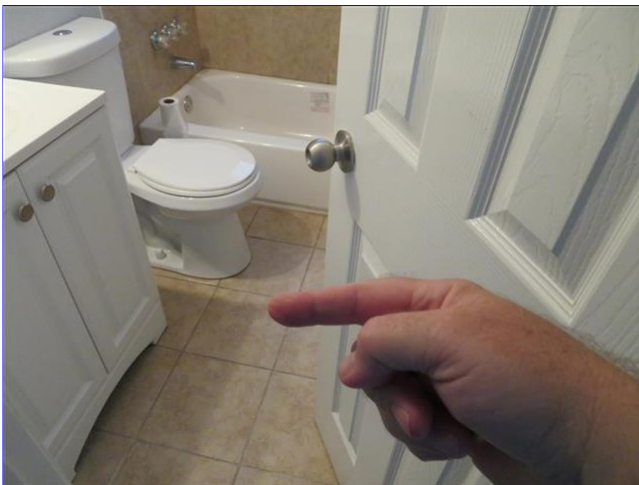
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 3(Picture)

(4) Bathroom door would not stay open at time of inspection. Should adjust door properly.



G. Item 4(Picture)

(5) Front exterior door was not seating properly at time of inspection. Should have a professional adjust door properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 5(Picture)

H. Windows

Window Types: AGED, Thermal/Insulated

Window Manufacturer: PELLA, ALENCO

Comments:

(1) All exterior and interior window penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

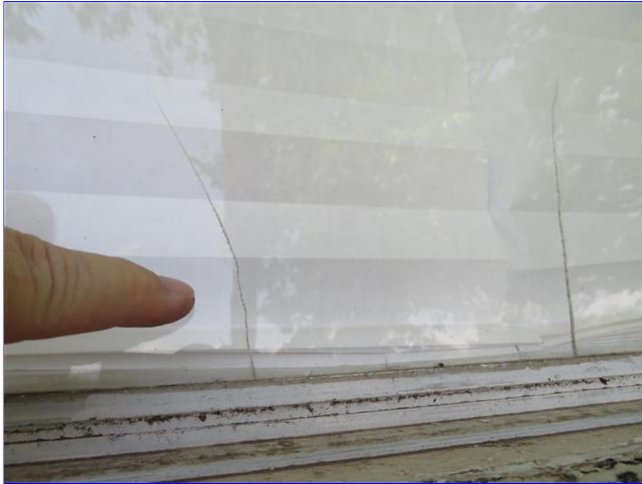


H. Item 1(Picture)

(2) Side window is cracked in several areas and is plastic at time of inspection. Should have a professional replace with a glass window.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



H. Item 2(Picture)

(3) Several windows were not operating properly and has leveler rods un installed at time of inspection. Should have a professional correct for proper egress. Possible safety hazard.



H. Item 3(Picture)



H. Item 4(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(4) Windows are missing screens at time of inspection. Should have a professional replace screens properly.



H. Item 5(Picture)

(5) Front window shutter was loose from structure at time of inspection. Should secure properly to the structure.



H. Item 6(Picture)

I. Stairways (Interior and Exterior)

[Comments:](#)

(1) Front and rear exterior steps are missing hand railings at time of inspection. This is a possible safety hazard. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



I. Item 1(Picture)



I. Item 2(Picture)

(2) Stairs to garage conversion was missing railings at time of inspection. Should correct properly. Possible safety hazard.



I. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

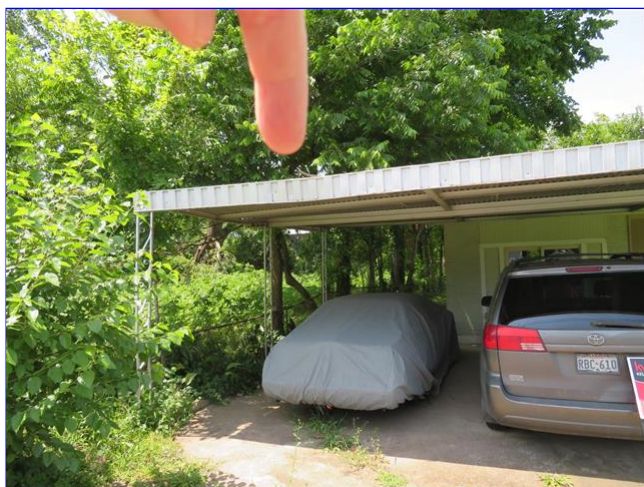
J. Fireplaces and Chimneys

Sky Light(s): None
Chimney (exterior): N/A
Types of Fireplaces: None
Operable Fireplaces: None
Number of Woodstoves: None
Comments:

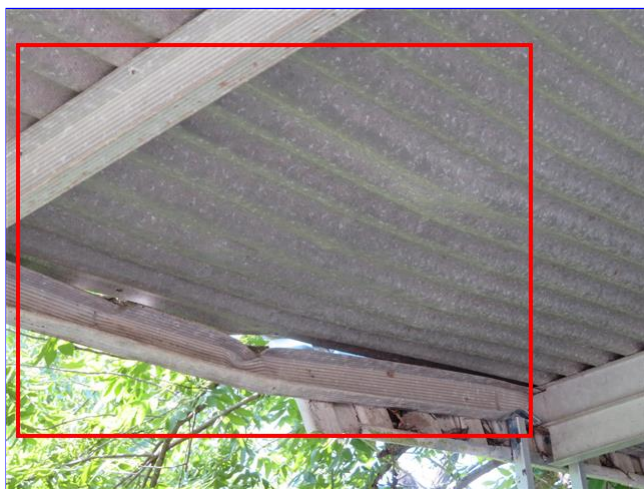
K. Porches, Balconies, Decks, Carports. Driveways

Appurtenance: Porch, Sidewalk, Patio
Driveway: Concrete
Comments:

(1) Exterior metal carport is damaged and has signs of leaking in several areas at time of inspection. Should have a professional inspect and correct properly.



K. Item 1(Picture)



K. Item 2(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 3(Picture)



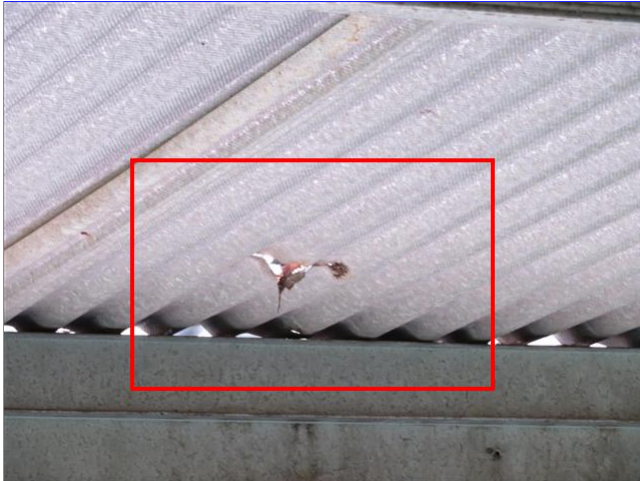
K. Item 4(Picture)



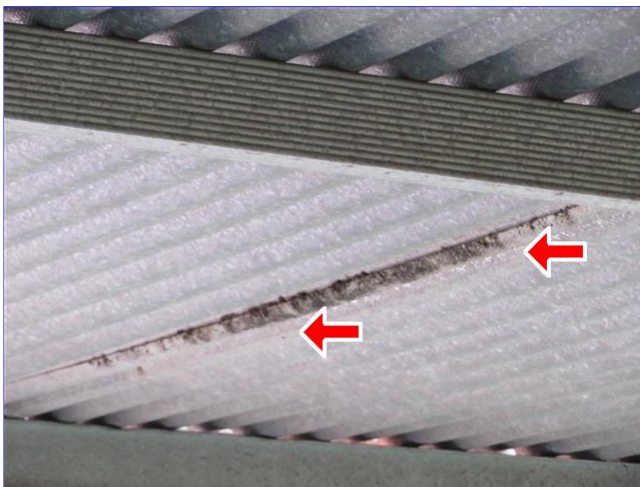
K. Item 5(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 6(Picture)



K. Item 7(Picture)

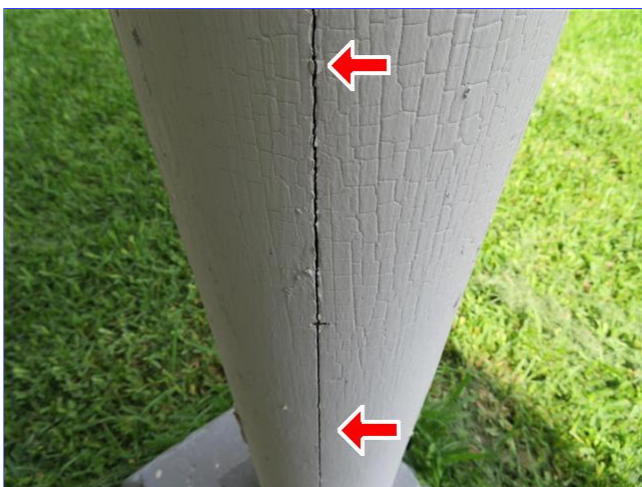
(2) Front exterior wood porch columns have moisture damage and are splitting in several areas at time of inspection. Should have a professional inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 8(Picture)



K. Item 9(Picture)

(3) Front porch is sloped toward the structure at time of inspection. This is conducive to moisture distributing toward the structure. Should slope away from the structure.



K. Item 10(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

N. 360 Views

[Comments:](#)

360 Views

Check out in the separate email the Texas Web Inspection Interactive Report for 360 views of the interior of the property.



N. Item 1(Picture)



N. Item 2(Picture)



N. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 4(Picture)



N. Item 5(Picture)



N. Item 6(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 7(Picture)



N. Item 8(Picture)

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

II. Electrical Systems

ELECTRICAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Electric meter and GE breaker box. Breakers were not labeled at time of inspection. Gap between boxes and structure should be sealed properly. Conducive to moisture intrusion and causing possible damage.
- 2) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.
- 3) All wire sheathing in the breaker box should go all the way to the breaker. No bare wires should be showing. Should have a professional electrician correct.
- 4) All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected.
- 5) Closet light has broken bulb at time of inspection. Should have a professional electrician inspect and correct properly.
- 6) All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

A. Service Entrance and Panels

Electrical Service Conductors: Overhead service

Panel Capacity: 125 AMP

Panel Type: Circuit breakers

Electric Panel Manufacturer: GENERAL ELECTRIC

Comments:

Electric meter and GE breaker box. Breakers were not labeled at time of inspection. Gap between boxes and structure should be sealed properly. Conducive to moisture intrusion and causing possible damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1(Picture)



A. Item 2(Picture)



A. Item 3(Picture)

B. Branch Circuits, Connected Devices and Fixtures

Type of wiring: Copper

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Wiring Methods: Romex

Comments:

(1) The smoke detector should be tested at common hallway to bedrooms upon moving in to home.



B. Item 1(Picture)

(2) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.



B. Item 2(Picture)

(3) 125 amp main disconnect.

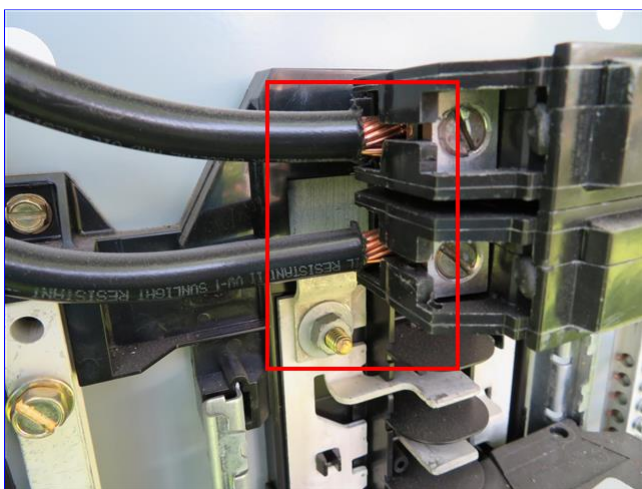
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 3(Picture)

(4) All wire sheathing in the breaker box should go all the way to the breaker. No bare wires should be showing. Should have a professional electrician correct.



B. Item 4(Picture)

(5) All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected.

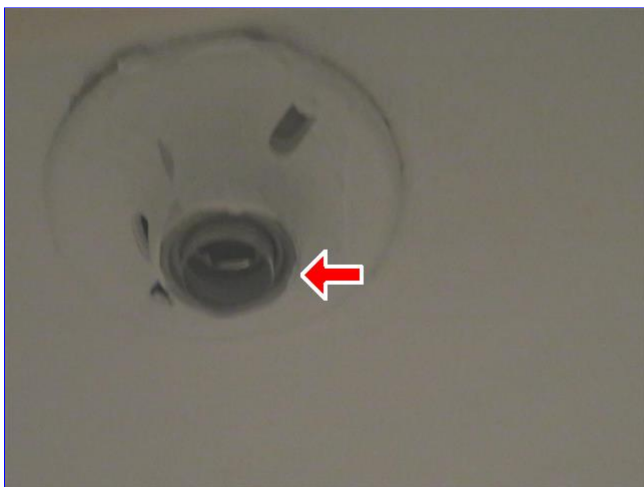
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 5(Picture)

(6) Closet light has broken bulb at time of inspection. Should have a professional electrician inspect and correct properly.



B. Item 6(Picture)

(7) All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 7(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. Heating, Ventilation and Air Conditioning Systems

HVAC SYSTEMS MAJOR DEFICIENCIES:

- 1) Exterior metal cover for AC lines was loose from the structure at time of inspection. Should have a professional AC tech secure and seal properly to the structure.
- 2) All HVAC registers should be sealed to the ceilings properly. Leaking air across the ceilings at time of inspection.

A. Cooling Equipment

Type of Systems (Cooling): Air conditioner unit

Cooling Equipment Energy Source: Electricity

Number of AC Only Units: One

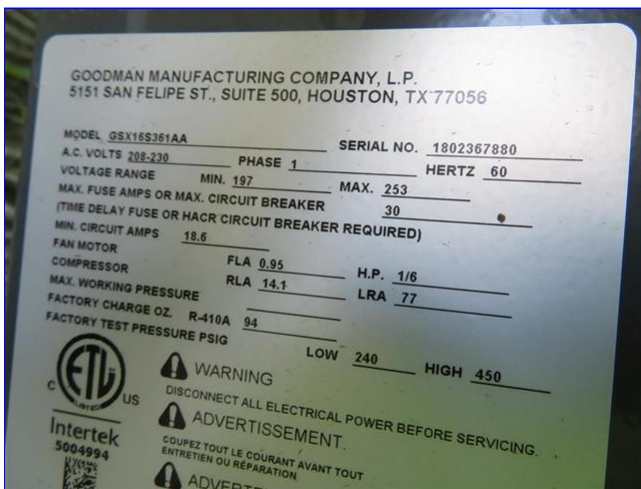
Central Air Brand: GOODMAN

Comments:

- (1) 2018 Goodman 3 ton AC unit was working properly at time of inspection.



A. Item 1(Picture)



A. Item 2(Picture)

- (2) Exterior metal cover for AC lines was loose from the structure at time of inspection. Should have a professional AC tech secure and seal properly to the structure.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 3(Picture)

B. Heating Equipment

Type of Systems (Heating): Furnace

Energy Sources: Electric

Number of Heat Systems (excluding wood): One

Heat System Brand: GOODMAN

Comments:

2018 Goodman electric furnace in closet was working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 1(Picture)



B. Item 2(Picture)

C. Duct Systems, Chases and Vents

Ductwork: Insulated

Filter Type: Disposable

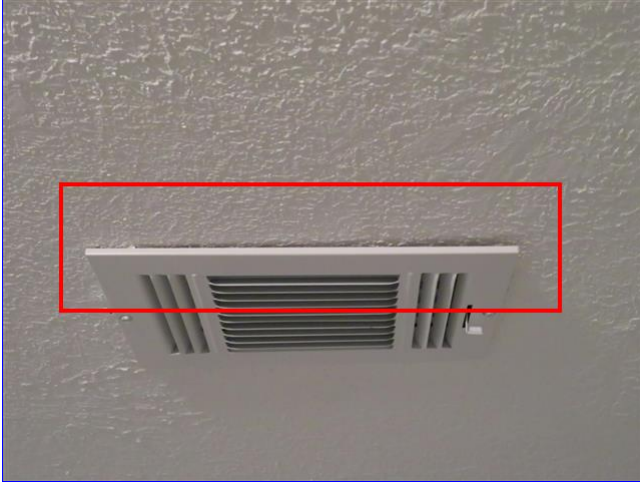
Filter Size: 20x20

Comments:

All HVAC registers should be sealed to the ceilings properly. Leaking air across the ceilings at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. Plumbing System

PLUMBING SYSTEMS MAJOR DEFICIENCIES:

- 1) Master bathroom shower and tub has low water pressure at time of inspection. Should have a professional plumber inspect and correct properly.
- 2) Toilet bowl was loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.
- 3) All toilets should be sealed properly to the floor. Conducive to possible leaking sewer gasses.
- 4) Kitchen sink drain plumbing was loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.
- 5) Bathroom sink has loose and incorrect flex plumbing at time of inspection. Should have a professional plumber replace with proper solid plumbing.
- 6) Several bathrooms sink drain plumbing were loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.
- 7) Several bathroom drain stoppers did not operate at time of inspection. Should have a professional plumber correct properly.
- 8) Roof plumbing stack is not correct at time of inspection. Should have a professional plumber inspect and correct properly.
- 9) 2017 Rheem electric 30 gallon hot water heater in the utility room was working properly at time of inspection. Unit was missing drip pan and drain to exterior at time of inspection. Unit was installed with improper piping at time of inspection. Should have a professional plumber inspect and correct properly.

A. Plumbing Supply, Distribution System and Fixtures

Water Source: Public

Water Filters: (We do not inspect filtration systems)

Plumbing Water Supply (into home): PVC

Plumbing Water Distribution (inside home): Galvanized, PVC, CPVC

Location of water meter: in yard

Location of main water supply valve: Unknown

Static water pressure reading: 68 psi

Comments:

- (1) Static water pressure was 68 psi at time of inspection. Normal pressure is 40-60 psi. Should have a professional plumber inspect and correct.



A. Item 1(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

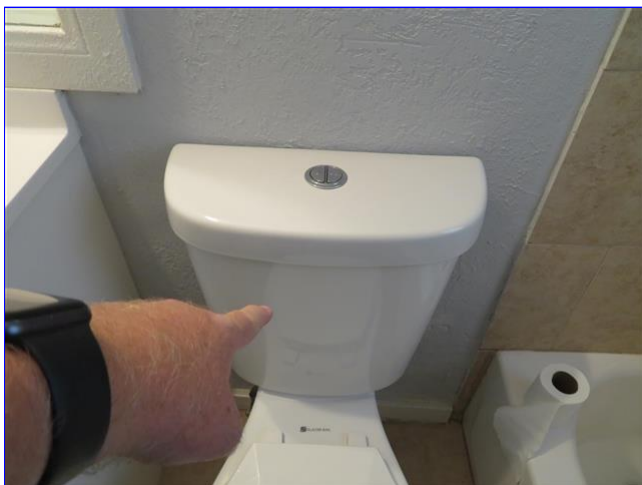
I NI NP D

(2) Master bathroom shower and tub has low water pressure at time of inspection. Should have a professional plumber inspect and correct properly.



A. Item 2(Picture)

(3) Toilet bowl was loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.

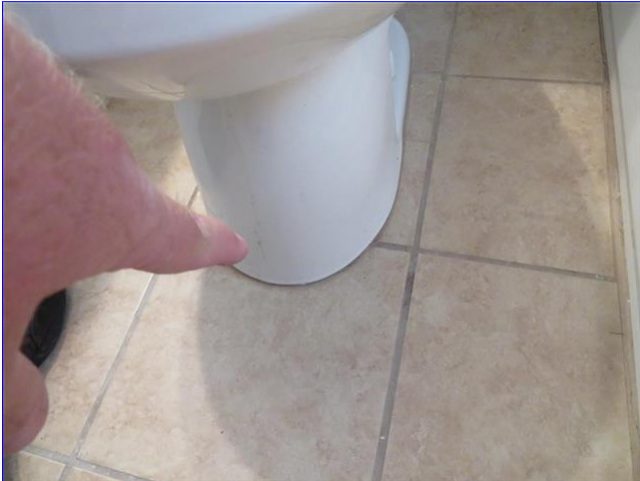


A. Item 3(Picture)

(4) All toilets should be sealed properly to the floor. Conducive to possible leaking sewer gasses.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 4(Picture)

(5) Signs of cut original plumbing under structure at time of inspection.



A. Item 5(Picture)

B. Drains, Waste and Vents

Washer Drain Size: 2" Diameter

Plumbing Waste: Unknown

Comments:

(1) Kitchen sink drain plumbing was loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.

Based on the inspection industry's definition of a recommended water test for "functional drainage" in a plumbing system, the plumbing drainpipes appear operational at this time. However, only a video-scan of the interior of drainpipes and drain lines can fully confirm their actual condition. When the house is vacant, the plumbing system is older, there are prior known drain

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

problems or there are large trees on the grounds, it would be prudent to have the drain lines "video-scanned" prior to closing.

(The house has been vacant); a larger family moving in could result in clogged sewer piping, thus **THE FOLLOWING SHOULD BE DONE:** Have a licensed and qualified plumbing contractor check the main sewer line from the house to the street or on-site sewage system with a video camera to check for blockages **BEFORE YOU CLOSE."**



B. Item 1(Picture)

(2) Bathroom sink has loose and incorrect flex plumbing at time of inspection. Should have a professional plumber replace with proper solid plumbing.



B. Item 2(Picture)

(3) Several bathrooms sink drain plumbing were loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 3(Picture)

(4) Several bathroom drain stoppers did not operate at time of inspection. Should have a professional plumber correct properly.



B. Item 4(Picture)

(5) Roof plumbing stack is not correct at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 5(Picture)

C. Water Heating Equipment

Water Heater energy sources: Electric

Water Heater Capacity: 30 Gallon (small)

Water Heater Location: Utility Room

WH Manufacturer: RHEEM

Comments:

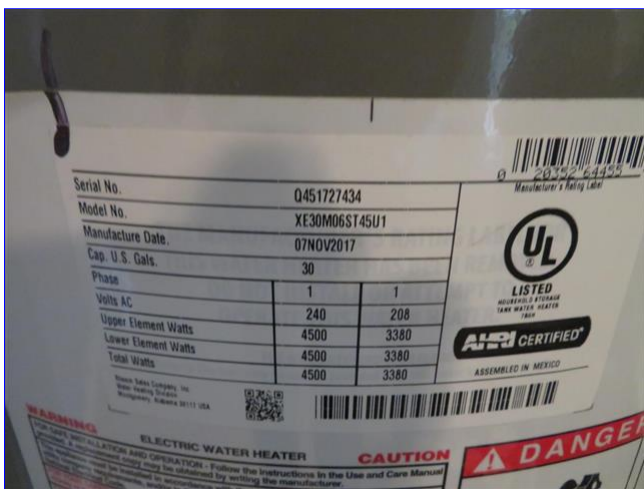
2017 Rheem electric 30 gallon hot water heater in the utility room was working properly at time of inspection. Unit was missing drip pan and drain to exterior at time of inspection. Unit was installed with improper piping at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)



C. Item 2(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 3(Picture)



C. Item 4(Picture)

D. Hydro-Massage Therapy Equipment

[Comments:](#)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. Appliances

APPLIANCES MAJOR DEFICIENCIES:

1) Bathroom exhaust fan was loose from the ceiling at time of inspection. Should have a professional secure and seal properly to the ceiling.

A. Dishwasher

Dishwasher Brand: NONE

Comments:

B. Food Waste Disposers

Disposer Brand: NONE

Comments:

C. Range Hood and Exhaust System

Exhaust/Range hood: NUTONE

Comments:

NuTone exhaust fan and light was working properly at time of inspection. Unit was missing cord plug and electrical outlet. Should have a professional electrician inspect and correct properly.



C. Item 1(Picture)



C. Item 2(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

D. Ranges, Cooktops and Ovens

Range/Oven: NONE

Comments:

E. Microwave Ovens

Built in Microwave: NONE

Comments:

F. Mechanical Exhaust Vents and bathroom Heaters

Comments:

Bathroom exhaust fan was loose from the ceiling at time of inspection. Should have a professional secure and seal properly to the ceiling.



F. Item 1(Picture)

G. Garage Door Operator(s)

Auto-opener Manufacturer: N/A

Garage Door Type: N/A

Garage Door Material: N/A

Comments:

H. Dryer Exhaust System

Comments:

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

If you're reading this report but did not hire me, American Dream Inspections TX LLC to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 832-566-0973 to discuss the report you're reading for this property so that we can arrange a re-inspection.

Thank you!