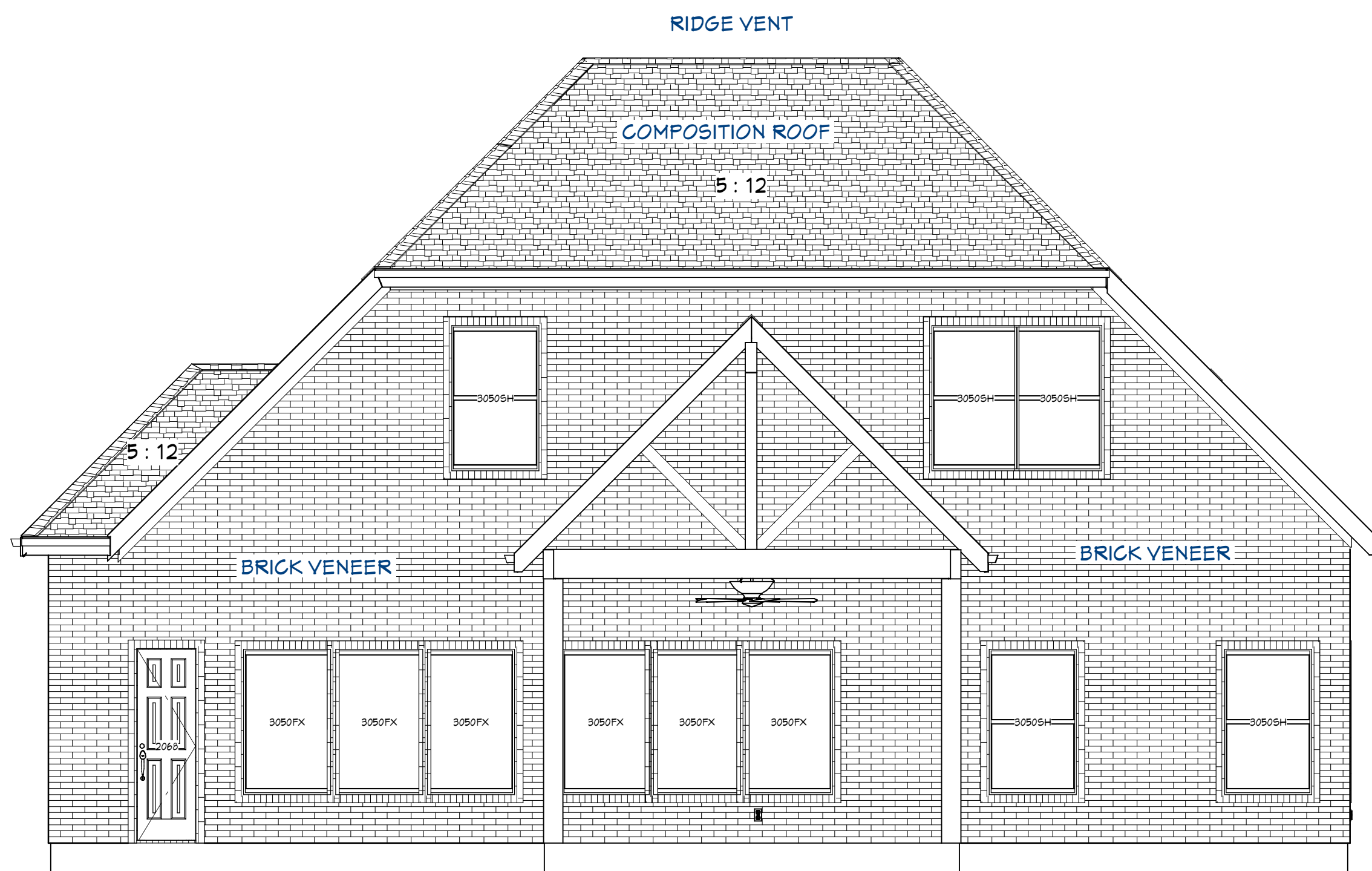


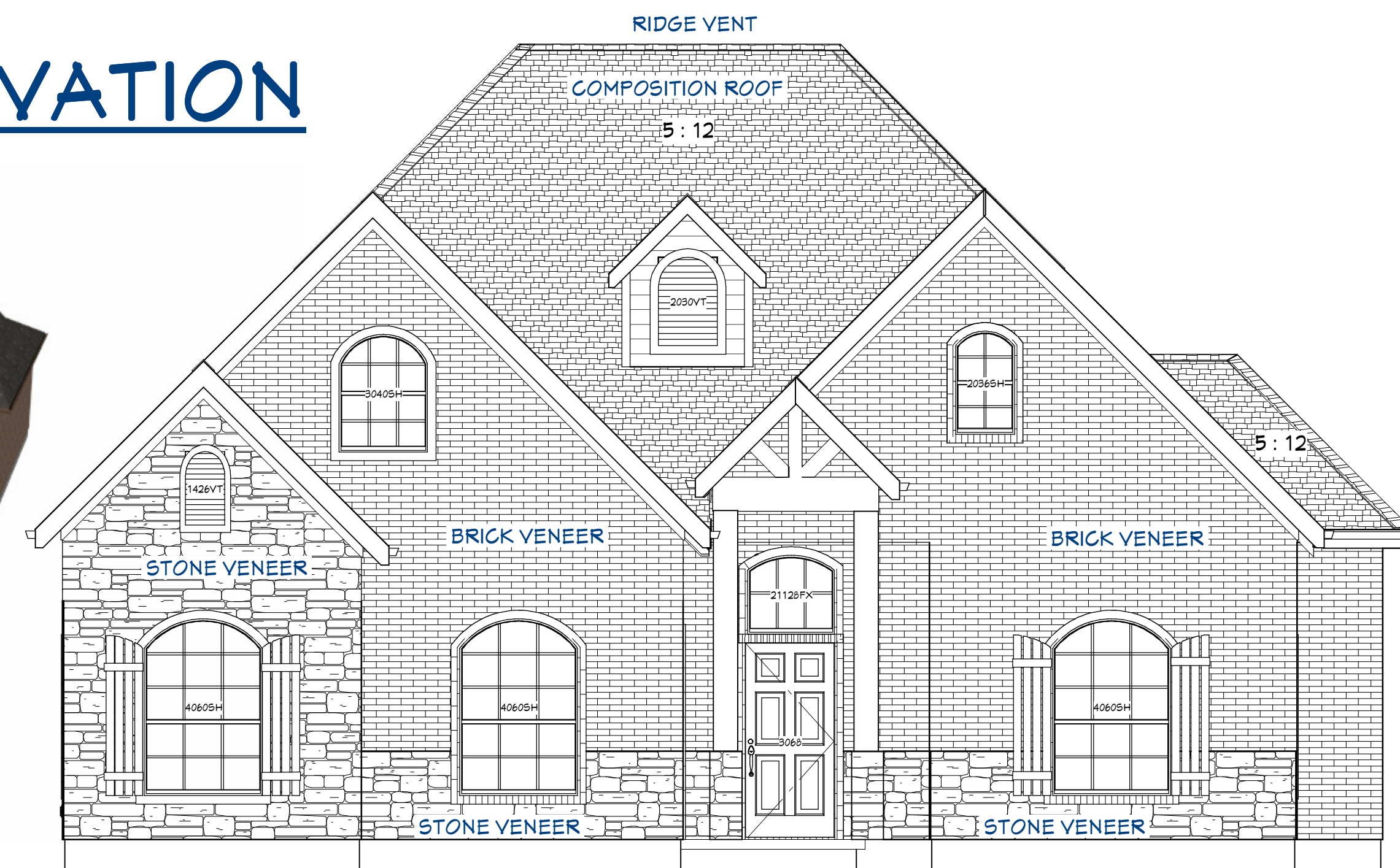
RIGHT SIDE ELEVATION



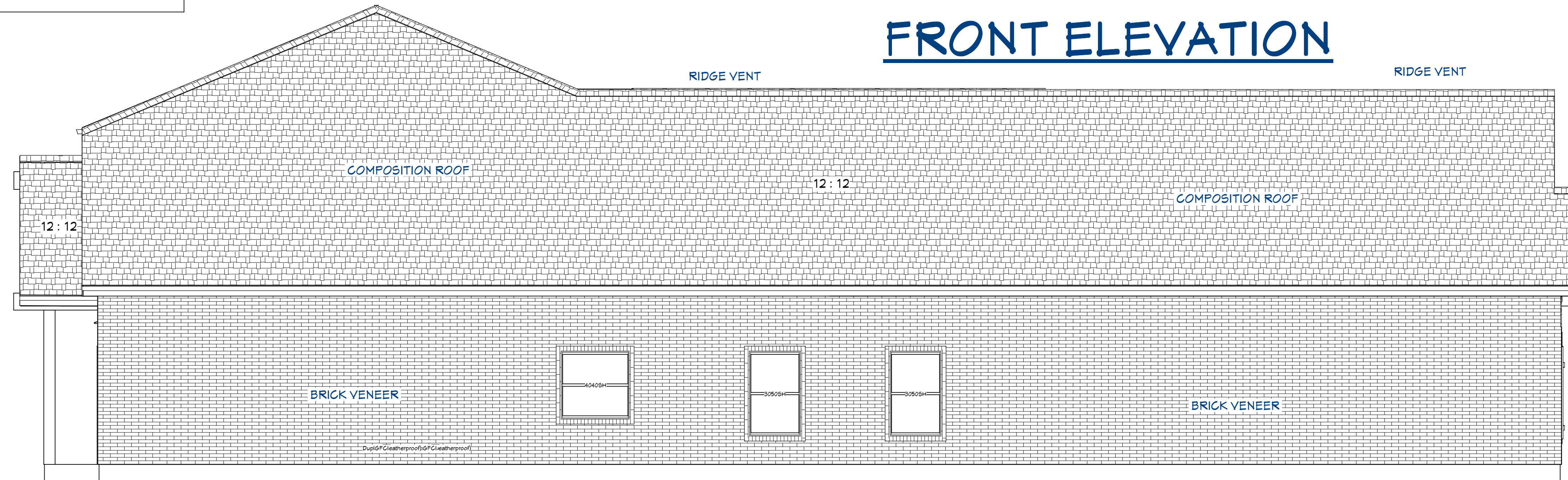
REAR ELEVATION

NOTES: ALL HEADER HEIGHTS 82" U.N.O.
ALL ROOF OVERHANGS 12"

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3. Every attempt have been made in the preparation of drawings and specifications to avoid mistakes. It is responsibility of the builder to verify all



FRONT ELEVATION



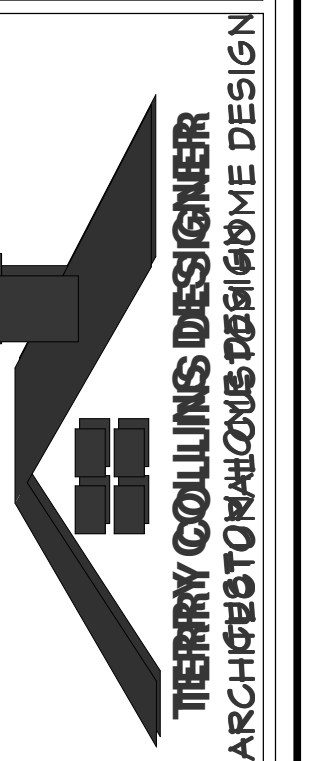
LEFT SIDE ELEVATION

LIVING AREA	1st FLOOR	2261'
LIVING AREA	2nd FLOOR	929'
MEDIA ROOM		316'
PORCHES		130'
GARAGE		625'
TOTAL COVERED AREA		4921'

ELEVATIONS

SCHENCK BUILDERS

Serene Water



DATE:

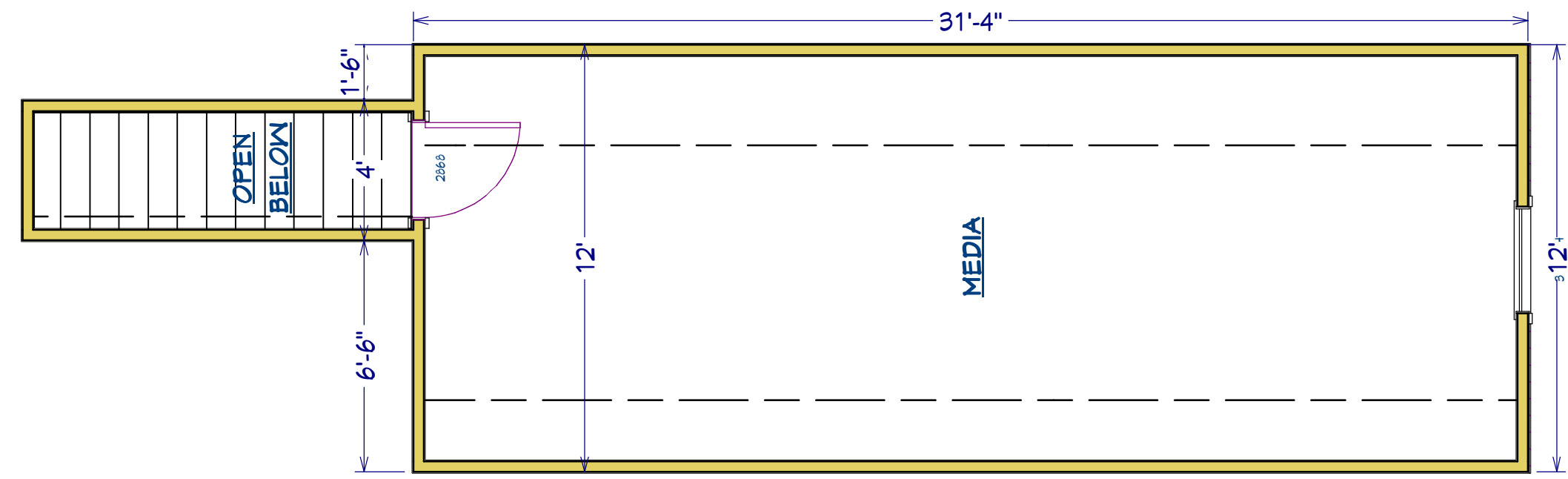
11/22/2016

SCALE:

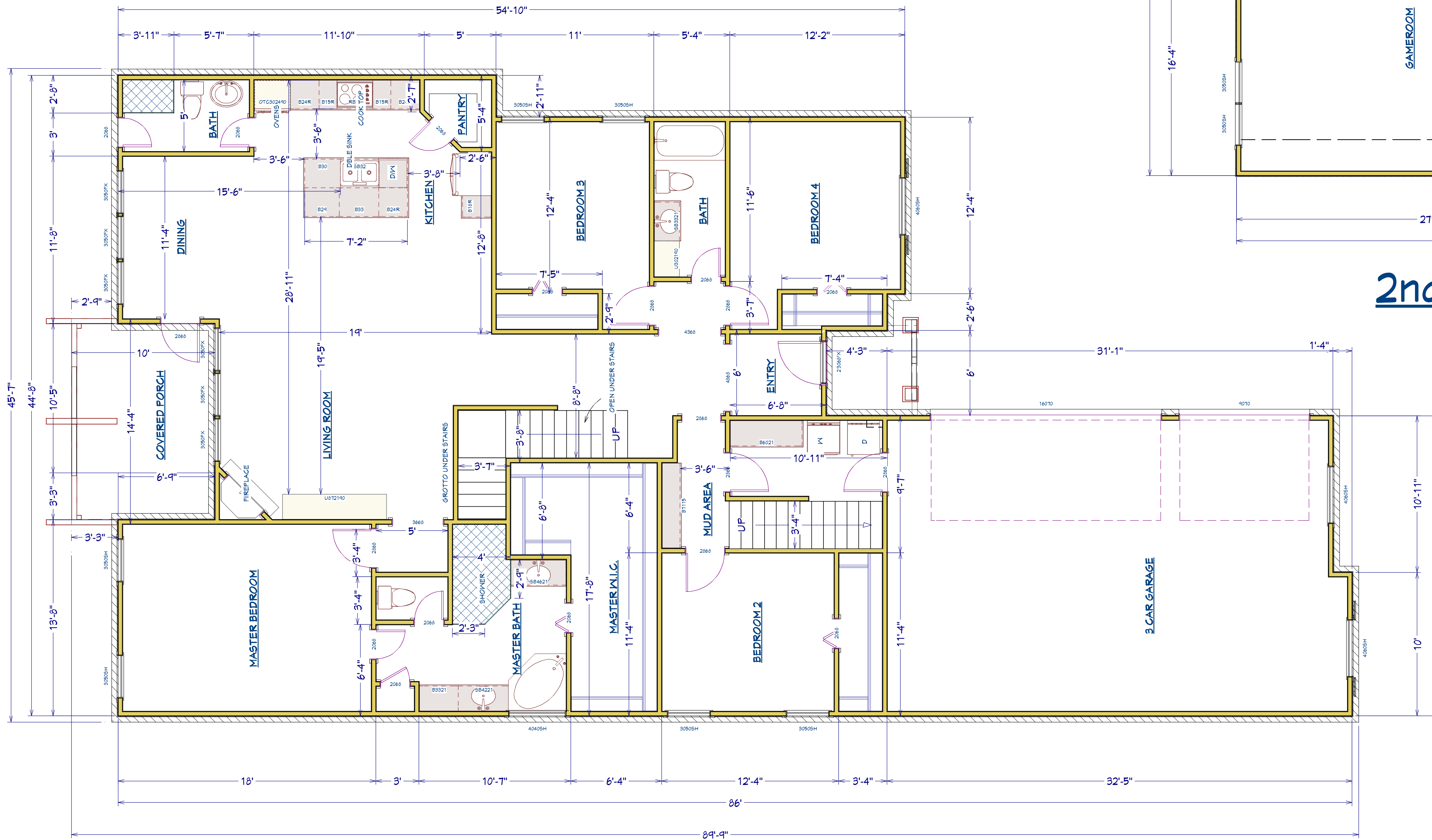
1/4" = 1'

SHEET:

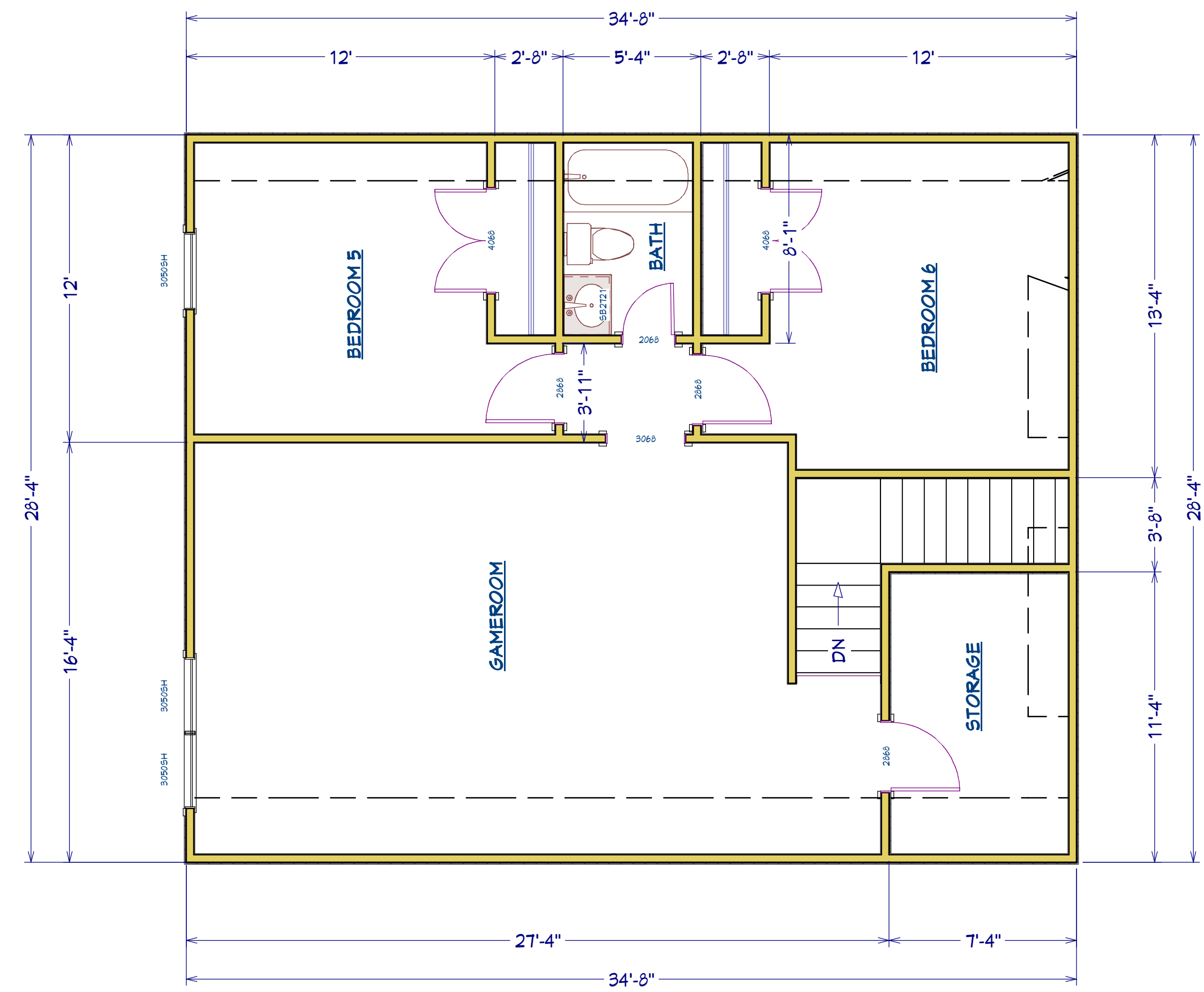
A-1



2nd FLOOR OVER GARAGE



1st FLOOR



2nd FLOOR

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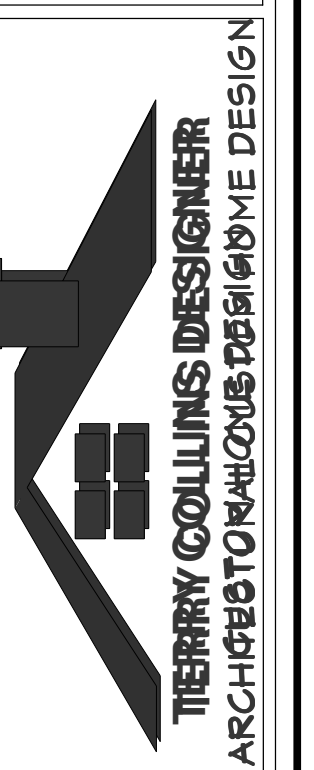
- NOTES:
1. CHECK ALL CEILING & PLATE HT
 2. CHECK PLAN FOR DIFFERENT ROOF PITCHES
 3. CHECK WITH BUILDER FOR WINDOW ROUGH OPENING FRAMING SIZES
 4. CHECK PLAN FOR WINDOW & DOOR HTs
 5. RESIDENCE TO BE BUILT TO 2012 N.R.C.

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MEDIA ROOM		316'
PORCHES		130'
GARAGE		625'
TOTAL COVERED AREA		4927'

FLOOR PLAN

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Serene Water



DATE:

11/22/2016

SCALE:

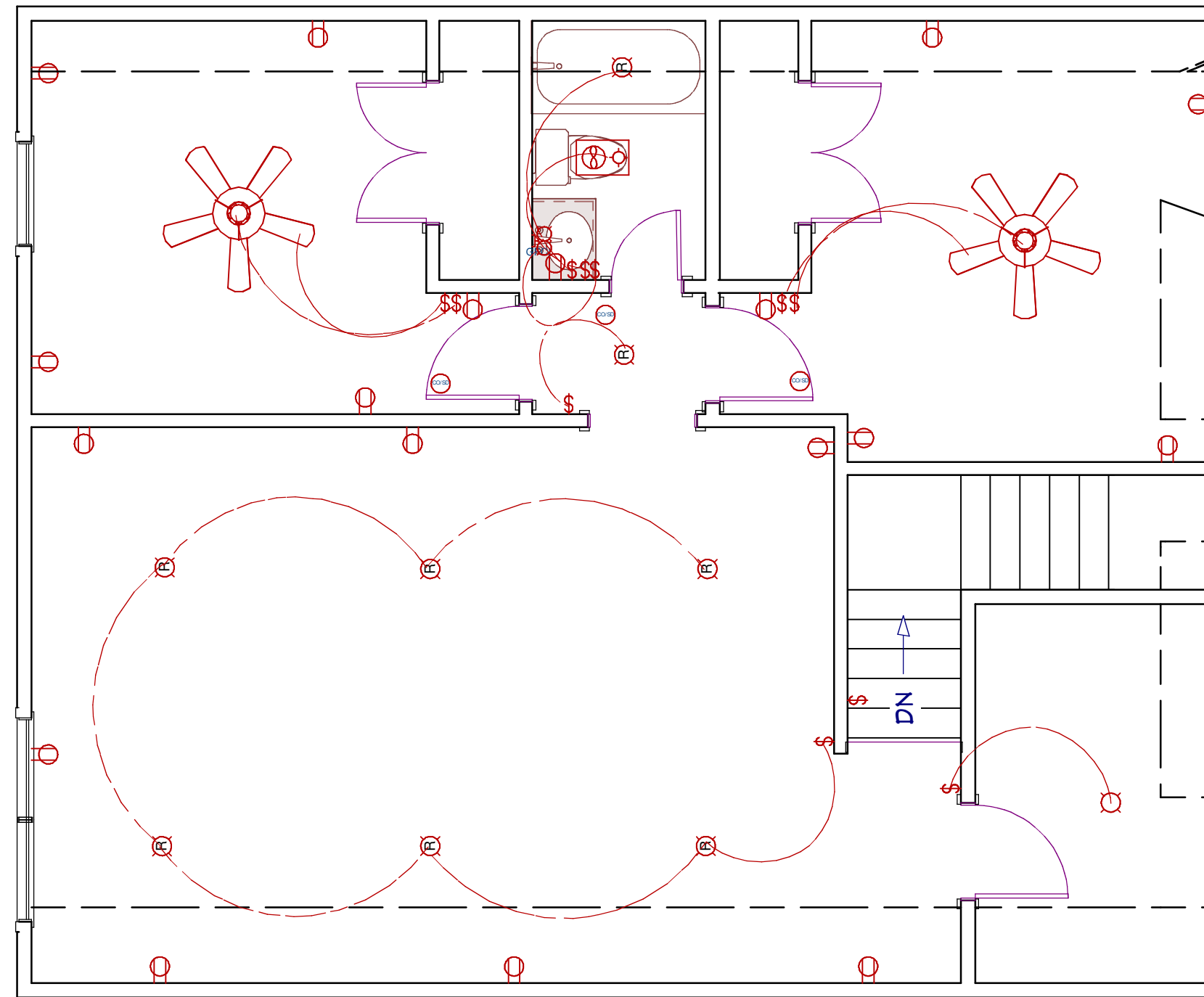
1/4" = 1'

SHEET:

A-2

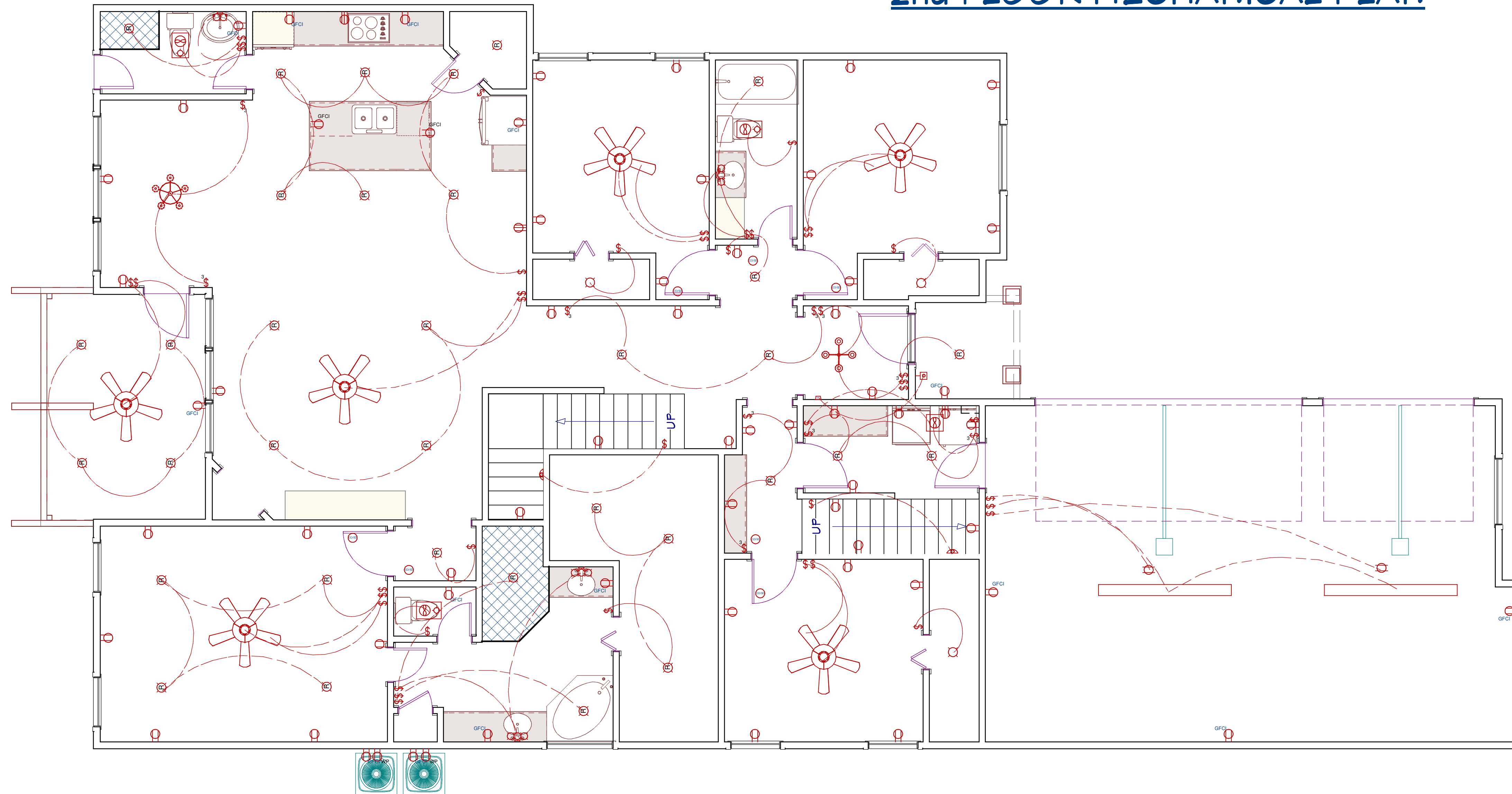
MECHANICAL NOTES:

1. ALL ELECTRICAL TO BE DONE IN ACCORDANCE WITH LATEST N.E.C. & LOCAL CODES
2. LOCATE ALL METER LOCATIONS FOR SERVICE DROPS
3. LOCATE ALL FIXTURE LOCATIONS WITH OWNER
4. ALL BEDROOM OUTLETS SHOULD BE ARC-FAULT PROTECTED
5. ALL WET AREA OUTLETS TO BE G.F.C.I. PROTECTED
6. PROVIDE OUTLET & LIGHTING IN ATTIC
7. PROVIDE SMOKE DETECTORS @ PROPER LOCATIONS
8. ALL PLUMBING TO BE DONE IN ACCORDANCE WITH



2nd FLOOR MECHANICAL PLAN

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



1st FLOOR MECHANICAL PLAN

ELECTRICAL, DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA/CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

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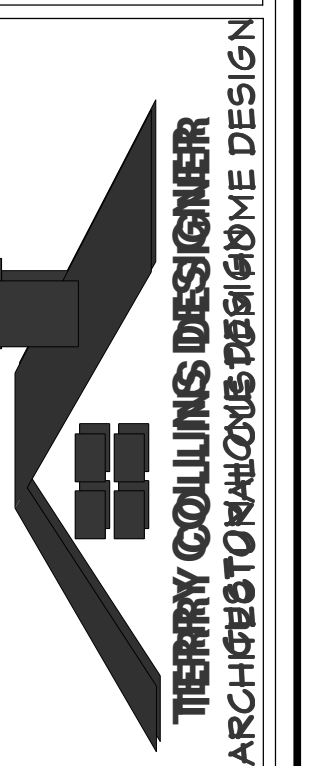
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LIVING AREA 1st FLOOR 2261'
 LIVING AREA 2nd FLOOR 929'
 MEDIA ROOM 316'
 PORCHES 130'
 GARAGE 625'
 TOTAL COVERED AREA 4921'

MECHANICAL PLAN

SCHENCK BUILDERS
 Serene Water



DATE:

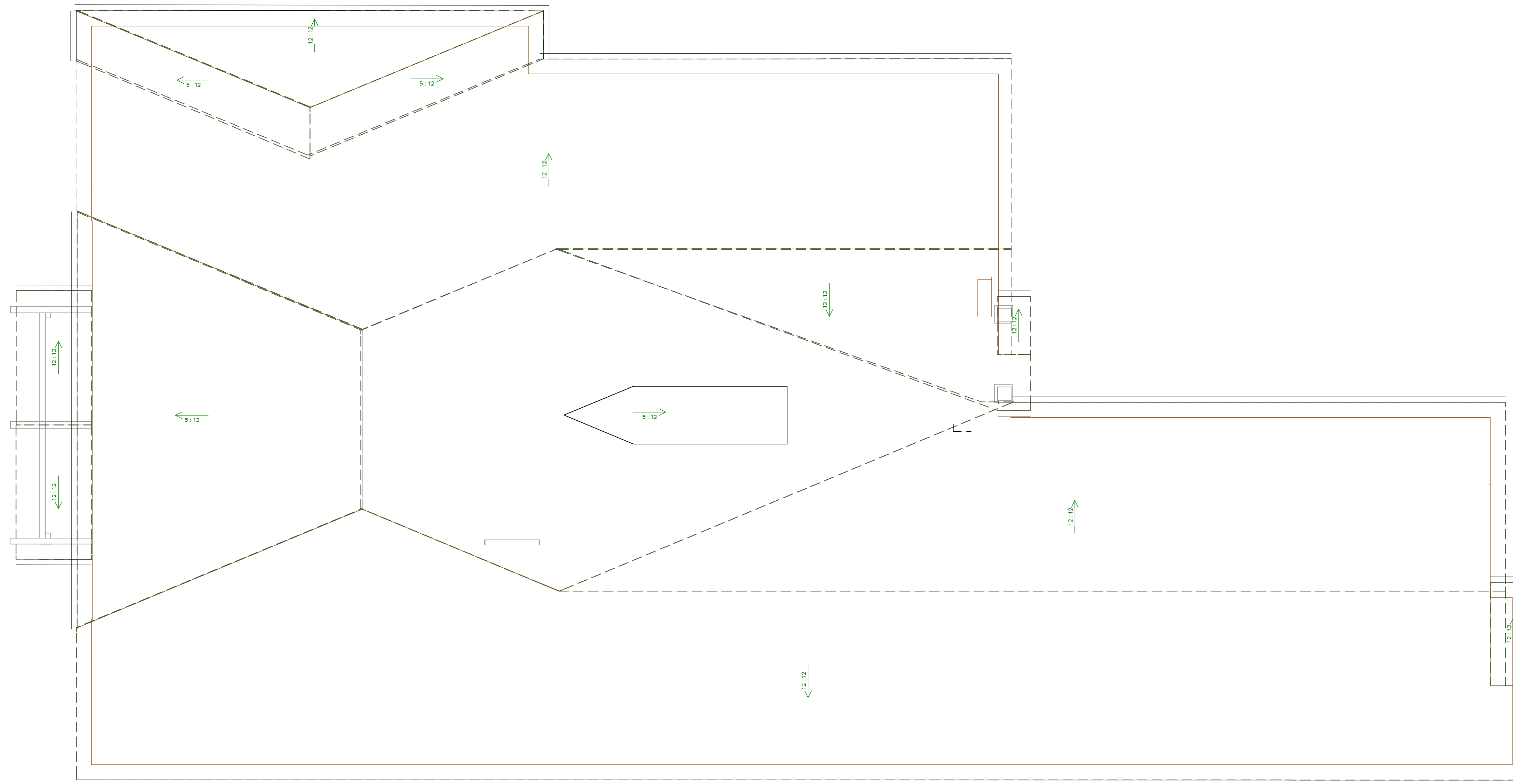
11/22/2016

SCALE:

1/4" = 1'

SHEET:

A-3



ROOF PLAN

JOIST FRAMING NOTES:

1. ALL FRAMING TO BE DONE IN ACCORDANCE TO LATEST I.R.C. STANDARDS & LOCAL BUILDING CODES
2. ALL FRAMING MINIMUM 16" O.C.
3. CONNECT ALL JOIST ENDS TO RAFTERS TO RESIST WARPING
4. DOUBLE ALL JOIST @ HIP, RIDGE, & VALLEY INTERSECTIONS
5. INLINE BRACE OR STRONGBACK ALL JOIST SPANS OVER 10'-0"
6. SEE WALL DETAIL SHEET FOR BRACING SPECIFICATIONS
7. USE JOIST HANGERS ON ALL SPANS OVER 8'-0"
8. CROWN UP ALL JOIST LUMBER
9. CHECK FRAMING PLAN FOR LUMBER SIZE
10. TOENAILING SHOULD BE DONE IN A WAY AS TO NOT DESTROY OR WEAKEN WOOD MEMBERS
11. ALL WOOD SHALL BE GRADE STAMPED AND NOT HAVE A GRADE HIGHER THAN #3 FOR ANY STRUCTURAL MEMBER.

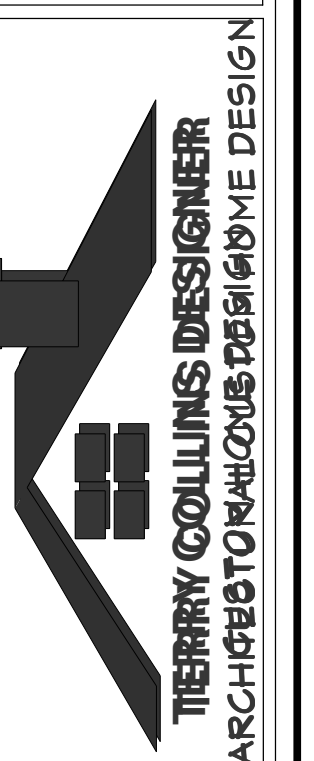
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ROOF PLAN

SCHENCK BUILDERS

Serene Water



DATE:

11/22/2016

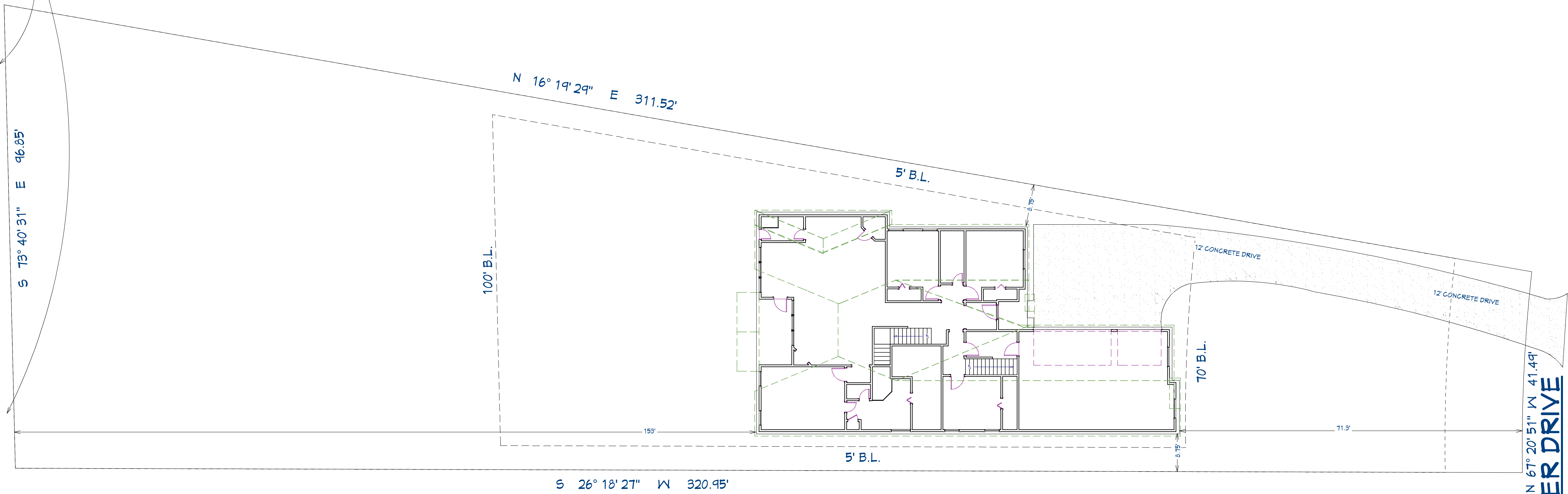
SCALE:

1/4" = 1'

SHEET:

A-4

LAKE CONROE



PLOT PLAN

GRAND HARBOR
SECTION NINE
BLOCK 4

SERENE WATER DRIVE

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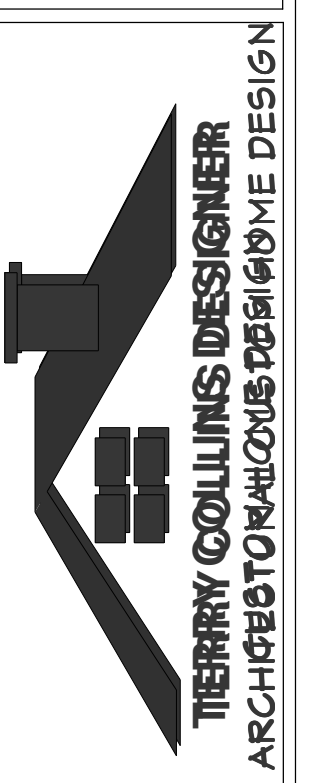
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PLOT PLAN

SCHENCK BUILDERS
Serene Water



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SCALE:	1/4" = 1'
SHEET:	A-5