

**Boundary Survey**

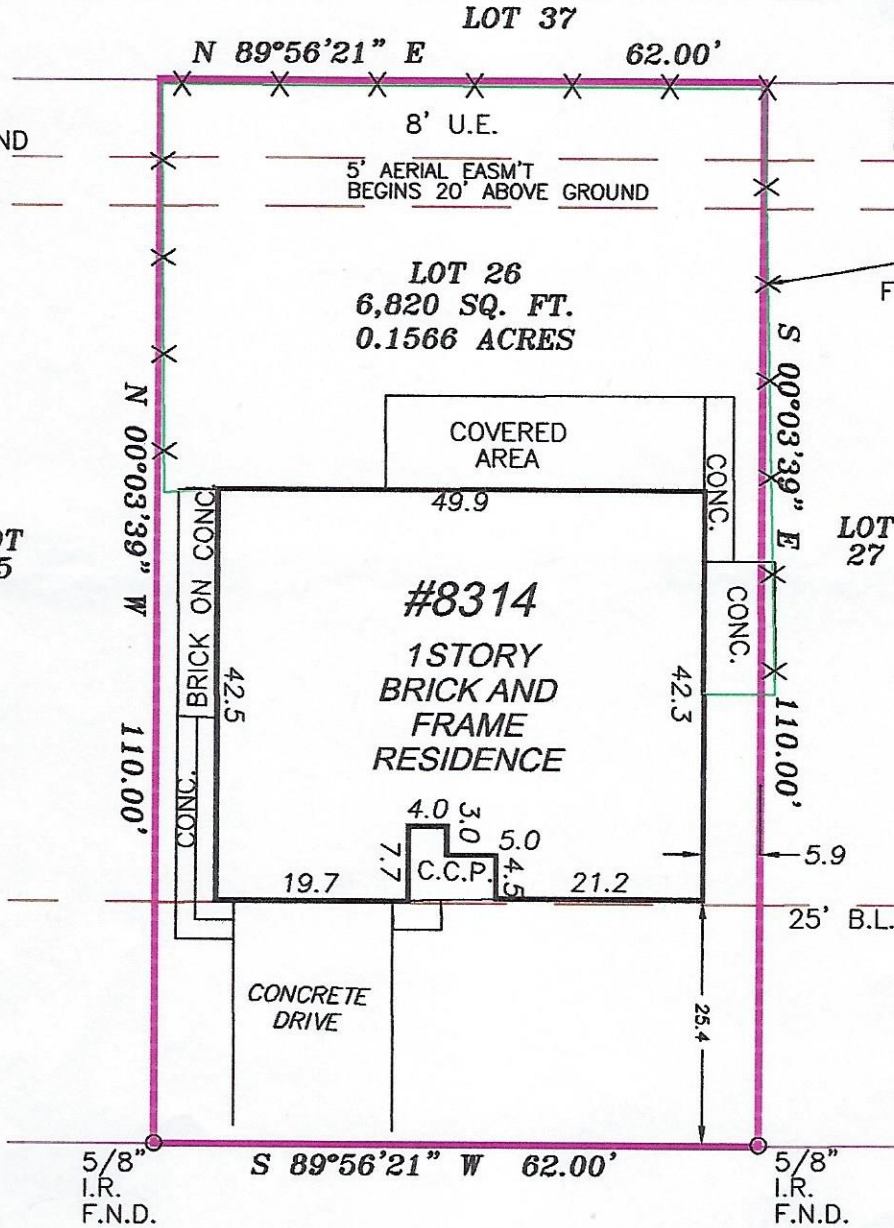
\*\*\*928525\*\*\*  
\*\*\*928525\*\*\*

FENCEPOST FOUND FOR REFERENCE  
S 31°14'05" E  
0.53'  
FROM PROPERTY CORNER.

FENCEPOST FOUND FOR REFERENCE  
S 01°05'09" E  
0.66'  
FROM PROPERTY CORNER.

LOT 25

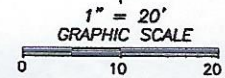
2



**LEATHER MARKET STREET (60'R.O.W.)**

THE FOLLOWING ITEMS AS SHOWN ON THE DRAWING, UNLESS NOTED OTHERWISE, ARE TAKEN FROM THE RECORDED PLAT:  
1-25' B.L./FRONT  
2-8' U.E./REAR WITH 5' AERIAL EASM'T BEGINS 20' ABOVE GROUND

Easement as shown on the recorded plat and dedication:  
Purpose: Drainage  
Location: 15 feet wide on each side of the center line of all gullies, ravines and other natural drainage courses on the herein described property.



RLS #:	06-11-1057
CLIENT #:	928525-H030
FIELD DATE:	11/12/06
DRAFTER:	K.R.P.
APPROVED:	T.P.M.
SCALE:	1" = 20'

**ADDRESS**

**8314 LEATHER MARKET STREET  
HOUSTON, Texas 77064**

**LEGAL DESCRIPTION: (AS FURNISHED)**

Lot 26, in Block 2, WESTBANK SECTION 1, REPLAT, a subdivision in Harris County, Texas, according to the map or plat thereof recorded in Volume 217, Page 76, of the Map Records of Harris County, Texas.

BASIS OF BEARINGS: RECORDED PLAT

LIST OF POSSIBLE ENCROACHMENTS: N/A

**SURVEYOR INFORMATION:**



National Surveying Specialists of Houston, Inc.  
5115 F.M. 1960 E - Humble, Texas 77346  
281-812-6120 -281-966-1649 (Fax)  
email: NSS@Surveytx.com



**First American  
Title Insurance Company**



Gay and Beth Perque  
Gay Cell (281)734-5262  
Beth Cell (832)293-3940  
gperque@yahoo.com  
bethperque@yahoo.com



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**SURVEYOR FILE NUMBER: 06-11-0123**

The Certified Registered Professional Land Surveyor signing this survey certifies the accuracy and sufficiency of the survey provided hereon.

**CERTIFIED TO: (AS FURNISHED)**

First American Title Insurance Company  
 Julio C. DePaz

**NOTES**

1. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY.
2. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

**LEGEND**

- |                               |                                      |
|-------------------------------|--------------------------------------|
| A/C: AIR CONDITIONER          | O.H.U.: OVERHEAD UTILITY LINE        |
| BLDG.: BUILDING               | (P.): PLATTED                        |
| (C.): CALCULATED              | P.C.: POINT OF CURVATURE             |
| C.B.: CHORD BEARING           | P.O.B.: POINT OF BEGINNING           |
| CBW: CONCRETE BLOCK WALL      | P.O.C.: POINT OF COMMENCEMENT        |
| CL: CENTERLINE                | P.P.: POWER POLE                     |
| C.N.A.: CORNER NOT ACCESSIBLE | P.R.C.: POINT OF REVERSE CURVATURE   |
| CONC.: CONCRETE               | P.R.M.: PERMANENT REFERENCE MONUMENT |
| COV: COVERED                  | R/W: RIGHT OF WAY                    |
| CS: CONCRETE SLAB             | S/W: SIDEWALK                        |
| (D.): DESCRIPTION             | CLF: CHAIN LINK FENCE                |
| D/W: DRIVEWAY                 | WF: WOOD FENCE                       |
| (M.): MEASURED                |                                      |

**FLOOD ZONE**


(FOR INFORMATIONAL PURPOSES ONLY)  
 SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X" AREA OF MINIMAL FLOODING, PER F.I.R.M. PANEL NUMBER 4820110443K. LAST REVISION DATE 4-30-06 X. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

**RESIDENTIAL** FOR ALL CONTACT INQUIRIES:  
**LAND SERVICES, INC.** RLS, INC.  
 Infor@rlsnow.com  
 (405)701-1100

Form 6.7TX

**SURVEYOR'S CERTIFICATE**

I, Terrance P. Mish, Texas Registered Professional Land Surveyor No. 4981, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground, and that there are no encroachments onto said property by any such improvements except as shown hereon.

*Terrance P. Mish*  
  
 FOR THE FIRM  
 SURVEYOR'S Terrance P. Mish DATED: 11-15-06

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

DATE	REVISION	DATE	REVISION

Reviewed & Accepted by: *[Signature]* Date 11-17-06

Date \_\_\_\_\_