

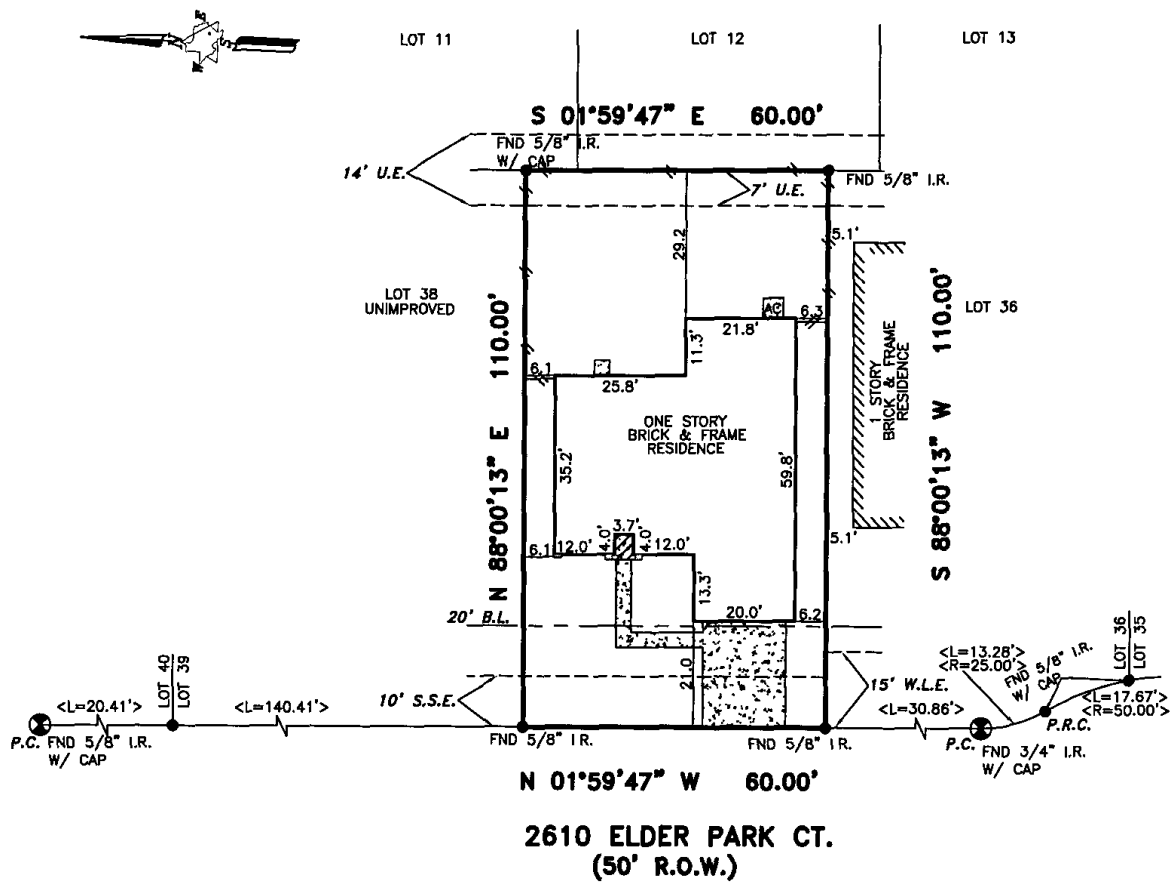


TRI-TECH SURVEYING CO., L.P.

10401 WESTOFFICE DRIVE

HOUSTON, TEXAS. 77042

PHONE: (713) 667-0800



Stewart Bunnag

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

*CITY OF HOUSTON CHAPTER 42 CODE OF ORDINANCES
**DEED RESTRICTIONS

A DRAINAGE EASEMENT 15' ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES IN THE ADDITION AS SHOWN ON RECORDED PLAT OF SAID ADDITION.

PROPERTY SUBJECT TO RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER FILM CODE NO. 803018, M.R.H.C.TX., H.C.C. FILE NOS. Z213244, 20060122182, 20660018159, Y096653, AND CITY OF HOUSTON ORDINANCE 85-1878 PER H.C.C.F.#N-253886 AND CITY OF HOUSTON ORDINANCE 89-1312 PER H.C.C.F.#N-337573 AND AMENDED BY CITY OF HOUSTON ORDINANCE 1998-262.

NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS (F.I.R.M.'s). THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'s ACCURACY.

(~) SUBJECT PROPERTY LIES WITHIN ZONE "X" PER PRELIMINARY FLOOD INSURANCE RATE MAPS (F.I.R.M.).

BEARINGS REFERENCED TO: PLAT NORTH.

THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. © 2008, TRI-TECH SURVEYING CO., L.P.

LEGEND	
CONCRETE	◆ REVISION
COVERED	● CONTROLLING MONUMENT
ASPHALT	09-21-06
< > CALL	—●— CHAIN LINK FENCE
—●— IRON FENCE	
—//— WOOD FENCE	

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY STEWART TITLE CO. G.F. No. 06125612, DATED 12-01-06.

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my direction and supervision on the tract or parcel of land, according to the map or plat thereof, indicated below. drawn by: TARREDONDO

BOUNDARY SURVEY OF

ADDRESS: 2610 ELDER PARK CT.

LOT: 37 BLOCK: 3 OF: MORTON RANCH SEC. 3

RECORDED IN FILM CODE NO.: 603018 MAP RECORDS, HARRIS COUNTY, TX

BORROWER: BUNNAG SOMCHART

TITLE COMPANY: STEWART TITLE CO. G.F.# 06125612

SURVEYED FOR: ROYCE HOMES, L.P.

F.I.R.M. MAP NO. 48201C PANEL# 0615J ZONE "X" (~) REVISED 11-6-96

DATE: 12-29-06 SCALE: 1" = 30' JOB NO. R18333-06

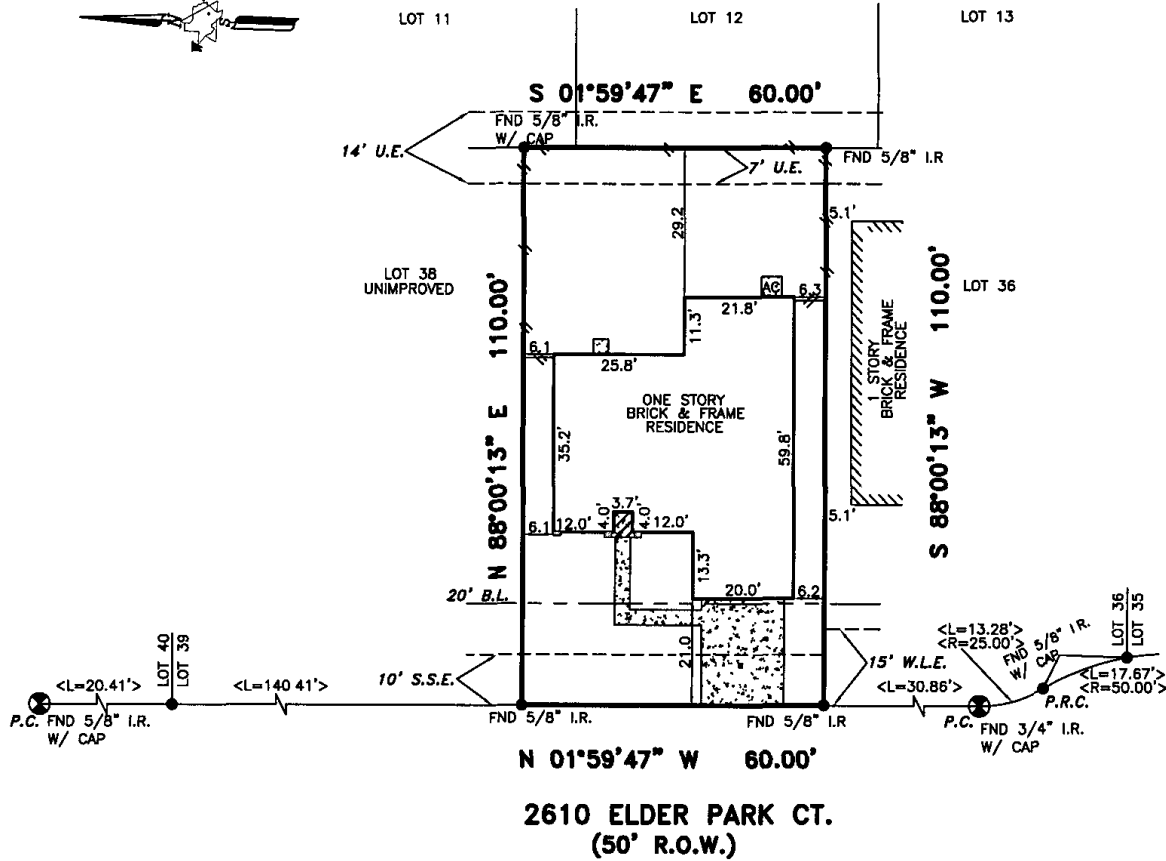
12/29/06
Stewart
SUBVEYOR REGISTRATION



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10401 WESTOFFICE DRIVE HOUSTON, TEXAS. 77042

PHONE. (713) 667-0800



X *Somchart Bunnag*

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BORROWER: BUNNAG SOMCHART

TITLE COMPANY: STEWART TITLE CO. G.F.# 06125612

SURVEYED FOR: ROYCE HOMES, L.P.

F.I.R.M. MAP NO. 48201C PANEL # 0615J ZONE "X" (~) REVISED 11-6-96

DATE: 12-29-06 SCALE: 1" = 30' JOB NO. R18333-06

SURVEYOR REGISTRATION

12/29/06
[Signature]

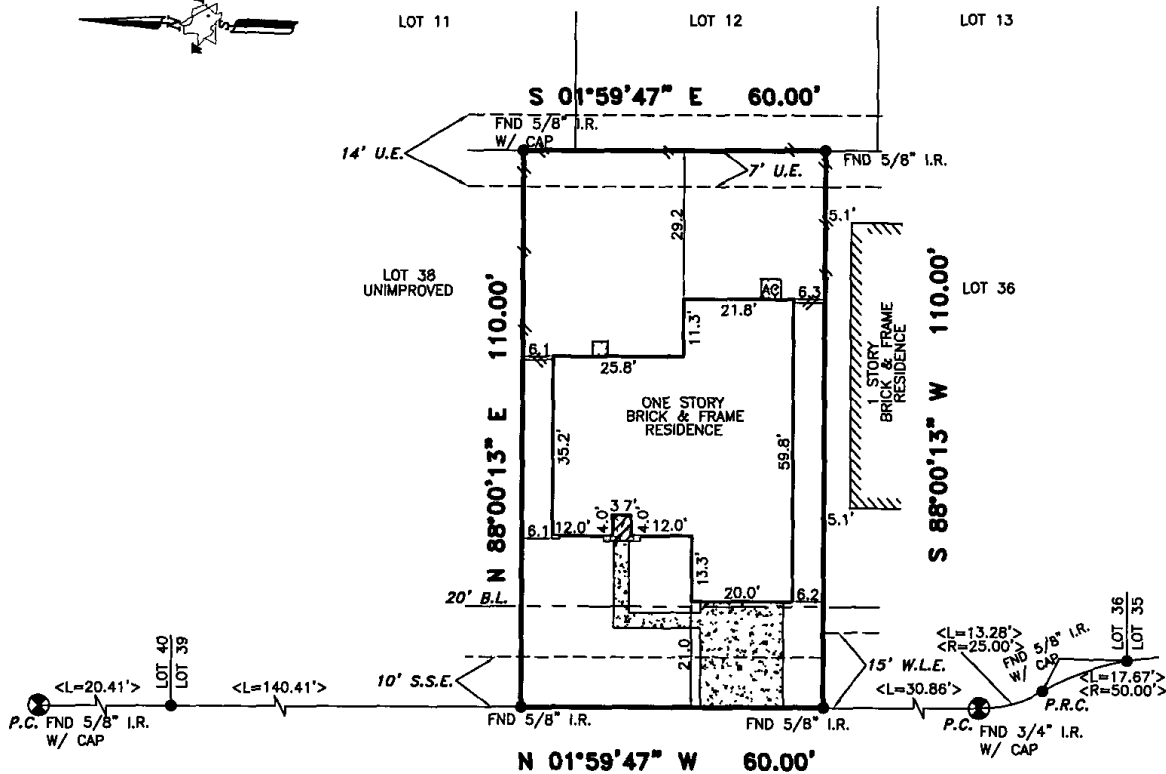


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HOUSTON, TEXAS. 77042

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**2610 ELDER PARK CT.
(50' R.O.W.)**

Somchart Bunnag

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