

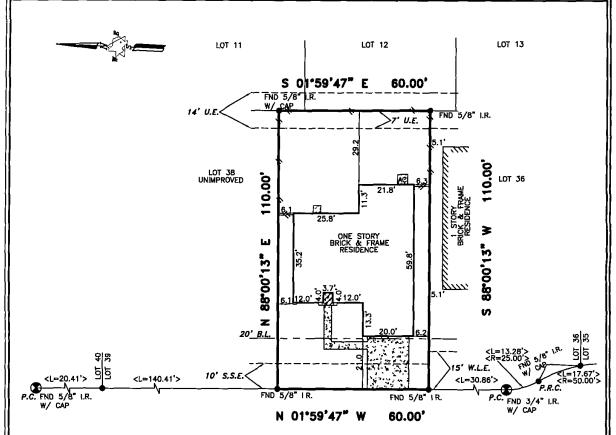
## TRI-TECH SURVEYING CO., L.P.



10401 WESTOFFICE DRIVE

HOUSTON, TEXAS. 77042

PHONE: (713) 667-0800



2610 ELDER PARK CT. (50' R.O.W.)

Smullast Bunnag.

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

\*CITY OF HOUSTON CHAPTER 42 CODE OF ORDINANCES
\*\*DEED RESTRICTIONS

A DRAINAGE EASEMENT 15' ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES IN THE ADDITION AS SHOWN ON RECORDED PLAT OF SAID ADDITION. PROPERTY SUBJECT TO RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER FILM CODE NO. 503018, M.R.H.C.TX., H C.C. FILE NOS. Z213244, 20060122182, 20660018159, Y096659. CITY OF HOUSTON ORDINANCE 85-1878 PER H.C.C.F.M.-253886 AND CITY OF HOUSTON ORDINANCE 89-1312 PER H.C.C.F.M.-337573 AND AMENDED BY CITY OF HOUSTON ORDINANCE 1999-262

BEARINGS REFERENCED TO: PLAT NORTH.

NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS (F.I.R.M\*\*), THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.\*8 ACCURACY.

(~) SUBJECT PROPERTY LIES WITHIN ZONE "X" PER PRELIMINARY FLOOD INSURANCE RATE MAPS (F.LR.M.).

<u> </u>			HIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. (C) 2008, TRI-TECH SURVEYING CO, L
CONCRETE COVERED ASPHALT	LEGEND  < > CALL  IRON FENCE  //- WOOD FENCE	◆ REVISION  CONTROLLING MONUMENT 09-21-06	ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR, THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY STEWART TITLE CO. G.F. No. 06125612, DATED 12-01-06.

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parc	el	of land,	acc	cordin	na to	the	map	OF I	plat	there	of. i	ndice	ated b	elow.							

BOUNDARY SURVEY OF								
ADDRESS: 2610 ELDER PARK CT.								
LOT: 37 BLOCK: 3 OF: MORTON RANCH SEC.	3							
RECORDED IN FILM CODE NO.: 603018 MAP RECOR	DS HARRIS COUNTY, TX							
BORROWER: BUNNAG SOMCHART	·							
TITLE COMPANY STEWART TITLE CO.	G.F.# 06125612							
SURVEYED FOR: ROYCE HOMES, L.P.	"\" ( ) 11-6-06							
F.I.R.M. MAP NO. $48201C$ PANEL# $0615J$ ZONE DATE: $12-29-06$ SCALE: $1" = 30$	, NO REVISED 11-0-90							

JOB NO. R18333-06 - 94 N/L

drawn by:TARREDONDO

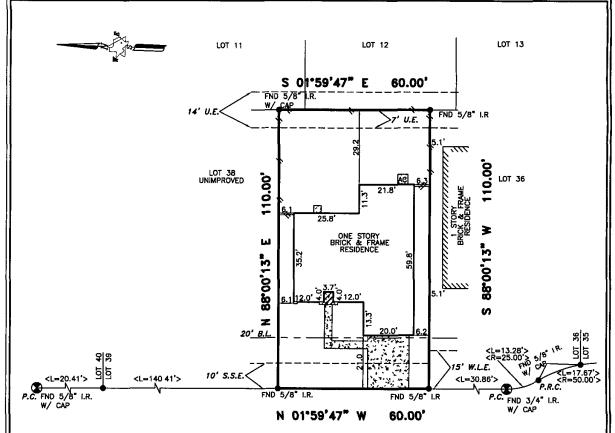


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PROPERTY SUBJECT TO RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER FILM CODE NO. 603018, M.R.H.C.TX., H.C.C. FILE NOS. Z213244, 20060122182, 20560018159, Y096653.

CITY OF HOUSTON ORDINANCE 85—1878 PER H.C.C.F.#N—253886 AND CITY OF HOUSTON ORDINANCE 95—1312 PER H.C.C.F.#M—337573 AND AMENDED BY CITY OF HOUSTON ORDINANCE 1999—262.

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THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. © 2008, TRI-TECH SURVEYING CO., L.P.

CONCRETE	LEGEND	◆ REVISION
COVERED	CALL IRON FENCE	CONTROLLING MONUMENT 09-21-06
ASPHALT	// WOOD FENCE	

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR, THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY STEWART TITLE CO. G.F. No. 06125612, DATED 12-01-06.

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my direction and supervision on the tract or parcel of land, according to the map or plat thereof, indicated below.

drawn by.TARREDONDO

BOUNDARY SURVEY OF								
ADDRESS: 2610 ELDER PARK CT.								
LOT: 37 BLOCK: 3 OF: MORTON RANCH SE	C. 3							
	CORDS HARRIS COUNTY, TX							
BORROWER: BUNNAG SOMCHART								
TITLE COMPANY STEWART TITLE CO.	G.F.# 06125612							

TITLE COMPANY\_ SURVEYED FOR: ROYCE HOMES.

PANEL# \_\_ SCALE:

48201C

12-29-06

F.I.R.M. MAP NO.

0615J ZONE "X" ( $\sim$ ) REVISED 11-6-96 E: 1" = 30' JOB NO. R18333-JOB NO. R18333-06

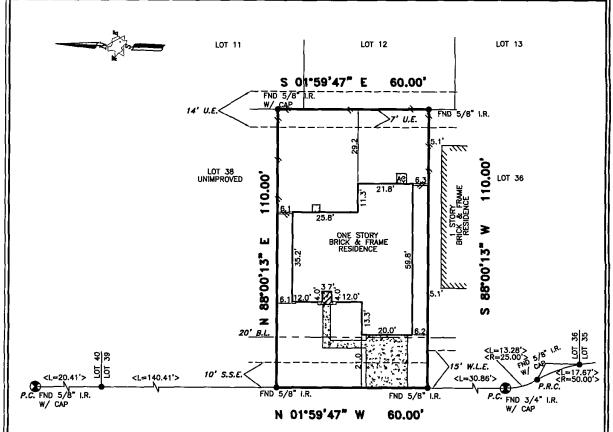


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	BEARINGS REFERE	ENCED TO: PLAT NORTH		IS SURVEY IS VALID FOR THIS TRANSACTION ONLY. © 2008, T	RI-TECH SURVEYING CO., LP
i	GONCRETE  COVERED  ASPHALT	LEGEND  < > call  iron fence  //- wood fence	REVISION CONTROLLING MONUMENT 09-21-06	ABSTRACT INFORMATION PROVIDED HEREON IS BELLE AND CORRECT BY THE UNDERSIGNED SURVEYOR, TI CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. TI RECORD, AS REFLECTED ON THIS SURVEY ARE BAS MAP OR PLAT AND TITLE INFORMATION PROVIDED G.F. No. 06125612, DATED 12-01-06.	HIS SURVEY DOES NOT HE ENCUMBRANCES OF ED ON THE RECORDED
	represents a l	boundary survey made on t , according to the map or	the ground under my	reby state that the plat shown hereon direction and supervision on the tract or d below.	drawn by.TARREDONDO

2610 ELDER PARK CT. MORTON RANCH SEC. 3 LOT: 37 BLOCK: 3 OF: RECORDED IN FILM CODE NO.: 603018 MAP RECORDS HARRIS COUNTY, TX BUNNAG SOMCHART TITLE COMPANY STEWART TITLE CO. SURVEYED FOR: ROYCE HOMES, L.P. G.F.# 06125612 48201C PANEL# 0615J ZONE "X" (~) REVISED 11-6-96
-29-06 SCALE: 1" = 30' JOB NO. R18333-JOB NO\_R18333-06\_ -