

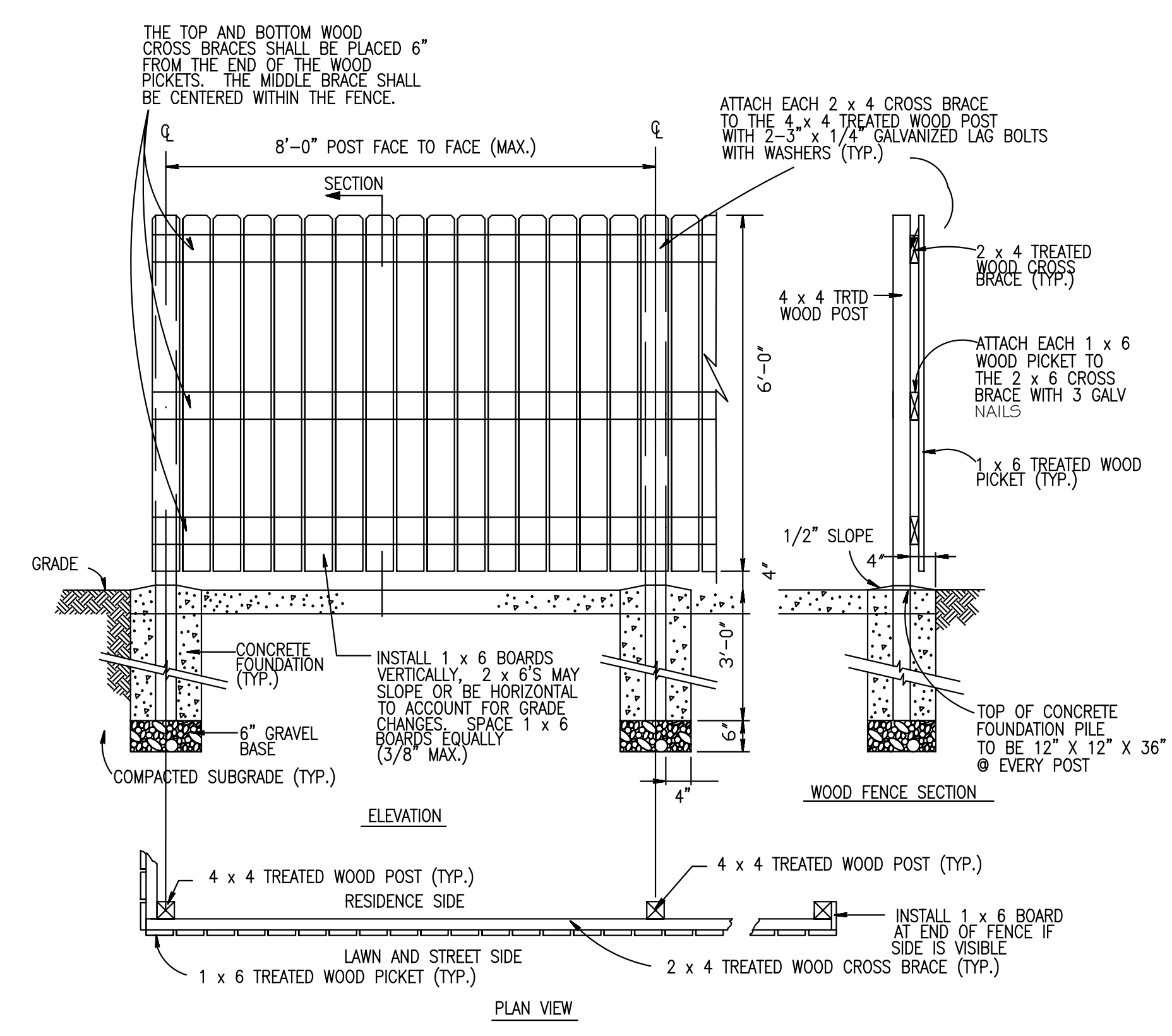
SEE 4/A2.3

SEE 4/A2.2

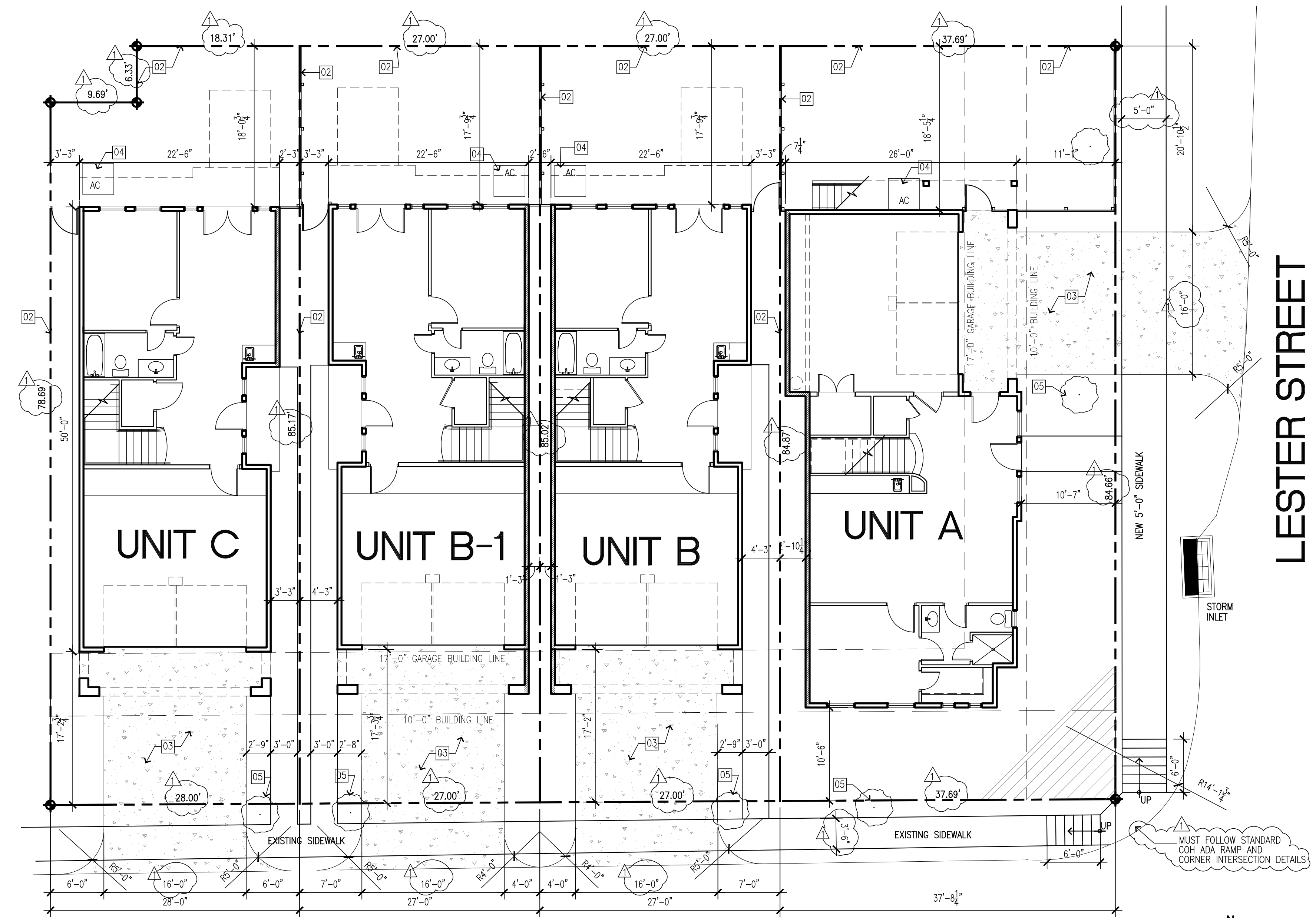
SEE 4/A2.1

SEE 4/A2.0

2 ROOF SITE PLAN
A1.0 1/8"=1'-0"



3 TYP TRTD WOOD FENCE
A1.0 1/8"=1'-0"



GIBSON STREET
(CALLED 50' R/W)

1 SITE PLAN
A1.0 1/8"=1'-0"



- ROOF PLAN GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING NEW CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF SLAB, FINISH FACE OF WALL, & OR EDGE OF STRUCTURAL MEMBER, OR & OF OBJECT, U.N.O.
 - INSTALL MISSION TILE ROOF SYSTEM PER MANUFACTURER'S DIRECTION TO COMPLY WITH WARRANTY REQUIREMENTS.
 - ALL PITCH AND SLOPES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR MAY ADJUST AS NECESSARY TO MATCH EXISTING ROOF CONSTRUCTION. IF SO, CONTRACTOR MUST CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.

- 2006 IRC ROOF VENTILATION NOTES:**
- PER SECTIONS R801.1, R801.2 2006 IRC A 1/150 NET VENT IS REQUIRED AND IF A MECHANICAL VENT IS USED ON ATTIC THE REQUIRED VENT WILL BE 1/300.

- ROOF VENT CALCULATIONS:**
- UNIT A**
 ROOF ATTIC AREA = 1306 SF/150 = 8.70 SF REQ.
 CONTINUOUS SOFFIT VENT = 6" X 104' LF = 52 SF.
 RIDGE VENT = 6" X 21' LF = 10.5 SF.
 WE EXCEED THE REQUIRED BY 7 TIMES.
- UNIT B AND B-1**
 ROOF ATTIC AREA = 1204 SF/150 = 8.02 SF REQ.
 CONTINUOUS SOFFIT VENT = 6" X 103' LF = 51.5 SF.
 RIDGE VENT = 6" X 20.5' LF = 10.25 SF.
 WE EXCEED THE REQUIRED BY 8 TIMES.
- UNIT C**
 ROOF ATTIC AREA = 1290 SF/150 = 8.60 SF REQ.
 CONTINUOUS SOFFIT VENT = 6" X 103' LF = 51.5 SF.
 RIDGE VENT = 6" X 20' LF = 10 SF.
 WE EXCEED THE REQUIRED BY 7 TIMES.

- ROOF PLAN KEYED NOTES:**
- NOT ALL KEYED NOTES WILL BE USED ON THIS SHEET
- [01] MISSION TILE ROOF

- SITE PLAN GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING NEW CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF SLAB, FINISH FACE OF WALL, & OR EDGE OF STRUCTURAL MEMBER, OR & OF OBJECT, U.N.O.
 - REPAIR ANY DAMAGE TO EXIST. SITE CONDITIONS DUE TO CONSTRUCTION.
 - STAGING OF ALL DEMOLISHED AND NEW MATERIAL SHALL BE WELL MANAGED IN ORDER NOT TO DISRUPT THE SITE, SITE ACCESS, AND OVERALL APPEARANCE TO THE NEIGHBORHOOD.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY COMPANIES FOR PROPER CUT OFF OF UTILITIES.
 - CONTRACTOR SHALL HAVE A DUMPSTER BOX MAINTAINED ON SITE THROUGHOUT CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL VERIFY THE ARCHITECTURAL DRAWINGS BLDG BOUNDARIES WITH THE DIMENSIONS SHOWN HERE AND CALL THE ARCHITECT IF A DISCREPANCY IS FOUND BEFORE THE START OF ANY WORK ON SITE.
 - CONTRACTOR SHALL ENSURE TO NOT HAVE ANY STANDING WATER OR FLOOD OUR NEIGHBORS. CONTRACTOR SHALL PROVIDE PROPER SITE DRAINAGE ON THE PROPERTY AND SIDES OF HOUSE.
 - LANDSCAPE CONTRACTOR SHALL ENSURE TO PROVIDE SPRINKLER SYSTEM AND WALKS WITH STONE, BRICK OR TILE, AS REQUIRED AND ACCEPTED BY OWNER.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND DETERMINING, ON SITE, THE SLAB ELEVATION. THIS SHALL BE 12" ABOVE THE NEAREST TOP OF RIM SANITARY SEWER MANHOLE AS PER SECT. 401.5 2006 COH ISBC AMENDMENTS.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND DETERMINING ON SITE THE DRIVEWAY ELEVATIONS. THE ELEVATIONS SHOWN HERE ARE NOT EXACT AND COULD CHANGE AS PER SITE CONDITIONS, NOT KNOWING AT THIS TIME, THE OWNER MAY NEED TO PROVIDE A TOPOGRAPHIC SURVEY.

LOT AREA CALCULATIONS
 AS PER SECT 42-183 CHAPTER 42 CITY OF HOUSTON CODE OF ORDINANCES

UNIT A		
IMPROVEMENT TYPE	AREA	
TOTAL LOT	3,195 SF	
IMPERVIOUS COVER		
BUILDING FOOTPRINT	1,249 SF	
PARKING LOT/SIDEWALKS	342 SF	
PERVIOUS COVER	1,604 SF	
PERCENTAGE OF IMPERVIOUS COVER	49.73%	
UNIT B		
TOTAL LOT	2,244 SF	
IMPERVIOUS COVER		
BUILDING FOOTPRINT	1,063 SF	
PARKING LOT/SIDEWALKS	483 SF	
PERVIOUS COVER	698 SF	
PERCENTAGE OF IMPERVIOUS COVER	68.89%	
UNIT B-1		
TOTAL LOT	2,244 SF	
IMPERVIOUS COVER		
BUILDING FOOTPRINT	1,063 SF	
PARKING LOT/SIDEWALKS	483 SF	
PERVIOUS COVER	698 SF	
PERCENTAGE OF IMPERVIOUS COVER	68.89%	
UNIT C		
TOTAL LOT	2,326 SF	
IMPERVIOUS COVER		
BUILDING FOOTPRINT	1,063 SF	
PARKING LOT/SIDEWALKS	483 SF	
PERVIOUS COVER	780 SF	
PERCENTAGE OF IMPERVIOUS COVER	66.46%	

NOTE: ALL BLDGS ARE LESS THAN 80% OF THE LOT. ALL LOTS HAVE MORE THAN 150 SF OF IMPERVIOUS AREA PER RECORDED PLAN.

- SITE PLAN KEYED NOTES:**
- NOT ALL KEYED NOTES WILL BE USED ON THIS SHEET
- [01] NOT USED
- [02] TREATED WOOD FENCE RE: 3/A1.0.
- [03] NEW CONCRETE DRIVEWAY RE: C.O.H STANDARD DWGS
- [04] 4" THK CONCRETE PAD FOR CONDENSER
- [05] NEW TREE TO BE LIVE OAK 1.5 CALIPER MIN.
- [06] NEW 2% SLOPE 4" SCH 40 PVC SANITARY SEWER LINE

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ARCHITECT: ROMULO CISNEROS

ENGINEER:

REVISIONS:
 05 DECEMBER 2013

DATE ISSUED: 10-29-2013
 SHEET:

A1.0