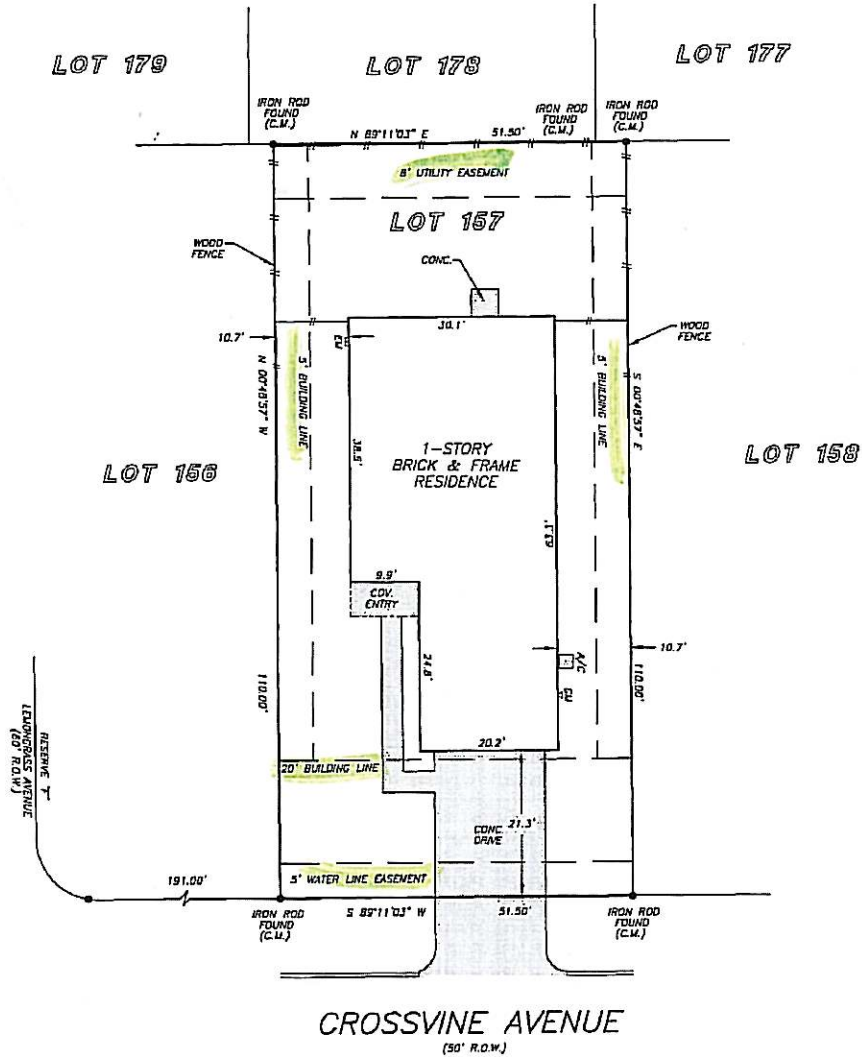


GF NO. 14628-09-01559 NORTH AMERICAN TITLE
 ADDRESS: 4319 CROSSVINE AVENUE
 BAYTOWN, TEXAS 77521
 BORROWER: RITCHIE D. JOHNSON

LOT 157
BAY RIVER COLONY, SECTION 1

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 UNDER FILM CODE NO. 604061 OF THE MAP RECORDS
 OF HARRIS COUNTY, TEXAS

SCALE: 1" = 20'



THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS ESTABLISHED BY THE U.S. DEPT. OF HOUSING & URBAN DEVELOPMENT.
 COMMUNITY/PANEL NO. 48201C 0755 L
 MAP REVISION: 06/18/2007
 ZONE X
 BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY. A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY.

RECORD BEARING: FILM CODE NO. 604061 H.C.M.R.

NOTE: AGREEMENT BY AND BETWEEN DEVELOPER AND CENTER-POINT ENERGY FOR INSTALLATION OF OVERHEAD/UNDERGROUND ELECTRICAL DISTRIBUTION SYSTEM OF NO. 2006086562.

NOTE: SHORT FORM BLANKET EASEMENT FOR CERTAIN UTILITIES AS PER OF NO. 20060228703 AND PARTIALLY RELEASED IN CF NO. 20070034765.

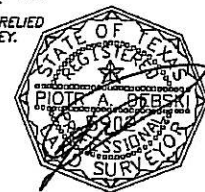
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

PRECISION SURVEYORS
 PROFESSIONAL LAND SURVEYS

1-800-LANDSURVEY 281-496-1586
 1-800-526-3787 FAX 281-496-1867

14825 MEMORIAL DRIVE SUITE 8100 HOUSTON, TEXAS 77019

PIOTR A. DEBSKI
 PROFESSIONAL LAND SURVEYOR
 NO. 5902
 DRAWING NO. 09-B1031FS
 AUGUST 18, 2009



DRAWN BY: BK