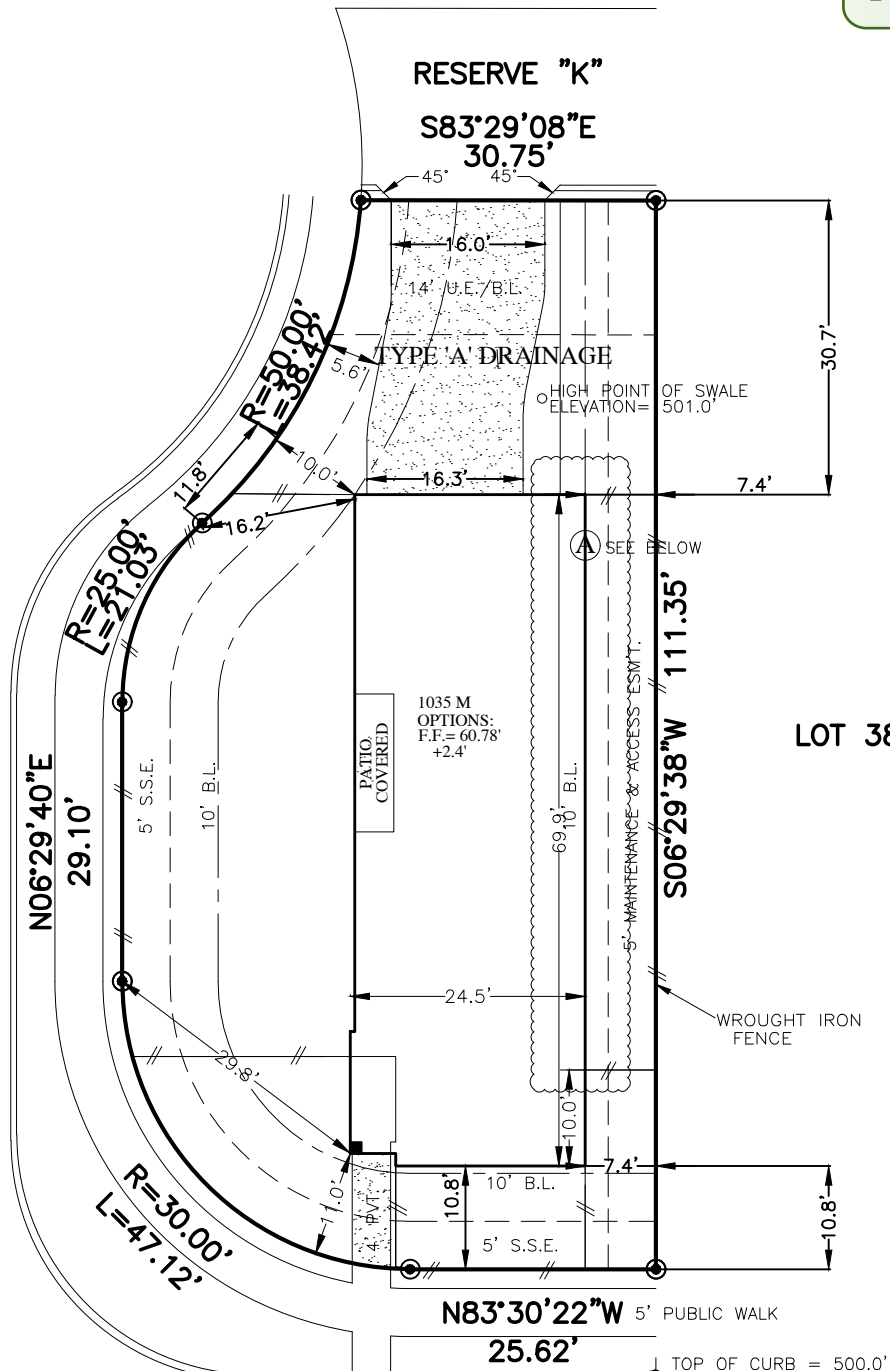




FLATWORK	B.L. BUILDING LINE	CONC. CONCRETE	BLDG. BUILDING	LIGHT POLE	MANHOLE
PROPERTY LINE	G.B.L. GARAGE BUILDING LINE	S.S.E. SANITARY SEWER EASEMENT	D.E. DRAINAGE EASEMENT	ELECTRIC BOX	GRATE DRAIN
BUILDING LINE	U.E. UTILITY EASEMENT	STM.S.E. STORM SEWER EASEMENT	E.E. ELECTRIC EASEMENT	FIBER OPTIC	PAD MOUNTED TRANSFORMER
EASEMENT	W.L.E. WATER LINE EASEMENT	(B.G.) BUILDER GUIDELINES	WATER VALVE	TELEPHONE PEDESTAL	
WOODEN FENCE	ELEV. ELEVATION	P.A.E. PRIVATE ACCESS EASEMENT	FIRE HYDRANT	GAS METER	
WROUGHT IRON FENCE	T.O.F. TOP OF FORM	R.O.W. RIGHT-OF-WAY	PROPERTY CORNER	CABLE PEDESTAL	
CHAIN LINK FENCE	F.F. FINISHED FLOOR	I.R. IRON ROD	PVT. PRIVATE	WATER METER	MANHOLE & INLET
OVERHEAD ELECTRIC	EXT. EXTENDED	I.P. IRON PIPE	FND. FOUND	GUY ANCHOR	INLET

FINAL

**GALAHAD COURT (PVT.)
(50' PRIVATE R.O.W.)**



LOT 38

**5142
GALAHAD COURT (PVT.)
(50' PRIVATE R.O.W.)**

TOTAL LOT	5302.8	SQ. FT.
HOUSE SLAB	1678	SQ. FT.
BUILDING COVERAGE	31.64%	
IMPERVIOUS COVERAGE	41.78%	
FRONT SOD	196	SQ. YD.
REAR SOD	261	SQ. YD.
TOTAL SOD	457	SQ. YD.
FRONT FENCE	51	LIN. FT.
LEFT FENCE	72	LIN. FT.
RIGHT FENCE	71	LIN. FT.
REAR FENCE	20	LIN. FT.
TOTAL FENCE	214	LIN. FT.
TOTAL FLATWORK	1477	SQ. FT.
DRIVEWAY	490	SQ. FT.
LEAD WALK	47	SQ. FT.
APPROACH	28	SQ. FT.
CITY WALK	880	SQ. FT.
A/C PAD	32	SQ. FT.

PLOT PLAN
SCALE: 1 = 20'

A BUILDER RECEIVED VARIANCE FOR ENCROACHMENT INTO BLDG. LINE.

- NOTES:
- ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT.
 - SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY. ABSTRACTING BY TITLE COMPANY ONLY. ALL EASEMENTS, RESTRICTIONS AND OTHER MATTERS OF RECORD KNOWN TO SURVEYOR ARE SHOWN AND ARE BASED ON THE RECORDED PLAT AND/OR TITLE REPORT. ALLPOINTS LAND SURVEY, INC. IS NOT LIABLE FOR ANY DAMAGES DUE TO INFORMATION NOT PROVIDED TO SURVEYOR OR BUILDER PLACING ANY IMPROVEMENTS WITHIN A BUILDING LINE OR EASEMENT.
 - FLATWORK AND FENCING ARE FOR ILLUSTRATION PURPOSES ONLY. REFER TO MUNICIPALITY, HOA, POA, BUILDER GUIDELINES, DEED RESTRICTIONS OR LOCAL CODE FOR REQUIREMENTS. SPECIFIC INSTALLATION REQUIREMENTS TO BE VERIFIED BY BUILDER.
 - DRAINAGE TYPE DETERMINED WITHOUT BENEFIT OF DRAINAGE PLANS.

FOR: DARLING HOMES
ADDRESS: 5142 GALAHAD COURT
ALLPOINTS JOB#: DG153814 BY: ARM
G.F.: SR
JOB: SR

FLOOD ZONE: X SHADED

COMMUNITY PANEL:
48157C0295L

EFFECTIVE DATE: 4/2/2014

LOMR: DATE:

"THIS INFORMATION IS BASED ON GRAPHIC PLOTTING. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION"

**LOT 37, BLOCK 1,
AVALON AT SIENNA PLANTATION, SECTION 6,
PLAT NO. 20170226, PLAT RECORDS,
FORT BEND COUNTY, TEXAS**

SIGN HERE

ISSUE DATE: 4/3/2018
ISSUE DATE: 4/3/2018
ISSUE DATE: 3/20/2018



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