

SITE PLAN NOTES

CONCRETE PADS AND WALKS. PROVIDE LIGHT DUTY PAVING AT AUTOMOBILE PARKING AREAS CONSISTING OF A 4" THICK SLAB ON SUB-GRADE COMPACTED TO 98 PERCENT DENSITY WITH 3000 PSI CONCRETE. A 4" THICK CONCRETE WALKWAY SHALL BE PROVIDED FROM FRONT DOOR TO THE DRIVEWAY. CONSULT SITE PLAN FOR ADDITIONAL INFORMATION. EXPANSION JOINTS SHALL BE INSTALLED AS IN STANDARD CONCRETE PRACTICES. CONTROL JOINTS SHALL BE INSTALLED AT PRE-DETERMINED LOCATIONS NO LATER THAN 12 HOURS AFTER INSTALLATION.

FOR COLOR, TEXTURE AND IMPRINTING. WHILE THE CONCRETE IS STILL IN A PLASTIC STATE, APPLY THE DESIRED PATTERN TO THE SURFACE. TOOLS SHALL BE PROPERLY STAMPED INTO THE SURFACE TO ACHIEVE DESIRED TEXTURE. SEAL AS REQUIRED. SEE SITE PLAN FOR ADDITIONAL INFORMATION.

ALL ROOF PENETRATIONS (I.E. PLUMBING AND GAS VENTS, ETC.) ARE TO BE RESTRICTED TO THE REAR ROOF AREA ONLY. UNDER NO CIRCUMSTANCES SHALL THERE BE ROOF PENETRATIONS AT THE ROOF FACING THE STREET.

PROVIDE 30 YEAR ASPHALT DIMENSIONAL SHINGLES OVER 3/8" FELT OVER 7/16" OSB DECK INSTALLED WITH PLYWOOD 1/4" CLIPS. COLOR AND STYLE OF SHINGLES TO BE SELECTED BY OWNER.

2" WIDE GALVANIZED FLASHING SHALL BE USED ON ALL VALLEYS. PROVIDE ALL WALL, BASE, CAP, THRU-WALL FLASHING AND/OR COUNTER FLASHING, ETC. AS REQUIRED TO PREVENT THE ENTRANCE OF WATER.

PROVIDE OPTIONAL GUTTERS AND DOWNSPOUTS TO BE SELECTED BY OWNERS.

ALL SITE WORK INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION FENCING, CLEARING PROCEDURES, GRADING AND DRAINAGE, ETC., SHALL BE IN ACCORDANCE WITH LOCAL CITY REQUIREMENT GUIDELINES.

CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.

FINAL GRADING. KEEP EXTERIOR FINISHED GRADE A MINIMUM OF 6" (2" BELOW FINISHED FLOOR ELEVATION) BY BACKFILLING WITH APPROPRIATE SOILS. PROVIDE SWALES WITH POSITIVE OUTFALL AND SLOPE GRADE AWAY FROM BUILDING TO ALLOW WATER TO DRAIN AWAY FROM THE BUILDING FOUNDATION. DO NOT BACKFILL AGAINST FOUNDATION UNTIL PROJECT IS COMPLETELY FRAMED AND ROOF STRUCTURE IS IN PLACE. SOIL TYPE OF FILL SHALL BE SPECIFIED BY GEOTECHNICAL ENGINEER.

TERMITE CONTROL. FOUNDATIONS SHALL BE PRE-TREATED UNDER ALL SLABS AND CRAWLSPACE AREAS BETWEEN VAPOR BARRIER AND GRANULAR SUB-BASE TO CONFORM WITH MINIMUM STANDARDS AND APPLICABLE BUILDING CODES. TREATMENTS SHALL NOT BE MADE WHEN SOIL IS EXCESSIVELY WET OR AFTER HEAVY RAINS. CONTRACTOR SHALL PROVIDE A ONE-YEAR RENEWABLE WARRANTY.

GENERAL NOTES

SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS USED TO PROVIDE A SAFE WORKING ENVIRONMENT ON THE JOB SITE. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL, SHORING AND BRACING DURING CONSTRUCTION.

PRODUCTS USED. MANUFACTURER'S NAMES AND MODEL NUMBER LISTED IN THE SPECIFICATIONS OR ON THE SCHEDULES ARE FOR THE PURPOSE OF ESTABLISHING A QUALITY OF MANUFACTURE OR A SPECIFIC DESIGN CONFIGURATION. EQUAL PRODUCTS, AS APPROVED BY THE DESIGNER, WILL BE ACCEPTABLE FROM OTHER MANUFACTURERS.

WORKMANSHIP. ALL WORK TO BE FIRST RATE, HIGH QUALITY, AND ACCOMPLISHED IN A WORKMANLIKE MANNER BY SKILLED CRAFTSMEN USING ACCEPTED PRACTICES AND METHODS APPROPRIATE TO THE TRADE INVOLVED.

PERMITS. PRIOR TO CONSTRUCTION, THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS, APPROVALS AND FINAL CERTIFICATE OF OCCUPANCY. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES. PRIOR TO CONSTRUCTION, CONTRACTOR/OWNER TO VERIFY SERVICE WITH UTILITY AGENCY AND SCHEDULE ON-SITE INSPECTION TO LOCATE UTILITY.

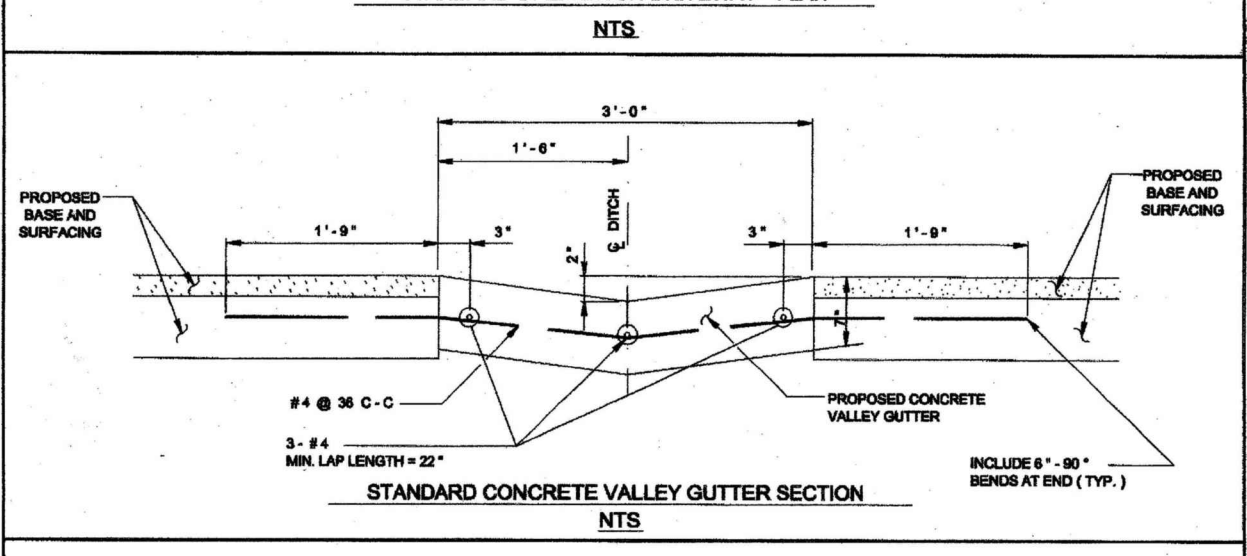
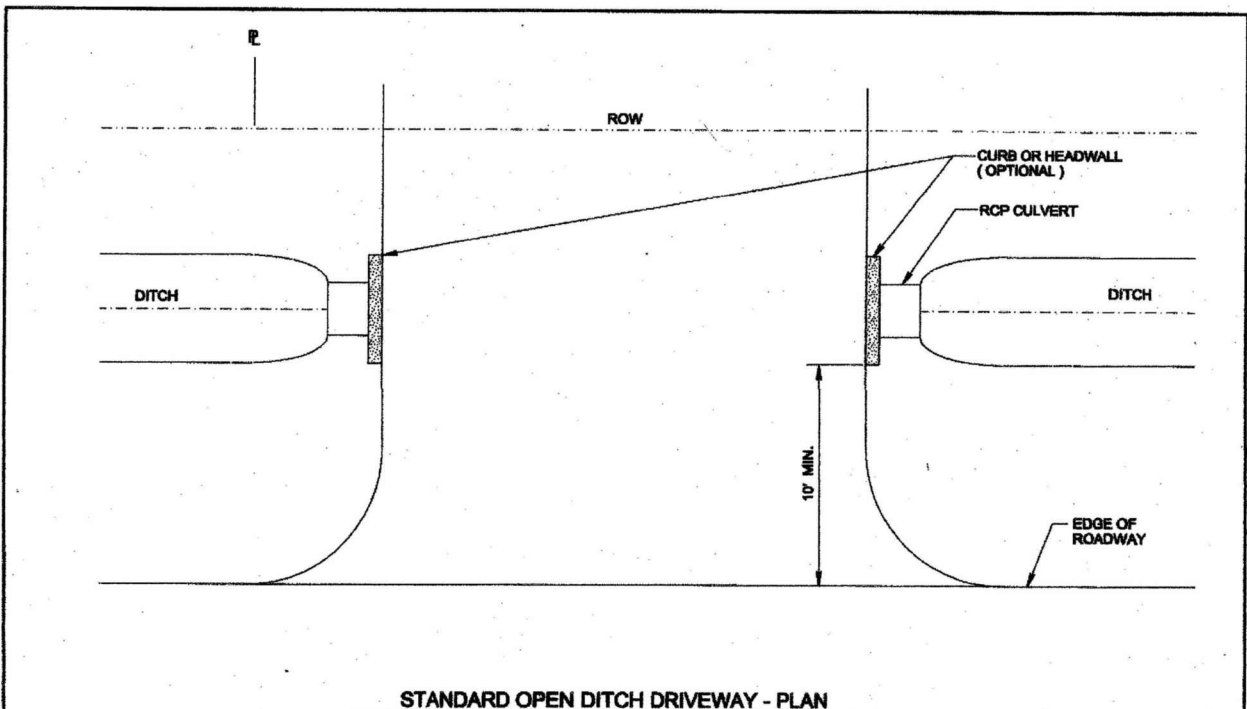
CONTRACT DOCUMENTS. THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF ARTE DESIGN AND SHALL NOT BE USED WITHOUT THEIR WRITTEN CONSENT. THE CONTRACT DOCUMENTS SHALL NOT BE USED FOR ISSUE OF A BUILDING PERMIT UNLESS SEALED BY THE DESIGNER.

PLAN REVIEW. THESE PLANS ARE CONCEPTUAL IN NATURE AND THEREFORE SHALL BE REVIEWED BY STRUCTURAL AND MECHANICAL ENGINEERS PRIOR TO CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR ALL SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO: ORIENTATION, DRAINAGE, SOIL BEARING, WIND LOADS AND OTHER SUBSURFACE CONDITIONS.

CHANGES OR MODIFICATIONS TO PLANS. ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OR MODIFICATION.

INSTALLATION. ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE DESIGNER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

MATERIAL STORAGE. MATERIALS STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE OR ANY OTHER HARMFUL AFFECTS.



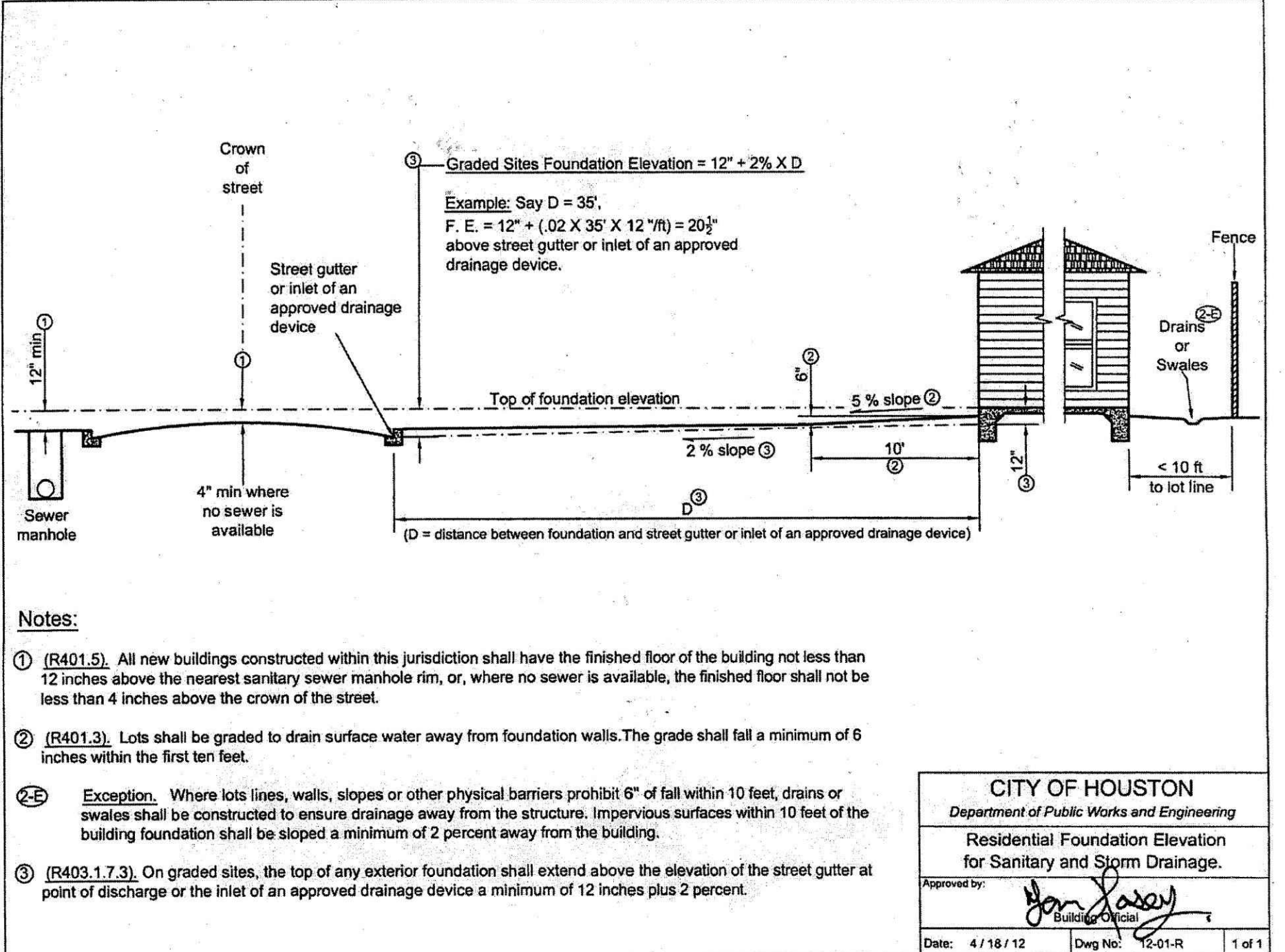
1. REINFORCED CONCRETE PIPE (RCP) CULVERTS AND CONCRETE VALLEY GUTTER GRASSES SHALL BE SET BY CITY ENGINEER. PROFILE SHOWING THE PROPOSED AND EXISTING DITCH FLOWLINE WILL BE REQUIRED WHERE CONCRETE VALLEY GUTTERS ARE TO BE CONSTRUCTED IN LIEU OF CULVERTS.
2. CULVERT SIZE WILL BE APPROVED BY CITY ENGINEER WITH 2" DIAMETER MINIMUM.
3. SPACING OF TYPE "D" OR "1" - 1" SLATS SHALL BE DETERMINED BY CITY ENGINEER. SEE DRAWING NO. 0282-07 FOR TYPE "D" CULVERTS AND NO. 0282-06 FOR TYPE "1" - 1".
4. DRIVEWAY MAY BE CONCRETE, ASPHALT OR ANY OTHER MATERIAL WHICH WILL NOT PERMIT WIND OR WATERBORNE EROSION.
5. A 3'-FOOT CONCRETE VALLEY GUTTER SECTION SHALL BE CONSTRUCTED THROUGH THE PROPOSED DRIVEWAY WHERE THE CITY ENGINEER DETERMINES THE INSTALLATION OF DITCH CULVERTS TO BE IMPRACTICAL DUE TO INSUFFICIENT DEPTH. THE VALLEY GUTTER SECTION WILL BE CONSTRUCTED OF 3'-1/2" SLAB CONCRETE PER CUBIC YARD OF CONCRETE.

CITY OF HOUSTON
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

DRIVEWAYS WITH CULVERTS OR VALLEY GUTTERS ON OPEN DITCH TYPE STREETS (NOT TO SCALE)

APPROVED: [Signature]
CITY ENGINEER

DATE: OCT-01-2009 DWG NO: 02754-02



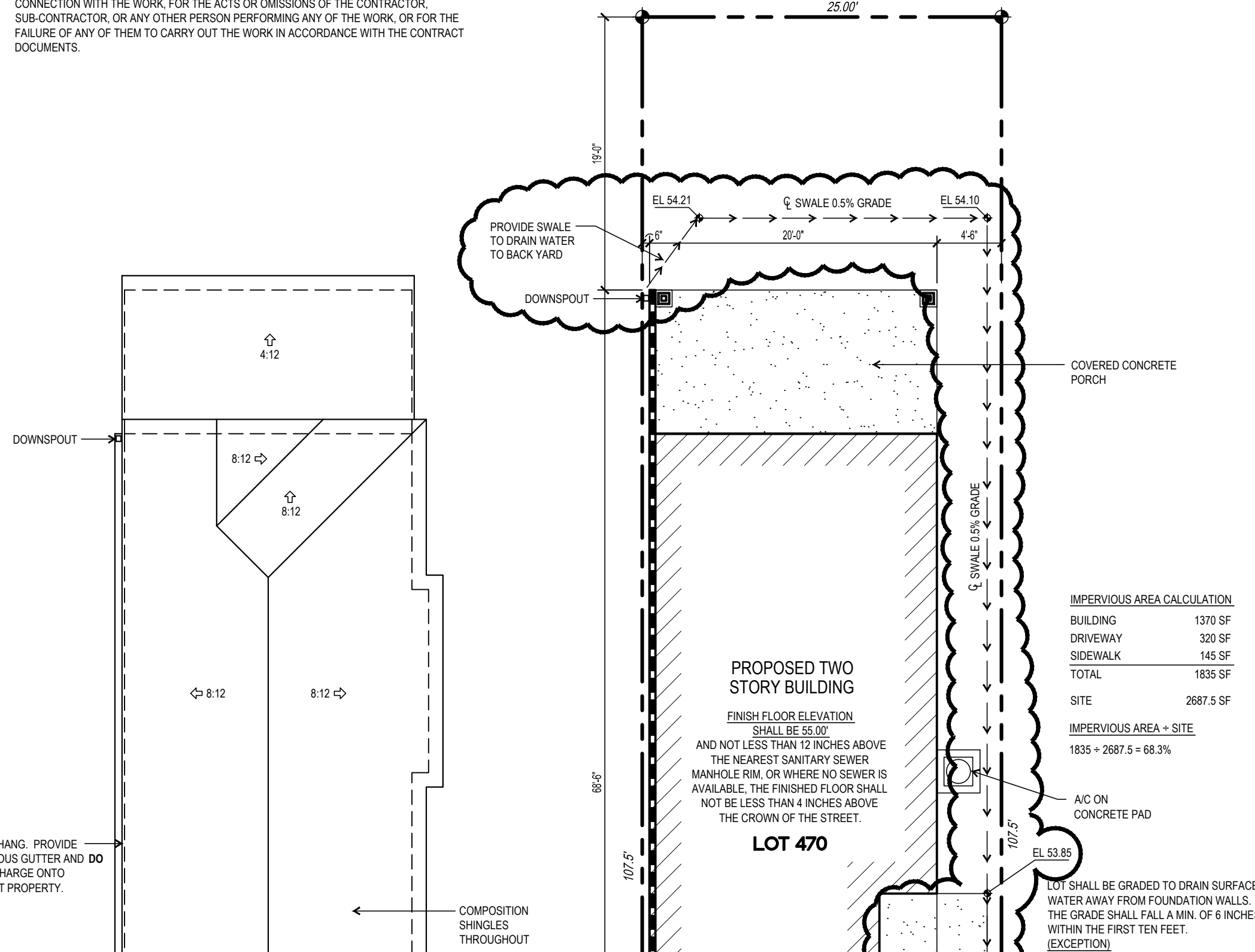
- Notes:**
1. (R401.5) All new buildings constructed within this jurisdiction shall have the finished floor of the building not less than 12 inches above the nearest sanitary sewer manhole rim, or, where no sewer is available, the finished floor shall not be less than 4 inches above the crown of the street.
 2. (R401.3) Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first ten feet.
 3. Exception: Where lots, walls, slopes or other physical barriers prohibit 6" of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.
 3. (R403.1.7.3) On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved drainage device a minimum of 12 inches plus 2 percent.

CITY OF HOUSTON
Department of Public Works and Engineering

Residential Foundation Elevation for Sanitary and Storm Drainage.

Approved by: [Signature]
CITY ENGINEER

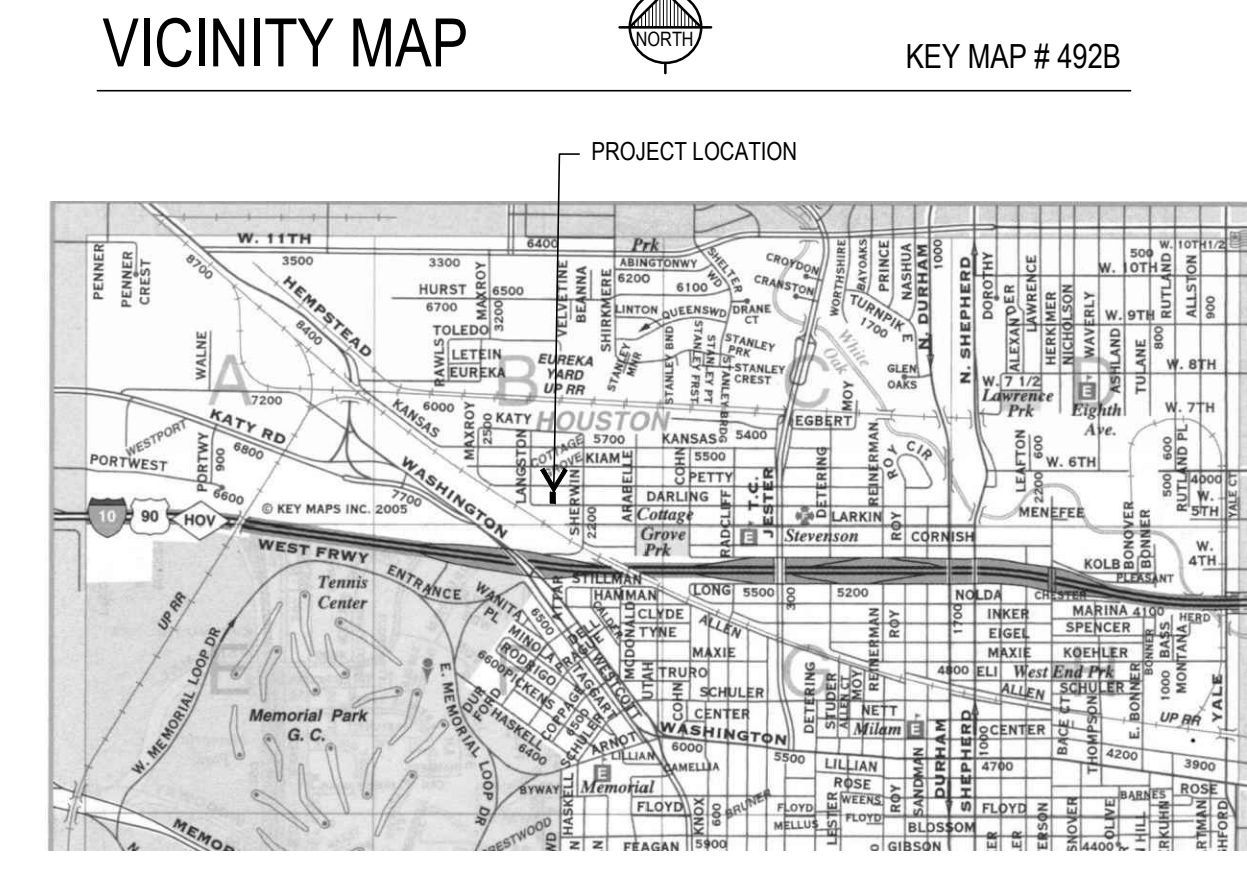
Date: 4/18/12 DWG No: 0249-R 1 of 1



IMPERVIOUS AREA CALCULATION

BUILDING	1370 SF
DRIVEWAY	320 SF
SIDEWALK	145 SF
TOTAL	1835 SF
SITE	2687.5 SF

IMPERVIOUS AREA = SITE
1835 ÷ 2687.5 = 68.3%



CODE INFORMATION

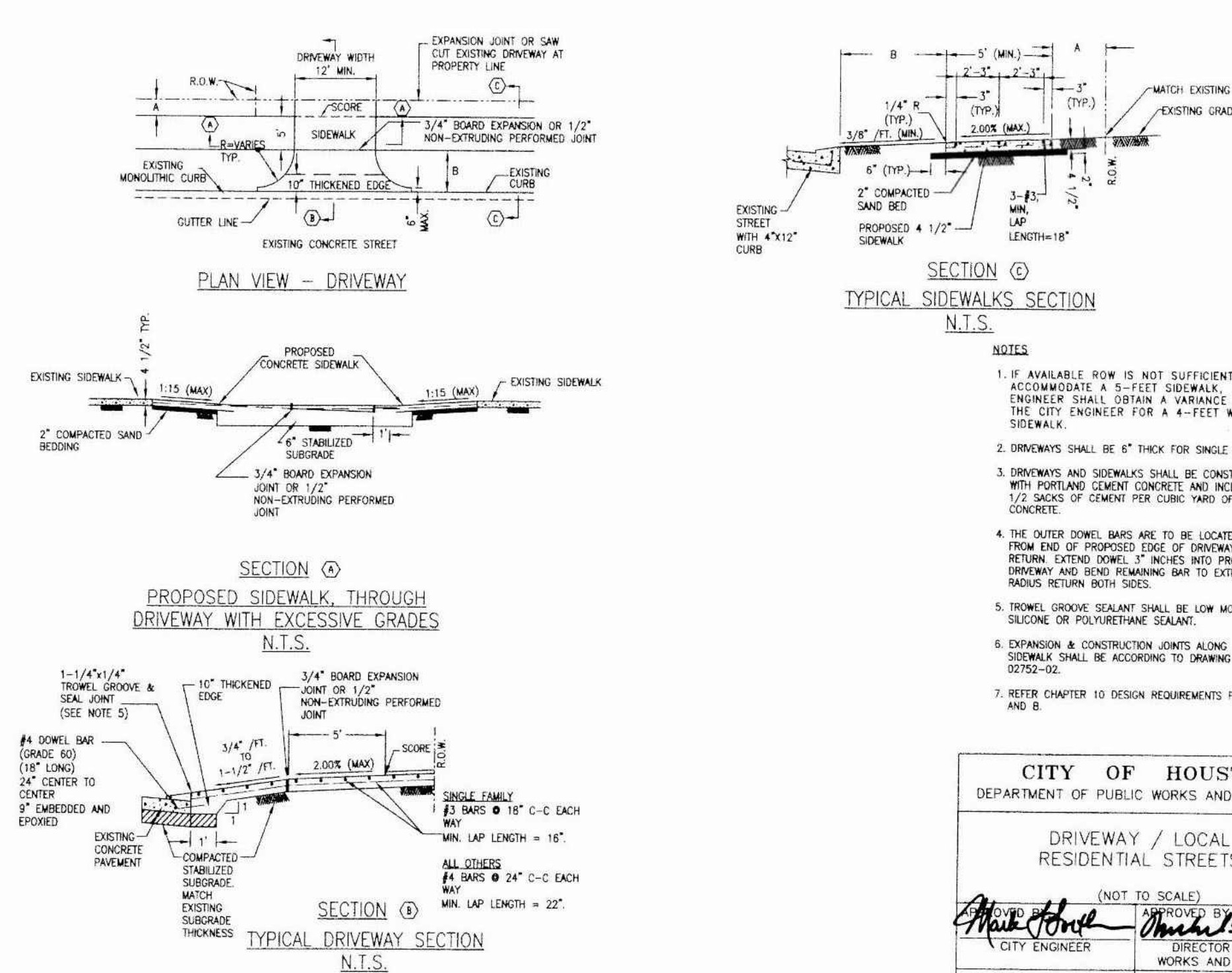
APPLICABLE CODES:
2008 INTERNATIONAL RESIDENTIAL CODE WITH CITY AMENDMENTS.
2009 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY AMENDMENTS.

OCCUPANCY CLASSIFICATION:
R-1 SINGLE FAMILY

CONSTRUCTION TYPE:
V-B

DRAWING INDEX

- A1.0 SITE PLAN, ROOF PLAN GENERAL NOTES
- A2.0 FLOOR PLANS
- A2.1 ELECTRICAL PLANS, INTERIOR ELEVATIONS
- A3.0 EXTERIOR ELEVATIONS
- A4.0 WALL SECTIONS
- A5.0 DOOR & WINDOW TYPES



CITY OF HOUSTON
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

DRIVEWAY / LOCAL RESIDENTIAL STREETS

(NOT TO SCALE)

APPROVED BY: [Signature]
CITY ENGINEER

DATE: JULY-01-2009 DWG NO: 02754-01A

2 ROOF PLAN
SCALE: 1/8"=1'-0"

1 SITE PLAN
SCALE: 1/8"=1'-0"

PROJECT:
A New House Plan for
5834 Darling Street
Houston, Texas 77007

REV.	DATE	DESCRIPTION
	7-2-12	FOR PERMIT & CONSTRUCTION
	8-15-12	REVISED PER CITY COMMENTS

PROFESSIONAL MEMBERSHIP

AIIBD
AMERICAN INSTITUTE OF BUILDING DESIGN

Arte DESIGN
2646 S Loop W, Ste 590
Houston, TX 77054
713-978-7636 voice
713-574-2704 fax
office@arte-mail.com

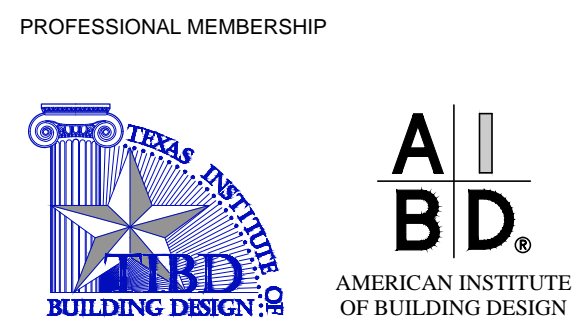
These documents were prepared to comply with Texas Occupation Code Chapter 1061, Article 3, Subchapter 1.1. Exemptions, which allows this project to be exempt from the Texas Architectural Act. This seal & signature hereby authorizes these documents to be issued for permit and construction.

SERGIO ASTORGA
Professional Building Designer

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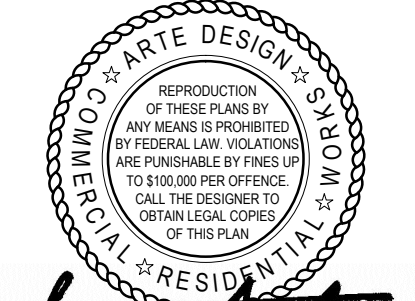
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REV.	DATE	DESCRIPTION
7-2-12		FOR PERMIT & CONSTRUCTION



Arte Design
 2646 S Loop W, Ste 590
 Houston, TX 77054
 713-978-7636 voice
 713-574-2704 fax
 office@arte-mail.com

These documents were prepared to comply with Texas Occupation Code Chapter 1061, Article 3, Subchapter 11. Exemptions, which allows this project to be exempt from the Texas Architectural Act. This seal & signature hereby authorizes these documents to be issued for permit and construction.



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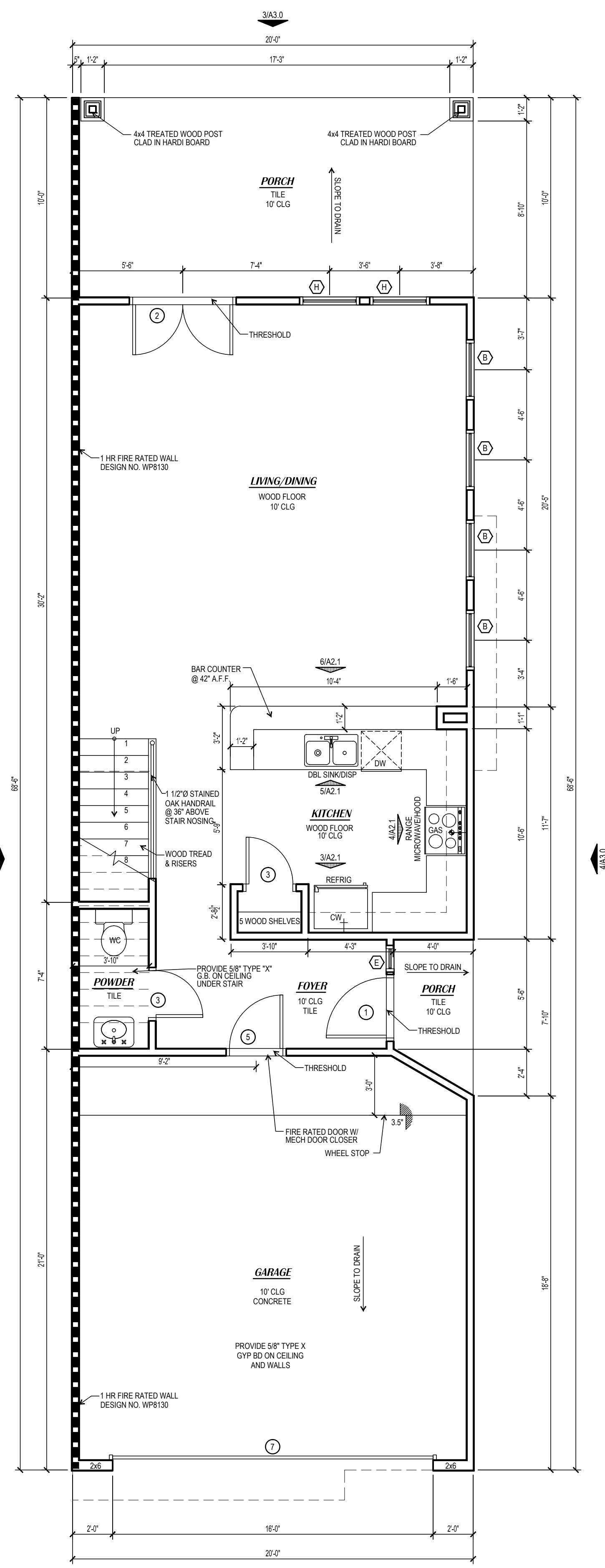
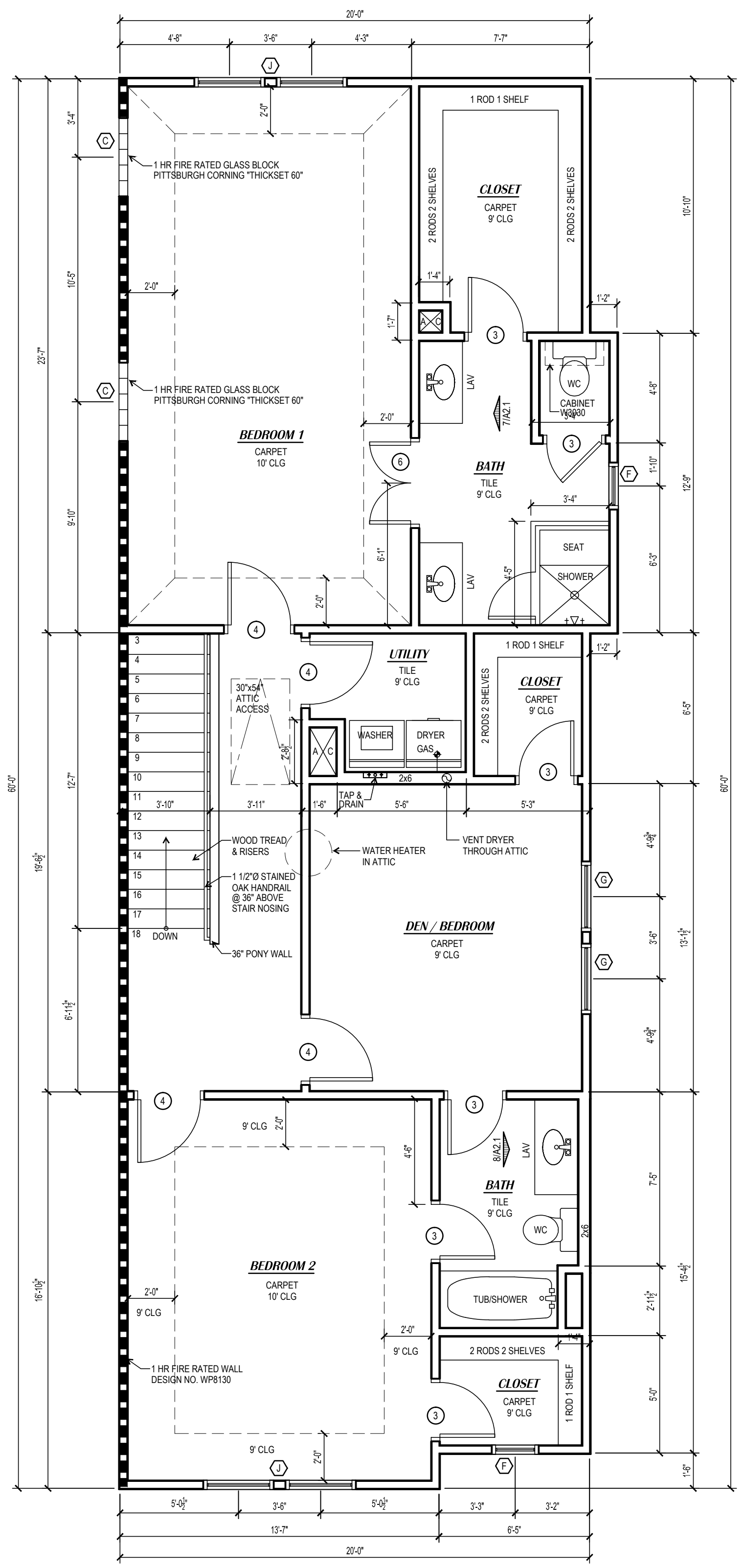
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SHEET TITLE:
FLOOR PLANS

SHEET NO:
A2.0

- FLOOR PLAN NOTES**
- DIMENSIONS.** DO NOT SCALE DRAWINGS. THESE ARE CONCEPTUAL PLANS. ALL DIMENSIONS ARE TO FACE OF STUD WALLS OR MASONRY FOUNDATION. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - INTERIOR STUD WALLS.** ALL MAIN FLOOR WALLS TO BE 10'-0" ALL SECOND FLOOR WALLS TO BE 9'-0" UNLESS OTHERWISE NOTED. INTERIOR WALLS SHALL BE CONSTRUCTED OF #2 SOUTHERN YELLOW PINE MINIMUM 2 X 4 WOOD STUDS AT 16" ON CENTER (OC). PROVIDE SINGLE BOTTOM PLATES AND DOUBLE TOP PLATES THROUGHOUT. PROVIDE SOLID BLOCKING AT MID-HEIGHT OF ALL WALLS.
 - EXTERIOR STUD WALLS.** WALLS SHALL BE CONSTRUCTED OF #2 SOUTHERN YELLOW PINE MINIMUM 2 X 4 WOOD STUDS AT 16" ON CENTER (OC). PROVIDE SINGLE BOTTOM PLATES AND DOUBLE TOP PLATES THROUGHOUT. PROVIDE R-13 1/2 BATT INSULATION AT ALL LOCATIONS SHOWN ON PLANS. EXTERIOR SHEATHING SHALL BE 7/16" OSB. EXTERIOR FINISH SHALL BE SIDING. PROVIDE SOLID BLOCKING AT MID-HEIGHT OF ALL WALLS.
 - GYPSUM WALLBOARD.** SHEATH WALLS AND CEILINGS WITH 1/2" GYPSUM WALLBOARD.
 - WATER RESISTANT DRYWALL.** PROVIDE WATER RESISTANT 1/2" DUROCK CEMENT BOARD AROUND ALL WET WALLS IN BATHROOMS AND KITCHEN.
 - FIRE RESISTANT DRYWALL.** PROVIDE 5/8" TYPE "X" FIRE CODE GYPSUM WALLBOARD ON WALLS AND CEILINGS IN GARAGE, AROUND GAS WATER HEATERS AND AS REQUIRED BY CODE.
 - PRESSURE TREATED LUMBER.** ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH WOOD MASONRY, CONCRETE OR SOIL SHALL BE PRESSURE TREATED.
 - COLUMNS.** IF APPLICABLE, PROVIDE LOAD BEARING FIBER-REINFORCED POLYMER COMPOSITE COLUMNS AS MANUFACTURED BY "H6AG" PERMACAST COLUMN. PROVIDE A PAINT FINISH.
 - INSULATION.** 3 1/2" R-13 BATT INSULATION SHALL BE INSTALLED AT ALL EXTERIOR WOOD STUD WALLS AND AS NOTED. CEILING INSULATION SHALL CONSIST OF 9" TO 12" OF LOOSE BLOWN FIBERGLASS INSULATION TO PROVIDE AN R-30 RATINGS. INSTALL 6" BATT INSULATION IN FLOOR SYSTEM BETWEEN FIRST AND SECOND FLOOR OF GARAGE TO PROVIDE AN R-19 RATING. INSULATION SHOULD BE INSTALLED DIRECTLY UNDER THE PLYWOOD DECK SO THAT THERE IS NO AIR SPACE BETWEEN DECK AND INSULATION.
 - ANGLED WALLS.** ALL ANGLED WALLS ARE TO BE 12:12 UNLESS OTHERWISE NOTED.
 - DRYER VENT.** PROVIDE AND INSTALL DRYER VENT DUCT TO BUILDING EXTERIOR THROUGH ATTIC.
 - PAINT.** PAINTED SURFACES SHALL CONSIST OF A PRIMER COAT AND TWO FINISH COATS MINIMUM.
 - CARPET.** FLOOR SUBSTRATE SHALL BE FREE OF DIRT AND DEBRIS BEFORE PAD AND CARPET INSTALLATION.
 - VINYL OR TILE FLOORING.** INSTALLER TO PROVIDE APPROPRIATE UNDERLAYMENT ON ALL SURFACES WHERE TILE AND VINYL FLOORING ARE TO BE LAID.
 - HARDWOOD FLOORS.** IF APPLICABLE, INSTALLER TO LAY A 15# FELT PAPER VAPOR BARRIER UNDERNEATH ALL AREAS WHERE HARDWOODS WILL BE INSTALLED.
 - OPTIONAL WALL COVERING.** INSTALLER SHALL INSURE THAT WALL COVERING SUPPLIED SHALL ALL BE FROM THE SAME MANUFACTURERS RUN, OF INFORM COLOR, TEXTURE AND PATTERN. INSTALLER SHALL USE APPROPRIATE PRIMERS, SEALERS AND ADHESIVES.
 - ATTIC ACCESS PANEL.** PROVIDE AND INSTALL ATTIC ACCESS PULL-DOWN STAIR WHERE SHOWN ON PLANS. TRIM OPENING TO MATCH DOOR AND WINDOW TRIM. SIZE OF OPENING SHALL BE 30"X34" WITH A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS.
 - WINDOWS.** LOW-E INSULATED WINDOWS AS SPECIFIED. TOP OF WINDOWS TO BE INSTALLED AT 6'-8" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE. CONFIRM THAT OPENINGS ARE COMPLIANT WITH ALL APPLICABLE CODES CONCERNING EGRESS, LIGHTING AND VENTILATION REQUIREMENTS. TEMPER ALL GLASS 7/8" FROM DOOR AND ABOVE WHIRLPOOL TUBS. BEDROOM WINDOWS SHALL COMPLY WITH IRC CODE REQUIREMENTS FOR EMERGENCY ESCAPE. MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQ. FT., MINIMUM NET CLEAR WIDTH SHALL BE 20", MINIMUM NET CLEAR HEIGHT SHALL BE 24" AND SILL HEIGHT SHALL NOT EXCEED 4" ABOVE FLOOR. PROVIDE MANUFACTURER'S EGRESS HARDWARE AT BEDROOM WINDOWS IN EACH BEDROOM WITHOUT EXTERIOR DOOR.
 - WINDOWS AND DOORS.** PROVIDE METAL FLASHING OVER ALL WINDOWS AND DOORS IN EXTERIOR WALLS THROUGHOUT. PROVIDE PAN FLASHING UNDER ALL EXTERIOR DOORS. PROVIDE ALL WALL, BASE, CAP, THRU-WALL FLASHING AND/OR COUNTER FLASHING, ETC. AS REQUIRED TO PREVENT THE ENTRANCE OF WATER.
 - FIREPLACE.** IF APPLICABLE, PROVIDE AND INSTALL A VENTLESS PREFABRICATED FIREPLACE AS PER MANUFACTURER'S SPECIFICATIONS. CONFIRM THAT EQUIPMENT AND INSTALLATION CONFORM TO U.L. REQUIREMENTS.
 - FRENCH DOORS.** WOOD OR METAL FRAME, CLEAR GLAZED, INSULATED FRENCH DOORS PAINTED AS SPECIFIED IN FINISH SCHEDULE. TEMPER ALL GLASS. TRIM DOORS WITH CASING.
 - BATHROOM LAYOUT.** BATHROOM COUNTER LAYOUT AND BATHROOM FIXTURE LOCATIONS ARE SHOWN FOR DIMENSIONAL LOCATION ONLY. BATHROOM VANITY COUNTER / CABINET STYLE, TYPE, FINISH AND COLOR TO BE DETERMINED BY OWNER.
 - KITCHEN LAYOUT.** KITCHEN COUNTER LAYOUT AND APPLIANCE LOCATIONS ARE SHOWN FOR DIMENSIONAL LOCATION ONLY. COUNTER / CABINET STYLE, TYPE, FINISH AND COLOR TO BE DETERMINED BY OWNER.
 - GARAGE DOOR.** GARAGE DOOR TO BE 16'X7" SINGLE LAYER 35 GAUGE STEEL CONSTRUCTION, NON INSULATED WITH WEATHER RESISTANT SECTION JOINTS. GARAGE DOOR JAMB AND HEAD SHALL BE PRESSURE TREATED 2X6.

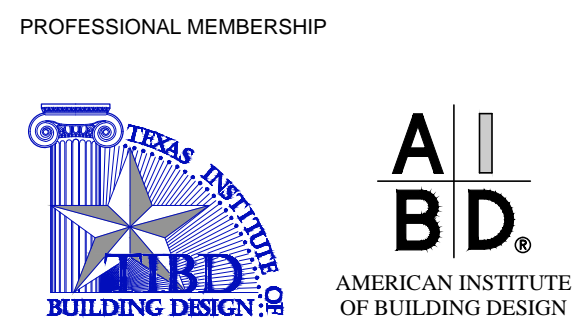
EXTERIOR WALLS		GA-600-2006 FIRE RESISTANCE DESIGN MANUAL																
GA FILE NO. WP 8130	PROPRIETARY*	1 HOUR FIRE																
GYPSUM WALLBOARD, GLASS MAT GYPSUM SUBSTRATE, WOOD STUDS																		
EXTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate (sheathing) applied parallel or at right angles to 2 x 4 wood studs 16" o.c. with galvanized roofing nails, 1 1/4" long, 0.125" shank, 7/8" head, 7" o.c. Exterior surface covered with weather exposed cladding or finish system.																		
INTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate, glass mat water-resistant gypsum backing board, gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/4" heads, 7" o.c.																		
Joints staggered on opposite sides. (LOAD-BEARING)																		
<table border="0"> <tr> <td>Proprietary Gypsum Panel Products</td> <td>5/8" FireBloc® Type X</td> </tr> <tr> <td>American Gypsum Company</td> <td>G-P Gypsum</td> </tr> <tr> <td>Lafarge North America Inc.</td> <td>DensGlass Gold® Fireguard®</td> </tr> <tr> <td>Temple-Inland Forest Products Corporation</td> <td>Firecheck® Type X</td> </tr> </table>			Proprietary Gypsum Panel Products	5/8" FireBloc® Type X	American Gypsum Company	G-P Gypsum	Lafarge North America Inc.	DensGlass Gold® Fireguard®	Temple-Inland Forest Products Corporation	Firecheck® Type X								
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GRAPHIC SYMBOLS	SQUARE FOOT CALCULATION																	
(A) WINDOW TYPE	1ST FLOOR LIVING AREA 728 SF																	
(1) DOOR TYPE	2ND FLOOR LIVING AREA 1157 SF																	
(1A3.2) EXTERIOR ELEVATION	LIVING AREA 1385 SF																	
(1A3.0) WALL SECTION	GARAGE 415 SF																	
(1A3.1) DETAIL NUMBER	PORCHES 227 SF																	
(2A4.0) SHEET NUMBER	TOTAL CONSTRUCTION AREA 2527 SF																	
(E) ELEVATION LEVEL LINE																		



2 SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

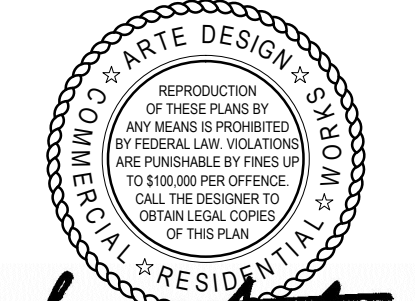
1 FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

REV.	DATE	DESCRIPTION
	7-2-12	FOR PERMIT & CONSTRUCTION



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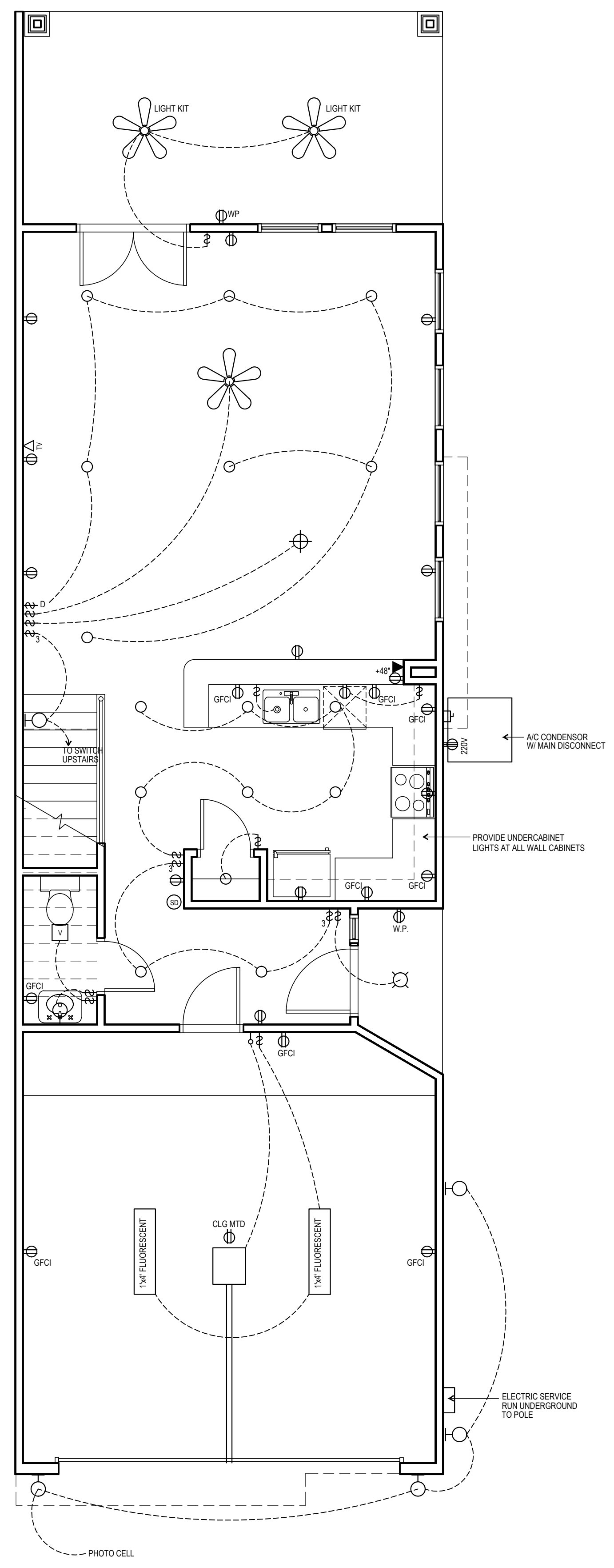
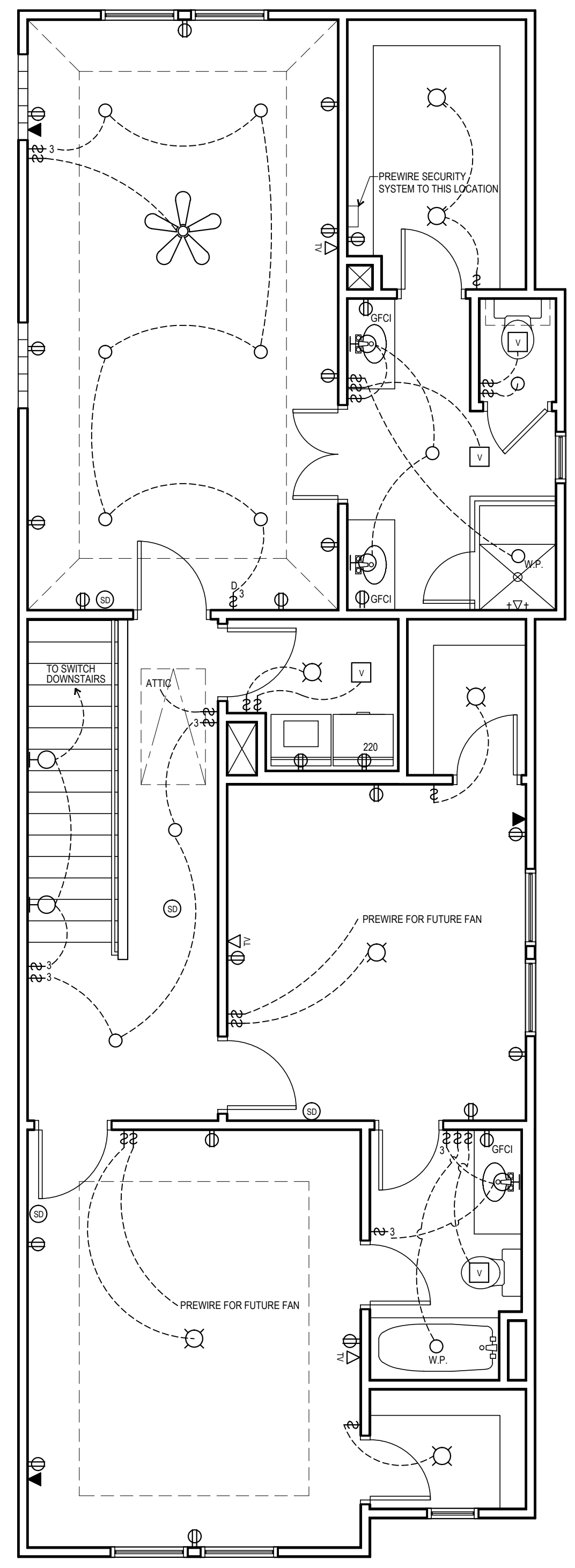
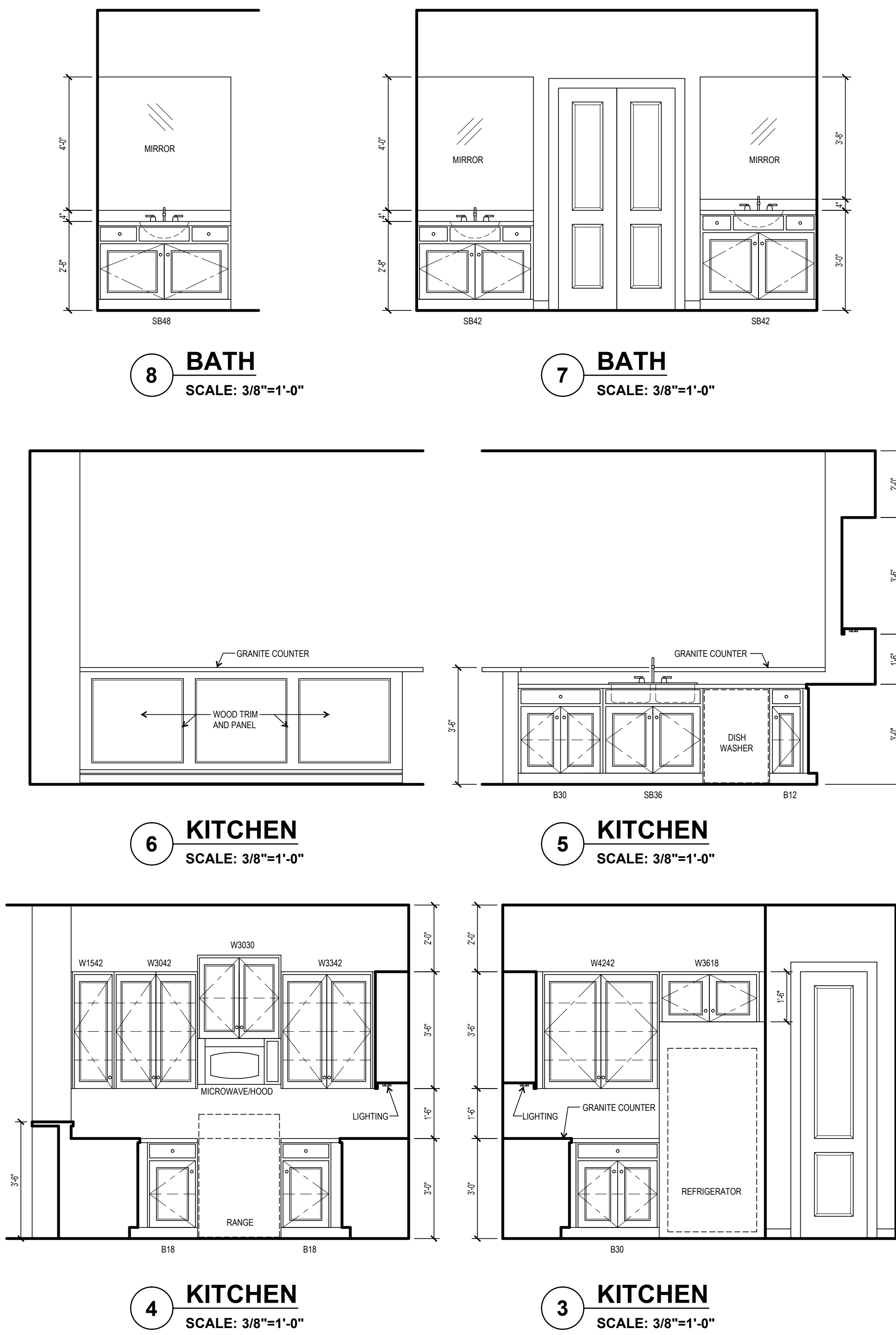
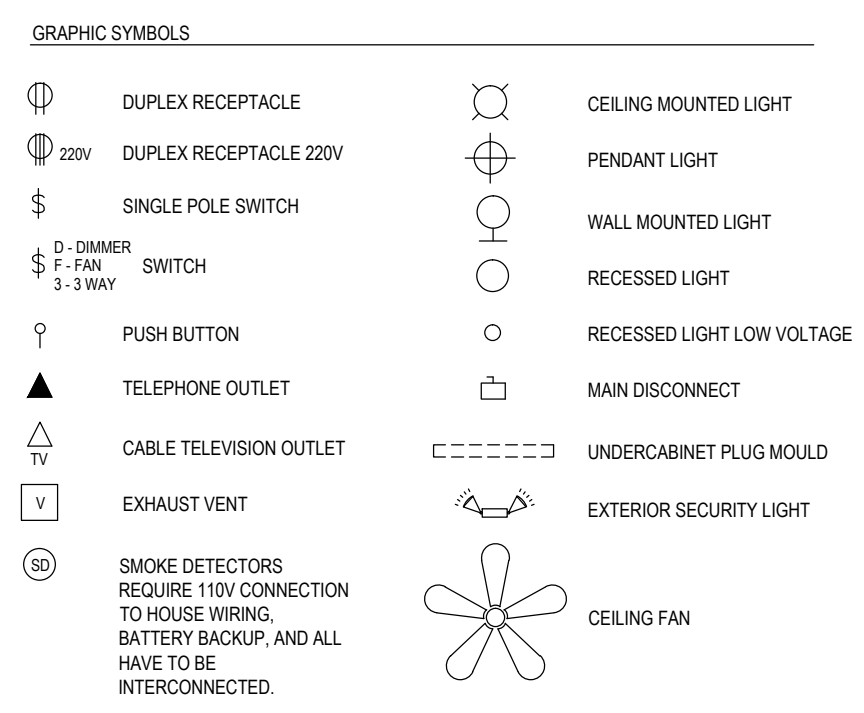
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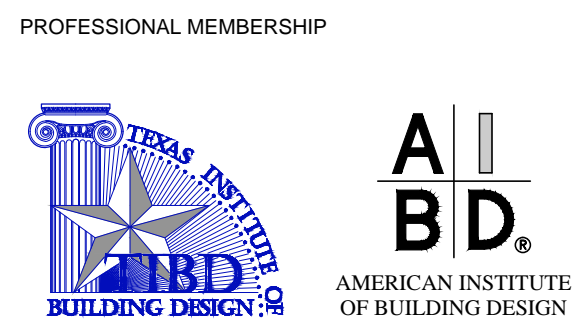
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- ELECTRICAL PLAN NOTES**
- CODES.** THIS ELECTRICAL PLAN IS INTENDED TO INDICATE THE REQUIREMENTS OF THE OWNER. THE DETAILS OF THE ELECTRICAL SYSTEM SHALL BE DETERMINED BY AN ELECTRICAL CONTRACTOR LICENSED ACCORDING TO THE CURRENT ELECTRICAL CODE AND BY THE LOCAL BUILDING DEPARTMENT. INSTALL ALL ELECTRICAL WIRING, CONDUIT AND PANEL, BOXES, COAXIAL CABLE, AND TELEPHONE WIRING PER LOCAL CODES. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH N.E.C. REVIEW DRAWINGS AND PROVIDE ALL WORK FOR A COMPLETE AND OPERABLE SYSTEM, INCLUDING ALL INCIDENTALS, REQUIRED BY CODE AGENCIES AND LOCAL GOVERNING BODIES.
 - VERIFY ALL DIMENSIONS.** PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS IN FIELD. THESE ARE CONCEPTUAL DRAWINGS. REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CHANGES SHALL BE MADE IN WRITING.
 - POWER PANEL.** PROVIDE RECESSED ELECTRICAL POWER PANEL AS INDICATED BY ELECTRICAL CONTRACTOR. INSTALL IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - DISCONNECT PANEL.** EXTERIOR MAIN DISCONNECT PANEL AND METER BASE. ELECTRIC SERVICE TO BE RUN UNDERGROUND FROM SERVICE POLE. PROVIDE LIGHTING ARRESTOR IN MOP. GROUND METER BASE AS REQUIRED. ALL WORK PER NATIONAL ELECTRIC CODE (NEC).
 - SMOKE DETECTOR.** PROVIDE SURFACE MOUNTED SMOKE DETECTORS LOCATED ON CEILING OR WALLS IN CONFORMANCE WITH FIRE MARSHALL'S REQUIREMENTS. SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING, BATTERY BACKUP, AND ALL HAVE TO BE INTERCONNECTED.
 - ELECTRICAL LAYOUT.** ALL ELECTRICAL SERVICE SHALL COMPLY WITH NATIONAL ELECTRICAL CODE, STANDARD BUILDING CODE, N.F.P.A. AND ALL OTHER APPLICABLE STATE AND LOCAL CODES. LOCATIONS ARE SUGGESTED ONLY. CONSULT YOUR ENGINEERS AND SUBCONTRACTORS FOR EXACT LOCATIONS, SPECIFICATIONS, SIZES AND CODE COMPLIANCE.
 - ENGINEERING.** THIS DRAWING REPRESENTS POWER AND COMMUNICATION RECEPTACLE, CEILING FIXTURE LOCATIONS AND SWITCHING DIAGRAMS AS SUGGESTIONS ONLY, AND SHALL NOT BE UTILIZED AS AN ENGINEERING DOCUMENT.
 - COVER PLATES.** INSTALL BEIGE OR WHITE COVER PLATES THROUGHOUT INTERIOR OF HOME. AT THE EXTERIOR, INSTALL SILVER COVER PLATES.
 - SWITCHES AND RECEPTACLES.** WHEN TWO (2) OR MORE SWITCHES OR RECEPTACLES ARE LOCATED TOGETHER, GANG WITH ONE COMMON FACEPLATE. IF THEY CANNOT BE GANGED, INSTALL WITH A MINIMUM DISTANCE BETWEEN UNITS.
 - RECEPTACLES.** INSTALL ALL RECEPTACLES AT 18" ON CENTER (OC) ABOVE FINISHED FLOOR. AT COUNTERS, LOCATE RECEPTACLES AT 41" ON CENTER (OC) ABOVE FINISHED FLOOR.
 - SWITCHES.** INSTALL SWITCHES 48" ON CENTER (OC) ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. LOCATE LIGHT SWITCH COVER PLATES 6" FROM FRAME OF DOOR OR CORNER OF WALL.
 - APPLIANCES.** PROVIDE AND INSTALL NECESSARY ELECTRICAL REQUIREMENTS FOR APPLIANCES. CHECK MANUFACTURERS RECOMMENDATIONS.
 - TELEPHONE.** INSTALL CAP 5 CABLEING FOR TELEPHONE, IN STRAIGHT SHOTS.
 - SOUND SYSTEM.** WIRE FOR SOUND SYSTEM, AS OUTLINED BY OWNER/DESIGNER. COORDINATE WITH SOUND SYSTEM COMPANY. SEE PLAN FOR LOCATIONS.
 - ALARM SYSTEM.** INSTALL ALARM SYSTEM, AS OUTLINED BY OWNER/DESIGNER. COORDINATE WITH ALARM SYSTEM COMPANY. SEE PLAN FOR LOCATIONS.

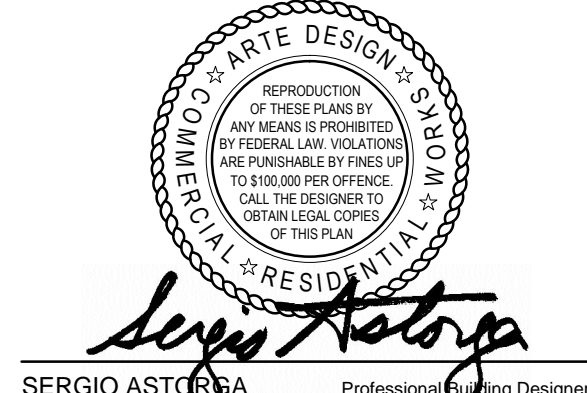


REV.	DATE	DESCRIPTION
	7-2-12	FOR PERMIT & CONSTRUCTION
△	8-15-12	REVISED PER CITY COMMENTS

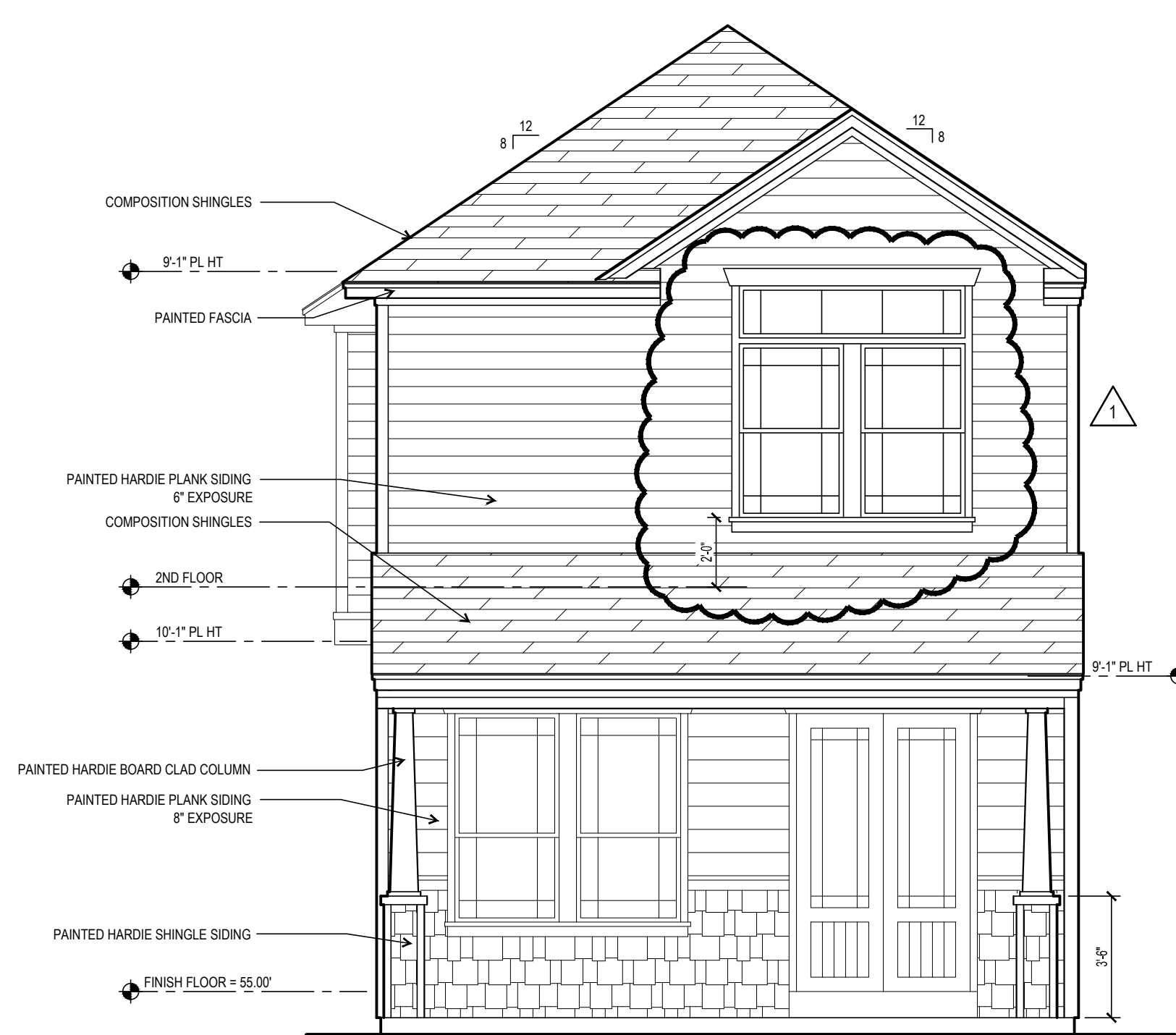


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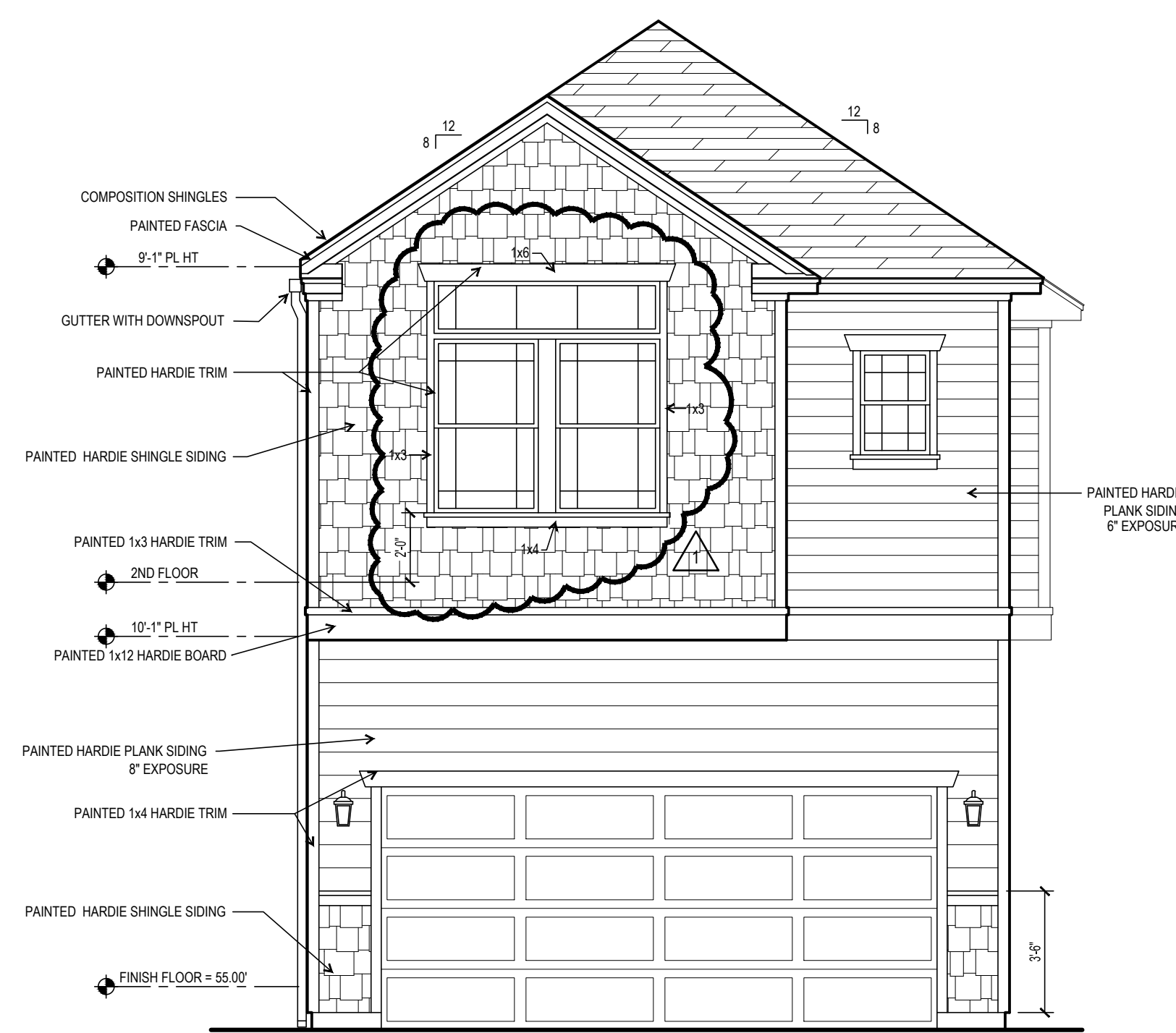
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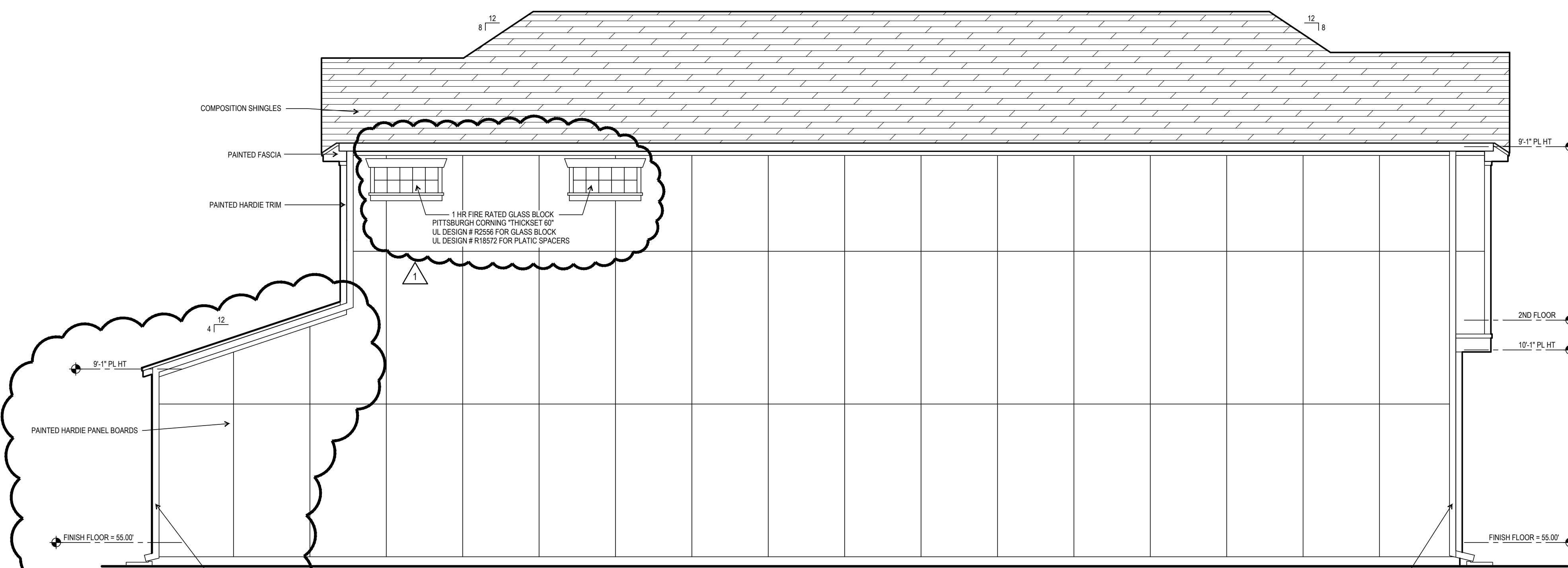
3 NSOUTH ELEVATION
 SCALE: 1/4"=1'-0"



4 EAST ELEVATION
 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
 SCALE: 1/4"=1'-0"

PROJECT:

A New House Plan for
5834 Darling Street
 Houston, Texas 77007

REV.	DATE	DESCRIPTION
	7-2-12	FOR PERMIT & CONSTRUCTION

PROFESSIONAL MEMBERSHIP



**Arte
 DESIGN**

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 office@arte-mail.com

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Sergio Astoriza
 Sergio Astoriza, P.A.
 Professional Building Designer

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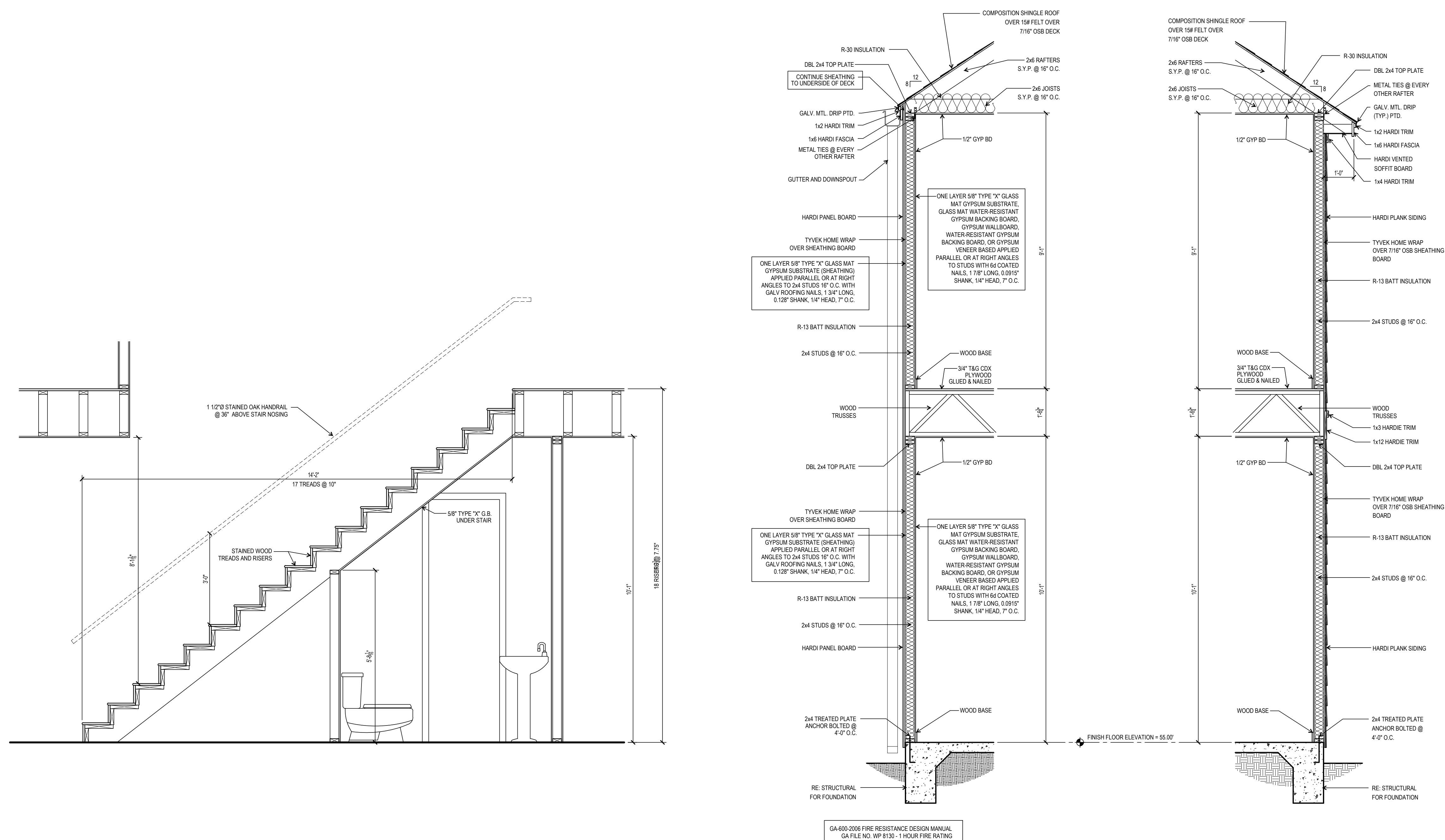
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SHEET TITLE:

WALL SECTIONS
 STAIR SECTIONS

SHEET NO:

A4.0



3 STAIR SECTION
 SCALE: 1/2"=1'-0"

2 1 HR FIRE RATED WALL SECTION
 SCALE: 1/2"=1'-0"

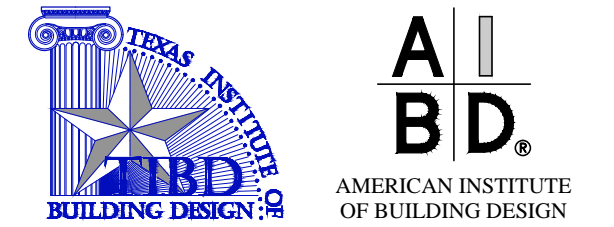
1 TYPICAL WALL SECTION
 SCALE: 1/2"=1'-0"

PROJECT:

A New House Plan for
5834 Darling Street
 Houston, Texas 77007

REV.	DATE	DESCRIPTION
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△	8-15-12	REVISED PER CITY COMMENTS

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Sergio Astoriza
 SERGIO ASTORIZA, P.A. Professional Building Designer

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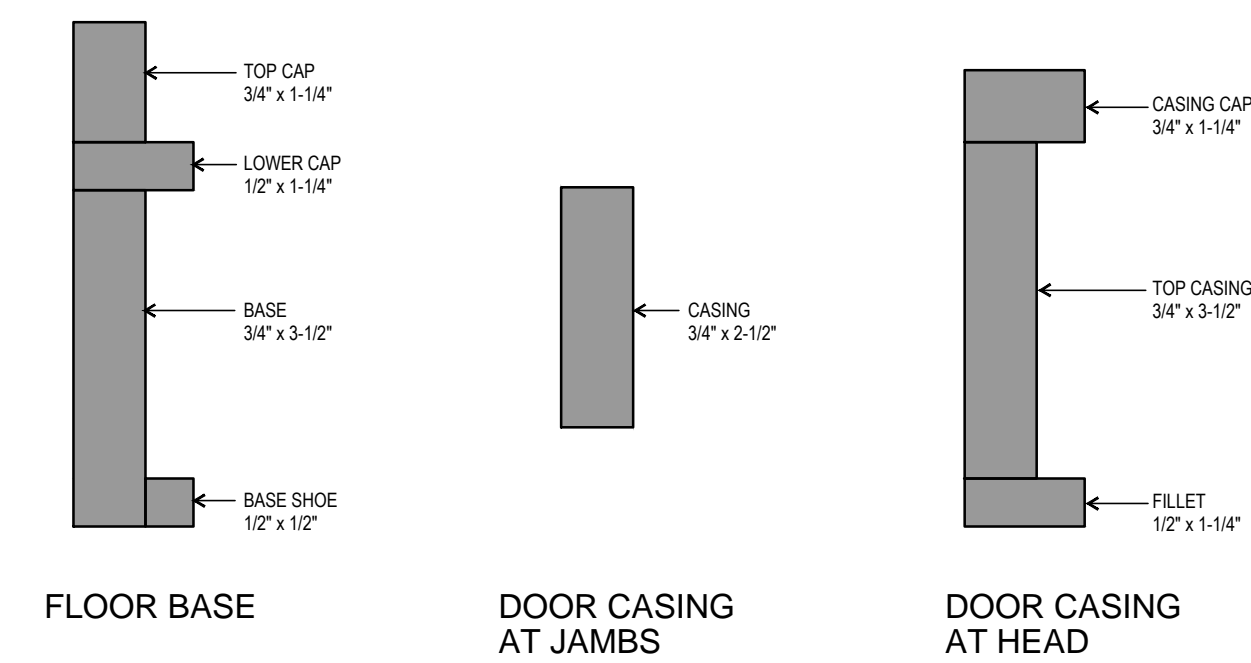
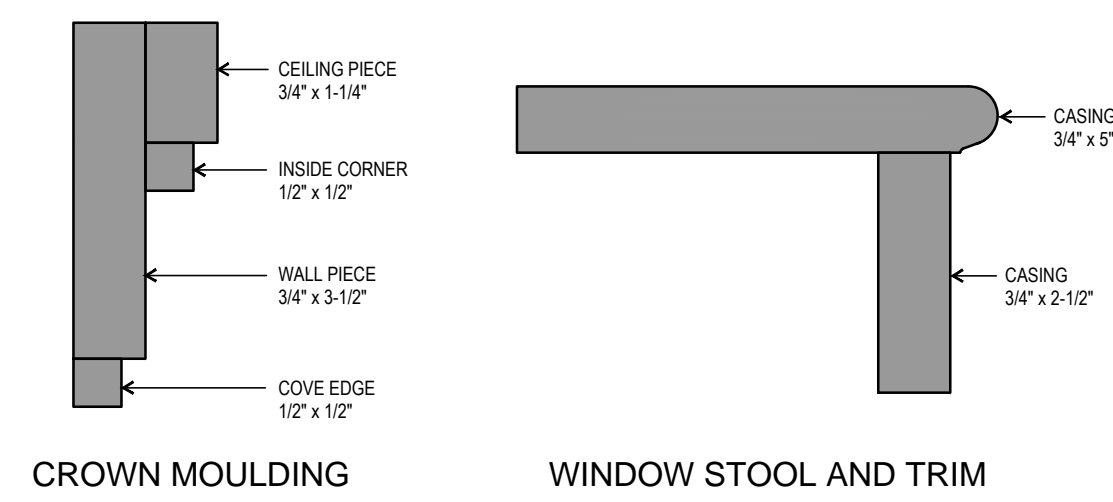
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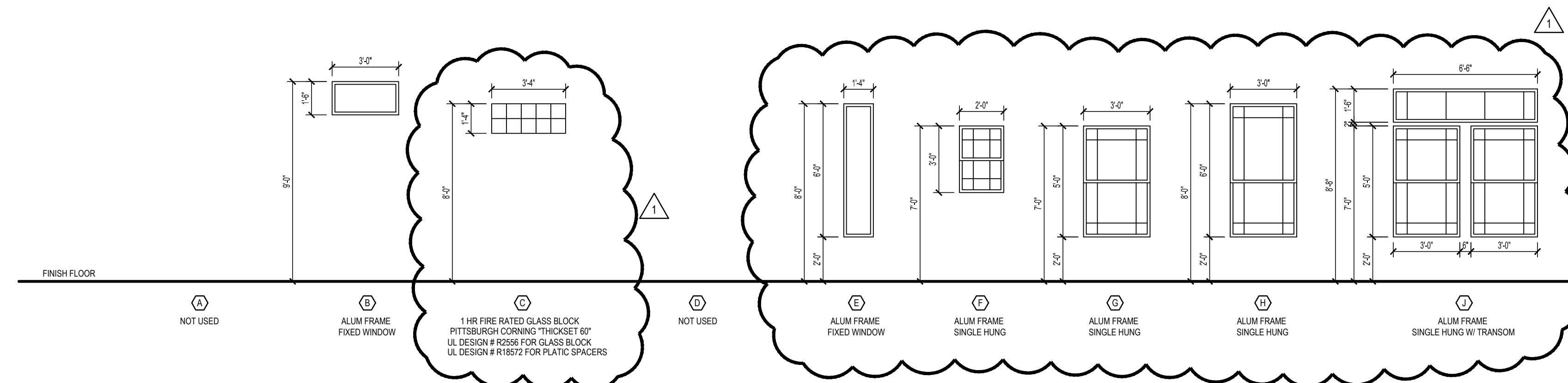
**DOOR & WINDOW TYPES
 TRIM PROFILES**

SHEET NO.:

A5.0



3 TRIM PROFILES
 SCALE: HALF SCALE



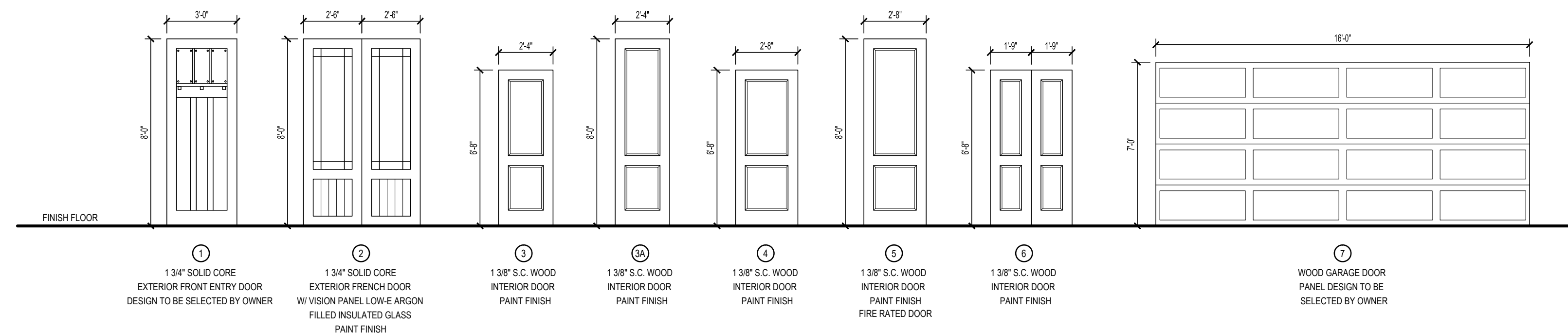
2 WINDOW TYPES
 SCALE: 1/4"=1'-0"

ALL WINDOWS SHALL MAINTAIN THE FOLLOWING EFFICIENCY REQUIREMENTS:

- GLAZING TO BE 11/16" ARGON-FILLED LOW-E IG WITH 2.5 MM GLASS WITH GRILLES BETWEEN THE GLASS
- MAXIMUM U-FACTOR = .34
- MAXIMUM SHGC = .31
- MAXIMUM AIR INFILTRATION = .3 CFMSQ FT

WINDOW NOTES

- FRAME COLOR TO BE SELECTED BY OWNER
- ALL WINDOWS TO HAVE INTERIOR GYPSUM HEAD AND JAMB RETURNS, & WOOD SILL REFER TO TRIM PROFILES



1 DOOR TYPES
 SCALE: 1/4"=1'-0"

ALL EXTERIOR DOORS SHALL MAINTAIN THE FOLLOWING EFFICIENCY REQUIREMENTS:

- MAXIMUM U-FACTOR = .35
- AIR INFILTRATION (SLIDERS) = .3 CFMSQ FT
- AIR INFILTRATION (SWINGING) = .5 CFMSQ FT