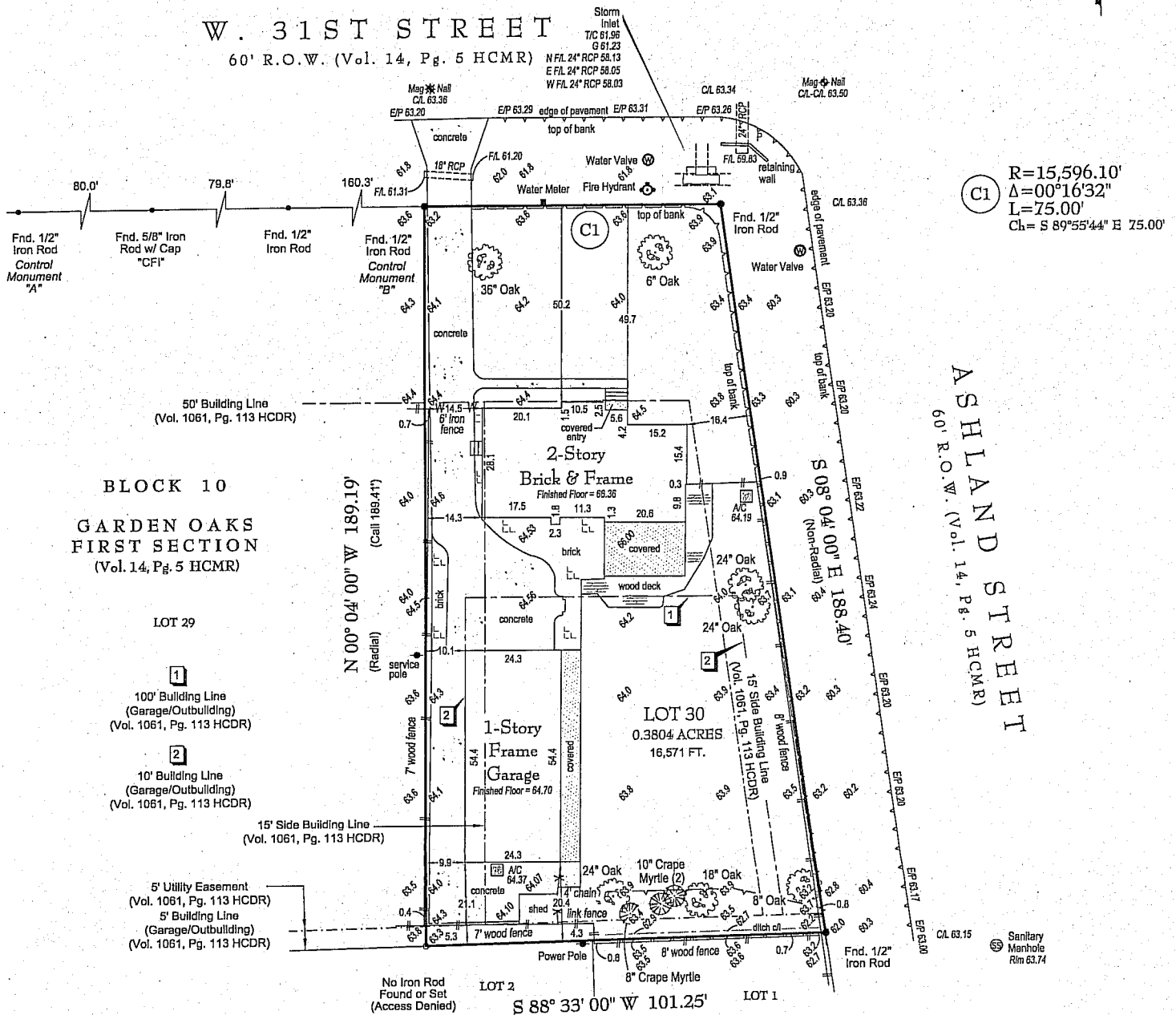


PROBSTFELD & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

515 PARK GROVE DRIVE, SUITE 102 ▲ KATY, TEXAS 77450 ▲ (281) 829-0034 ▲ FAX (281) 829-0233



(C1) R=15,596.10'
Δ=00°16'32"
L=75.00'
Ch = S 89°55'44" E 75.00'

NOTES:

- Fences do not follow boundary lines as shown above.
- Elevations shown are based on Harris County Floodplain Reference Marker No. 050058 Elevation = 61.87 NAVD88 (2001 adjustment).
- Surveyor has not abstracted this property. This survey has been prepared based upon information provided by the title company. No independent investigation of the accuracy of the title company's work has been performed by the surveyor. Zoning ordinances and zoning building setback lines (if any) are not shown.
- Surveyor has not reviewed restrictive covenants as set forth under Exceptions From Coverage in Schedule B of the Title Commitment.
- Garden Oaks First Section is a deed restricted community. Front, side and rear setback lines for residence and detached garage/outbuilding shown above as set forth under Harris County Clerk's File No. 1173098. Lot may be subject to certain requirements pertaining to front, side and rear setback lines and also architectural protrusions such as eaves, overhangs, ledges, etc., in relation to easements and/or building lines and should be verified prior to any planning or construction. Written approval by the Architectural Control Committee may be required.
- All bearings are based on the South right of way line of West 31st Street. (Control Monument A-B, Ch = N 89° 20' 43" E 320.1')

PLAT OF PROPERTY

FOR: **TIMOTHY J. PAINTER AND KAREN B. PAINTER**

AT: **403 WEST 31ST STREET - HOUSTON, TX**

LGL: **LOT 30, BLOCK 10**

GARDEN OAKS FIRST SECTION

VOLUME 14, PAGE 5 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS

SCALE: **1" = 30'**

DATE: **2/18/2018** REVISED DATE:

This Property DOES NOT Lie within the designated 100 year floodplain.

PANEL NO: **48201C 0660 M**

ZONE: **X** EFF. DATE: **6/9/14**

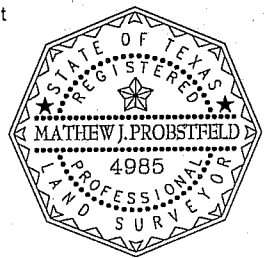
BASE FLOOD ELEVATION: **N/A**

LOCATED BY GRAPHIC PLOTTING ONLY AND NOT RESPONSIBLE FOR ACTUAL DETERMINATION.

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT PROVIDED BY: OLD REPUBLIC TITLE COMPANY

GF#: **18000401 (1/15/2018)**

I hereby certify that the above plat correctly represents the facts found at the time of the survey made on the ground, under my supervision, and there are no apparent encroachments at the time of this survey, unless shown or noted otherwise.



MATHEW J. PROBSTFELD
Registered Professional Land Surveyor
State of Texas No. 4985
PROBSTFELD & ASSOCIATES, INC • FIRM #10066100

JOB # **2839-003** DRAWN BY: **AAS**

THIS SURVEY IS THE PROPERTY OF PROBSTFELD & ASSOCIATES, INC., IS CERTIFIED FOR THIS TRANSACTION ONLY, AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR OWNERS.