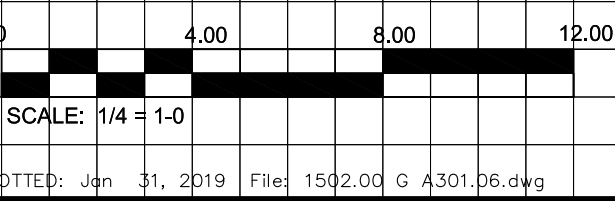


**Revisions**

No.	IOC	Date	Description
			ISSUE FOR PRICING
			ISSUE FOR PERMIT
			ISSUE FOR CONSTRUCTION



**MARINA WAY RESIDENTIAL**

MARINA WAY DRIVE  
LEAGUE CITY, TEXAS

**1502**

Sheet Date: 01/22/16

**FLOOR PLANS  
UNIT TYPE G**

Sheet No.:

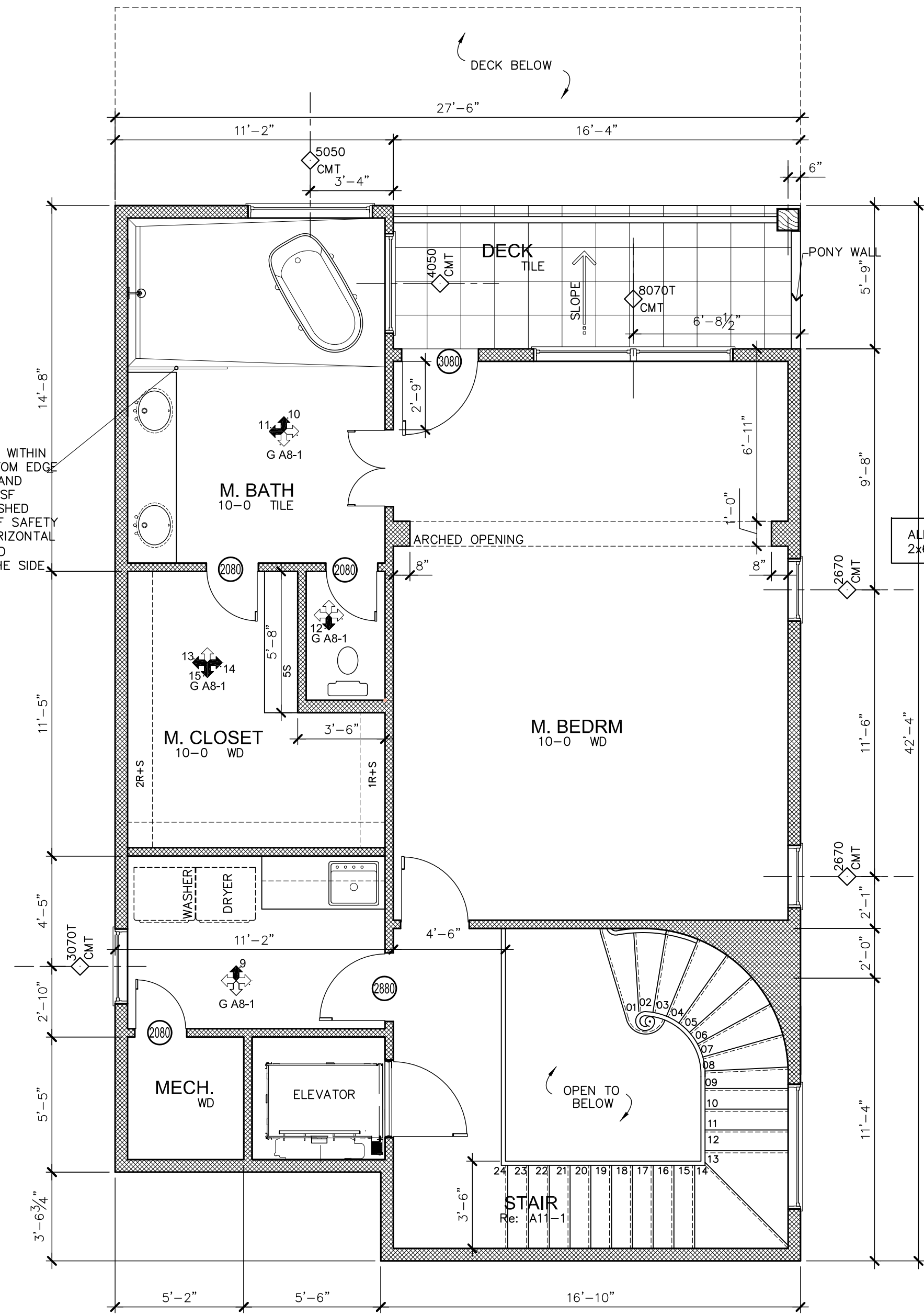
**G A3-1**

Drawn By: Project Manager Project Arch  
JM BK

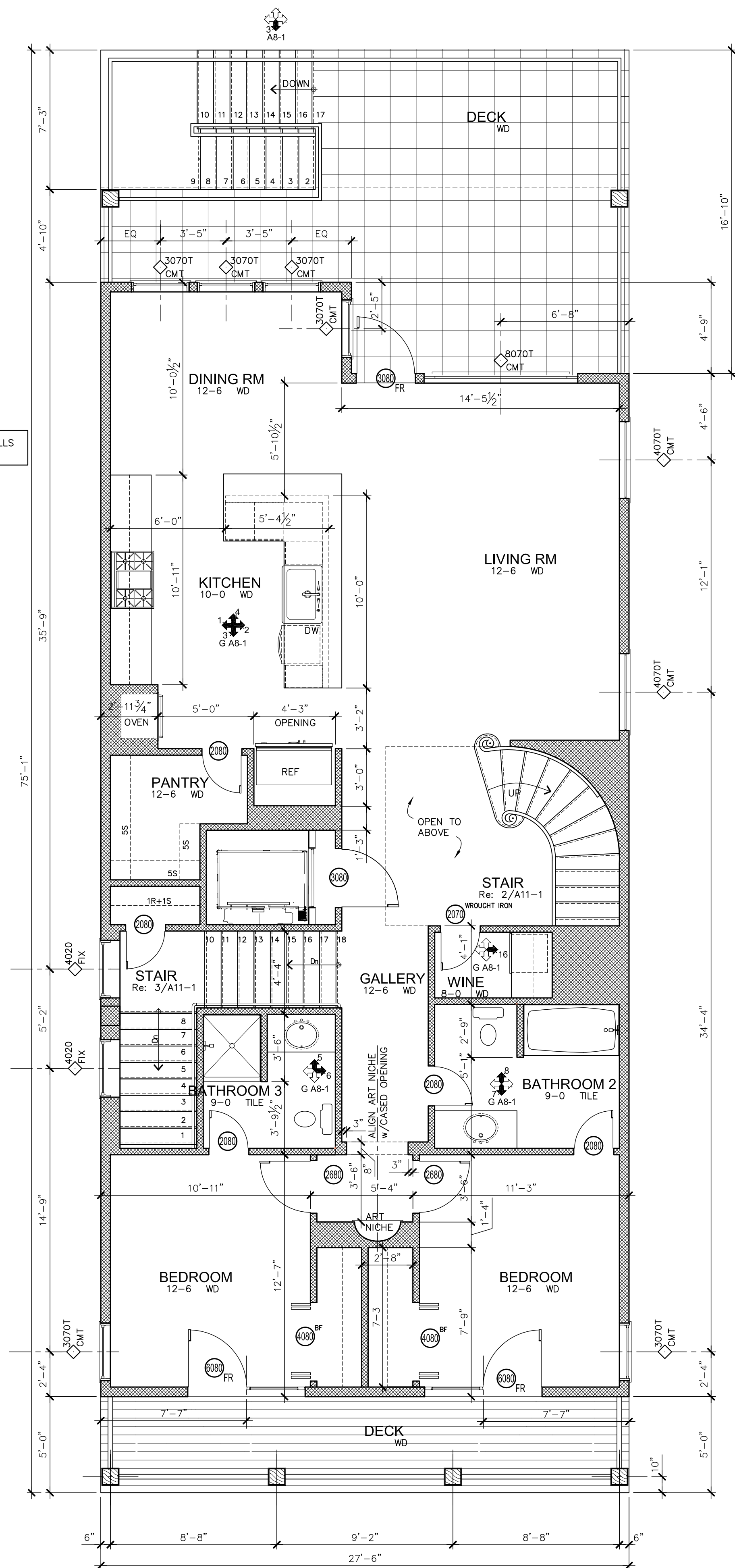
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**NOTE SAFETY GLAZING**

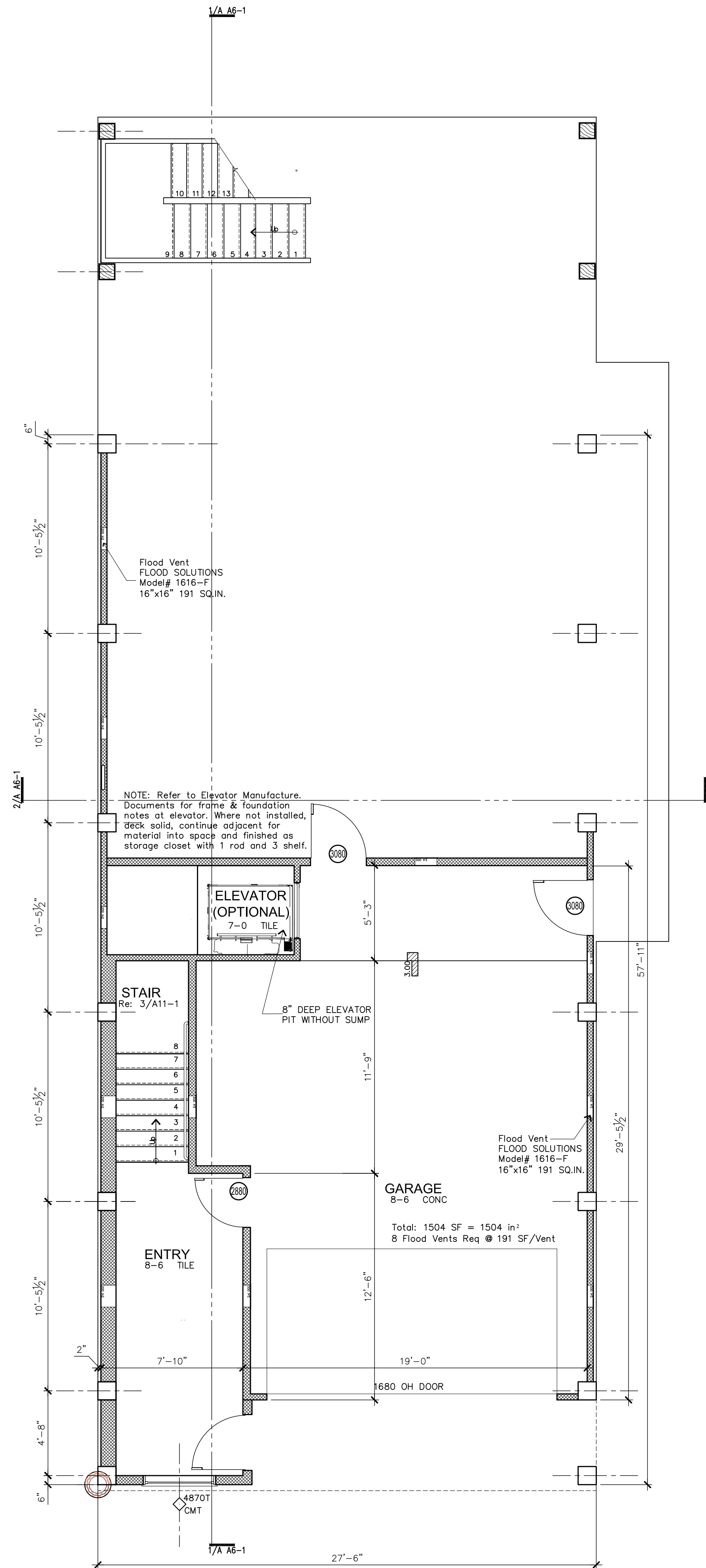
SAFETY GLAZING (TEMPERED) SHALL BE IN ALL DOORS, AREAS WITHIN 12 INCHES OF A DOOR IN A CLOSED POSITION and WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FINISH FLOOR, SHOWER AND BATH TUB ENCLOSURES, and GLAZED AREAS IN EXCESS OF 9 SF WHOSE LOWEST EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR OR WITHIN 36 INCHES OF WALKING SURFACE. IN LIEU OF SAFETY GLAZING, SUCH GLAZED PANELS MAY BE PROTECTED WITH A HORIZONTAL MEMBER NOT LESS THAN 1 1/2 INCHES IN WIDTH WHEN LOCATED BETWEEN 34 & 38 INCHES ABOVE THE WALKING SURFACE TO THE SIDE OF GLAZING HAVING ACCESS THERETO



**3 FLOOR PLAN**  
SECOND FLOOR 1/4 = 1-0



**2 FLOOR PLAN**  
FIRST FLOOR 1/4 = 1-0



**1 FLOOR PLAN**  
GROUND FLOOR 1/4 = 1-0

**NOTE Exterior Doors and Windows**

**Windstorm**  
Exterior Doors and Window products shall have approval from the Texas Department of Insurance for compliance with the design wind load criteria in Chapter 3 of the IRC, Section 1609 of the IBC, and other requirements as outlined in the Texas Department of Insurance's Windstorm Resistant Construction Guide, current edition, including impact resistance requirements for windborne debris. The design loads determined for the building or structure shall not exceed the design load rating specified for the products shown in the limitations section of the product evaluation.  
Products shall be installed in accordance with the manufacturer's installation instructions and the Texas Department of Insurance product evaluation.

**IECC**  
Products shall meet the minimum requirements of the IECC Compliance Guide for this Project's location.

**Window Criteria:**  
1" Insulating Glass, with 1/2 air space with the following minimum values:  
Solar Heat Gain Coefficient (SHGC): 0.27  
U-factor: 0.35 Btu/h2-hr-ft<sup>2</sup>

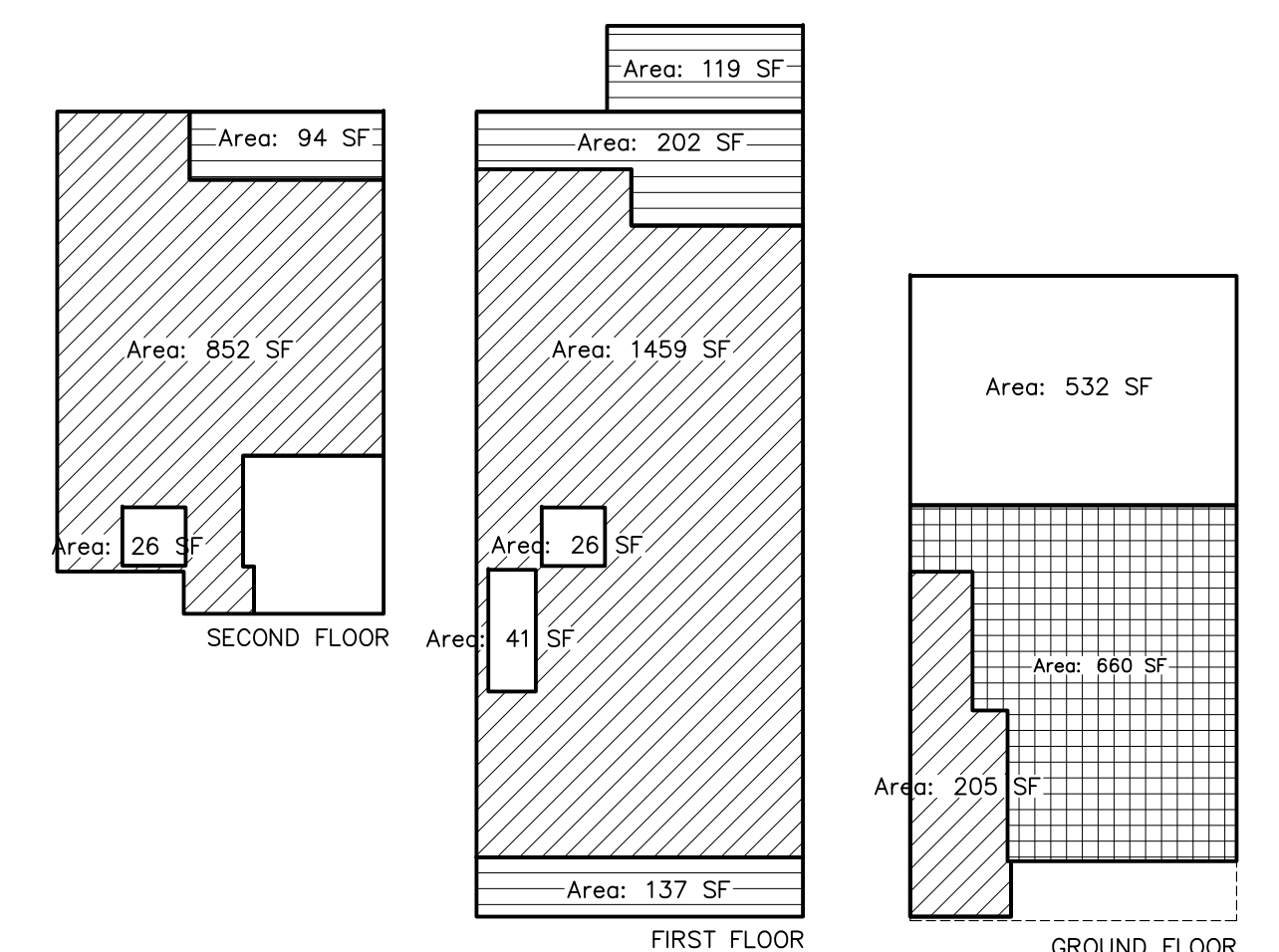
**Door Criteria:**  
1" Insulating Glass, with 1/2 air space with the following minimum values:  
Solar Heat Gain Coefficient (SHGC): 0.27  
U-factor: 0.32 Btu/h2-hr-ft<sup>2</sup>

**NOTE RESIDENTIAL FRAMING NOTES:**

- ALL INTERIOR DRYWALL PARTITIONS SHALL BE 2x4 FRAME with 1/2 GYP BD Unless Noted Otherwise (UNO).
- GYPSUM WALLBOARD SHALL COMPLY with ASTM C36 WALLBOARD TAPE & JOINT COMPOUND SHALL COMPLY with ASTM C475. INSTALLATION OF WALLBOARD SHALL COMPLY with ASTM C840. THE RECOMMENDATIONS OF THE GYPSUM ASSOCIATION and SPECIFIC RECOMMENDATIONS OF THE MANUFACTURER or TESTING AGENCY.
- ALL WET WALLS or WALLS TO RECEIVE TILE SHALL BE Durock Cementitious Backer Board or Approved Equal.
- PROVIDE PLYWD BLOCKING as REQUIRED at ALL FF&E LOCATIONS or as NOTED.
- ALL DIMENSIONS FOR PARTITION LOCATIONS ARE TO FACE OF STUD, CMU BLOCK OR CENTER LINE OF COLUMNS.
- ALL PLUMBING WALLS BEHIND WATER CLOSETS TO BE 2x6 STUD FRAME UNO.
- ALL INTERIOR WALLS DESIGNATED TO RECEIVE TOILET ACCESSORIES OR OTHER ITEMS DESIGNATED TO BE INSERTED WITHIN THE WALL CAVITY SHALL HAVE A MINIMUM THICKNESS REQUIRED TO ACCOMMODATE THE ITEM. THIS THICKNESS SHALL BE FOR THE ENTIRE WALL LENGTH. NOTIFY ARCHITECT OF ANY CONFLICT.
- WEATHERSTRIP ALL OPENINGS BETWEEN CONDITIONED and NON-CONDITIONED SPACES.
- ALL EXTERIOR FLOOR AREAS SHALL BE CONSTRUCTED SUCH THAT THERE IS NO STANDING WATER. THE MINIMUM SLOPE SHALL BE 1:50 (1/8" per FT) UNO.
- FIRST FLOOR WALLS EXTENDING BELOW BFE SHALL BE FRAMED PER FEMA FRAMING GUIDELINES FOR BREAKAWAY WALLS.

Single Story Residence	SQUARE FEET
A: TOTAL LIVING (CONDITIONED) AREA	2516
B: TOTAL COVERED DECKS/PATIOS	433
TOTAL FRAME AREA (A+B)	2949
C: TOTAL UNCOVERED DECKS/PATIOS	119
TOTAL FOUNDATION AREA (A+B+C)	3068
GARAGE AREA	660

\*DOES NOT INCLUDE BONUS ROOM



**4 AREAS**  
APPROXIMATE

**ELECTRICAL SYMBOL SCHEDULE**

HOME RUN TO PANEL, CIRCUIT NUMBERS, PHASE, NEUTRAL AND GROUND CONDUCTORS INDICATED. ALL CONDUCTORS TO BE #12 COPPER EXCEPT WHERE NOTED.

CONDUIT INSTALLED CONCEALED ABOVE CEILING OR IN WALL

CONDUIT INSTALLED CONCEALED BELOW FLOOR SLAB OR UNDERGROUND.

DIRECT CURRENT WIRING, 2#12 IN 1/2" CONDUIT.

SINGLE POLE SWITCH, 20A, +3"-10" OR AS NOTED.

Three Way SWITCH, 20A, +3"-10" AFF

Dimmer - 2000 WATT UNO, LUTRON #N-2000

Florescent Dimmer - 2000 WATT UNO, LUTRON #NFB-2

Key Operated

Water Proof

SINGLE RECEPTACLE: NEMA 5-20R, +18" UNO

DOUBLE DUPLEX RECEPTACLE: 5-20R, +18" AFF UNO

Isolated Ground

EMERGENCY CIRCUIT

DUPLEX RECEPTACLE: NEMA 5-20R, +18" UNO

Mount 8 inches above Counter Tops UNO

Water Proof

Height above Floor to Center Line of Fixture Box

Ground Fault Interrupter

Isolated Ground Type

One Switched / Balance Unswitched

Tamper Proof

with Dual USB Charging Ports

Box around Receptacle indicates FLUSH FLOOR MOUNTED

JUNCTION BOX

DISCONNECT SWITCH, NON-FUSIBLE, 30A-3P UNO

DISCONNECT SWITCH FURNISHED WITH EQUIPMENT (INSTALLED BY ELEC. CONT.)

MOTOR CONNECTION

120/240V, 1A, 3 WIRE, 42 CRT - SET TOP 6-0 AFF

TRANSFORMER

PUSHBUTTON

CEILING MOUNTED SOUND SYSTEM SPEAKER

SOUND SYSTEM VOLUME CONTROL

SMOKE/CO2 DETECTOR, 110V with Battery Backup (Non-wired and inter-connected with Battery Backup)

DUPLEX TV OUTLET IN WALL, ONE R/6 COAXIAL F-CONNECTOR ONE RJ45 OUTLET AT SCHED TV MOUNTING HT. PROVIDE HDMI LOOP & DUPLEX RECEPTACLE at +18 & 72 WHERE WALL MOUNT TV SCHEDULED.

DUPLEX RJ45 DATA OUTLET, +18" AFF / +8" ABOVE COUNTER OR AS NOTED W/ 3/4" CONDUIT TO ABOVE CEILING.

DUPLEX RJ45 TELECOMMUNICATIONS OUTLET, +18" AFF / +8" ABOVE COUNTER OR AS NOTED W/ 3/4" CONDUIT TO ABOVE CEILING.

DUPLEX RJ45 DATA/TELECOM OUTLET, +18" AFF / +8" ABOVE COUNTER OR AS NOTED W/ 3/4" CONDUIT TO ABOVE CEILING.

INTERCOM

PHOTOELECTRIC CELL

Tank #2001 (2000 Watt, 120V, 1/2 conduit mount with swivel) Mount photo cell on Roof with sensing element facing North.

THERMOSTAT OUTLET, 48 AFF WITH 7 DAY CONTROL, SELECT BY OWNER.

(Slash Indicates Emergency and/or Night Light)

2x4 CEILING FLOURESCENT LIGHTING FIXTURE

2x2 CEILING FLOURESCENT LIGHTING FIXTURE

1x4 CEILING FLOURESCENT LIGHTING FIXTURE

UNDERCOUNTER LIGHT FIXTURE

SURFACE MOUNTED INCANDESCENT or HID LIGHTING FIXTURE

WALL BRACKET INCANDESCENT or HID LIGHTING FIXTURE

WALL BRACKET INCANDESCENT or HID LIGHTING SCENCE

LV (LOW VOLTAGE WHERE INDICATED)

RECESSED INCANDESCENT, HID or COMPACT FLOURESCENT DOWNLIGHTING

DIRECTIONAL INCANDESCENT LIGHTING

WALL WASH INCANDESCENT

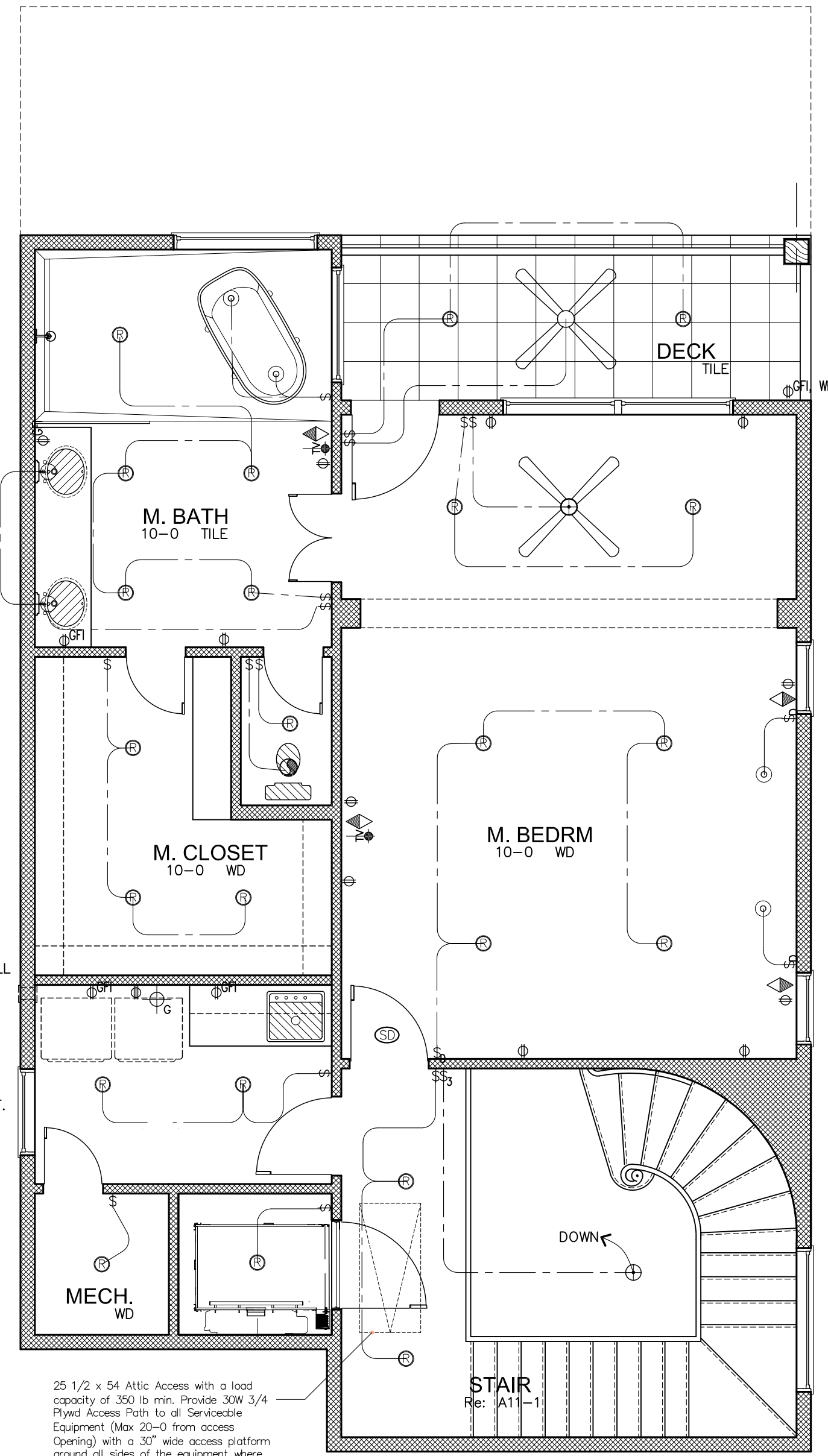
PIN LIGHT LOW VOLTAGE

ACCENT INCANDESCENT FIXTURE

ADJUSTABLE SLOT INCANDESCENT FIXTURE

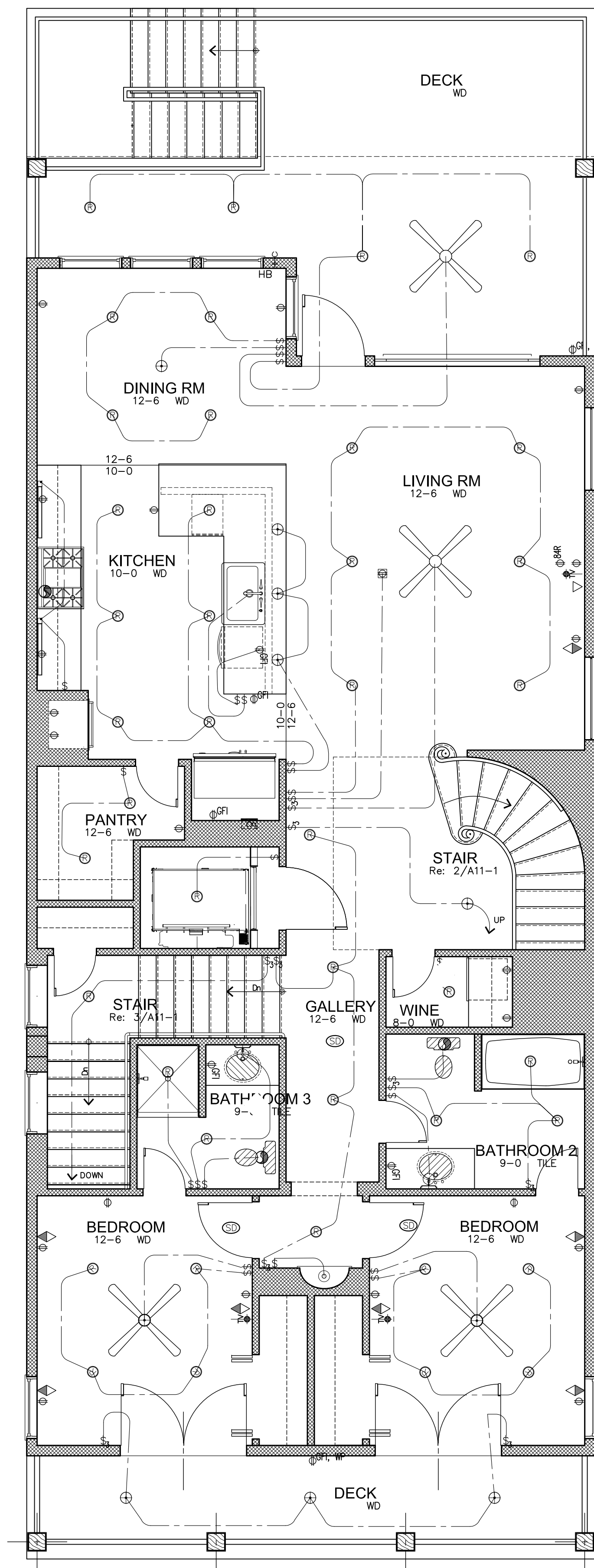
EMERGENCY BATTERY POWER LIGHT

WALL MOUNT FLOOD LIGHT



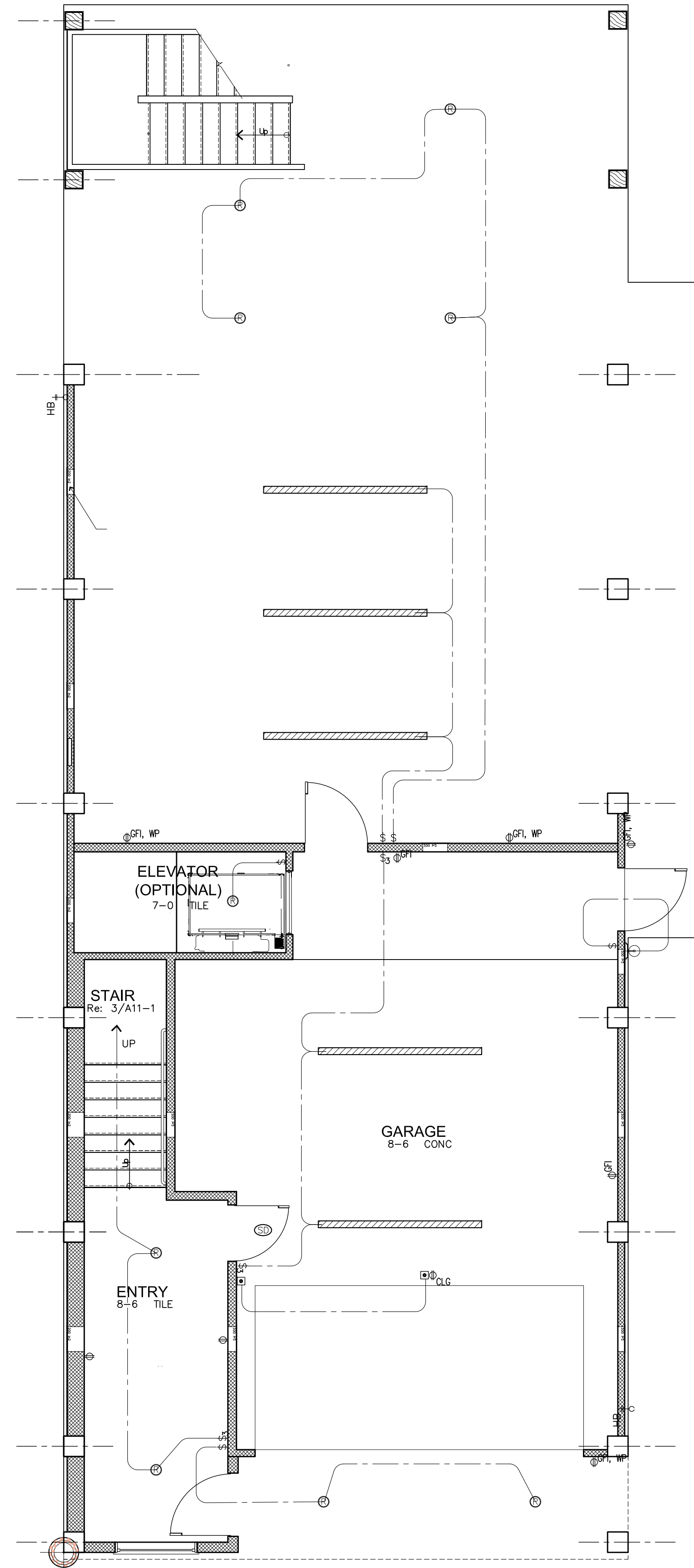
**3 LIGHTING PLAN**  
SECOND FLOOR

1/4" = 1'-0"



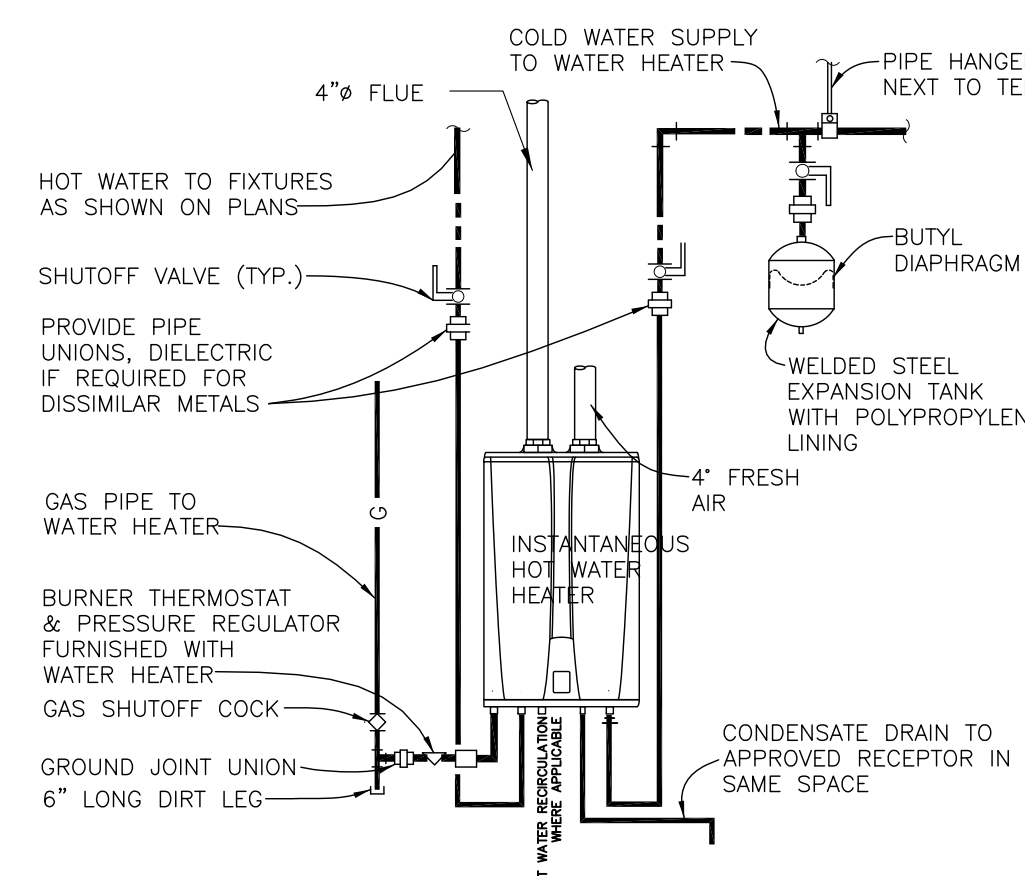
**2 LIGHTING PLAN**  
FIRST FLOOR

1/4" = 1'-0"



**1 LIGHTING PLAN**  
GROUND FLOOR

1/4" = 1'-0"



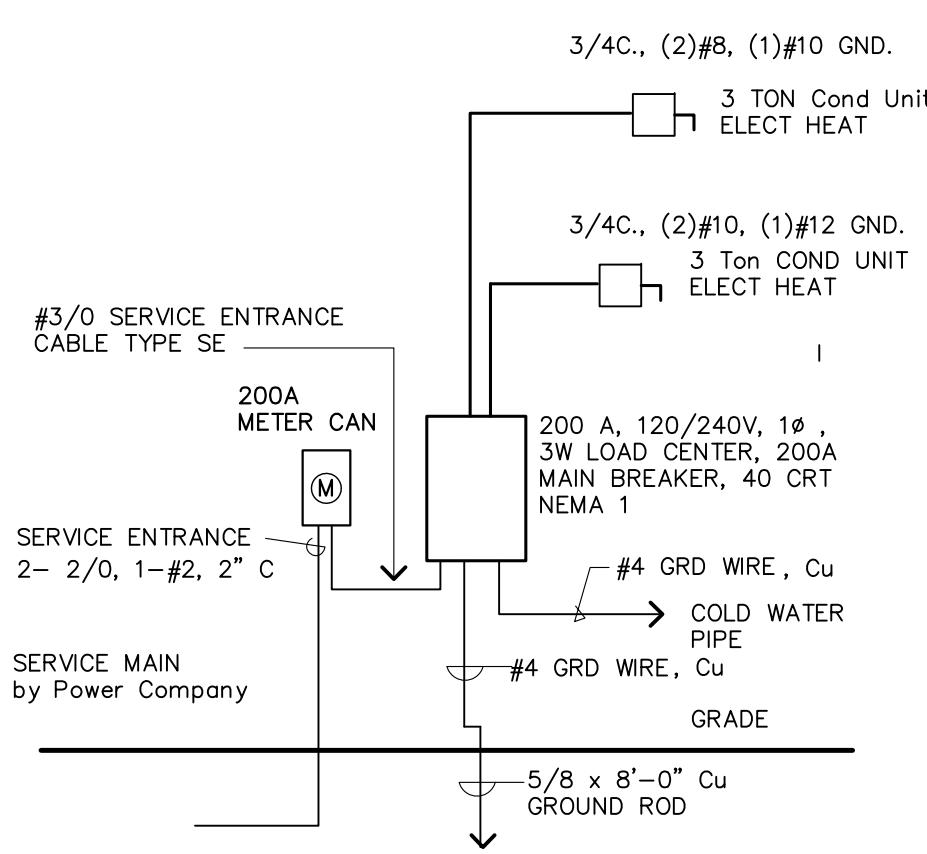
1. WATER HEATER AND DOMESTIC WATER PIPING SHALL COMPLY WITH SECTION 804 IN THE CURRENT EDITION OF THE INTERNATIONAL ENERGY COMMISSION CODE (IECC).
2. WATER HEATER MEETS THE REQUIREMENTS OF TABLE 504.2, CURRENT EDITION IECC.
3. PROVIDE CONTROLS TO ALLOW A SET POINT OF 90°F.
4. INSULATE ALL WATER PIPING IN ACCORDANCE WITH TABLE 504.5 OF THE IECC.
5. PROVIDE TIME SWITCHES THAT ARE CAPABLE OF BEING SET TO TURN OFF THE SYSTEM.
6. WATER HEATER SHALL BE CERTIFIED BY NAECA.

REFER TO SPECIFICATIONS AND PLUMBING FIXTURE SCHEDULE. SET HEATER THERMOSTAT AT 120°F. PROVIDE WIND STRAP OR BRACING PER LOCAL AUTHORITIES. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION PROCEDURE. VERIFY PROPER OPERATION WHEN INSTALLED.

**4 DETAIL**

INSTANTANEOUS WATER HEATER

NTS



CONDUIT SPEC: SCHED 40 BELOW GRADE SCHED 80 ABOVE GRADE

PROVIDE RATED N.F. DISCONNECT SWITCH AT EACH A/C UNIT

**MECHANICAL GENERAL NOTES:**

1. THE CONTRACTOR SHALL INSTALL A COMPLETE DESIGN/BUILT WORKABLE HVAC SYSTEM IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE ATTACHED PLANS AND SPECIFICATIONS AND AS APPROVED BY THE OWNER. THE FOLLOWING LISTED REQUIREMENTS, MATERIALS AND EQUIPMENT ARE THE MINIMUM STANDARDS OF QUALITY, CAPACITY, AND WORKMANSHIP. THIS CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF THE IRC, AND ALL APPLICABLE LOCAL AND STATE CODES. OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED TO PERFORM THIS WORK. ALL MATERIALS SHALL BE NEW AND UNDAMAGED.
2. ALL EQUIPMENT SHALL BE U.L. LISTED AND/OR APPROVED BY THE AUTHORITY HAVING JURISDICTION OVER SUCH EQUIPMENT; AND SHALL BE WARRANTED BY THIS CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. MANUFACTURER WARRANTIES SHALL BE INDUSTRY STANDARD.
3. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES AND WITH ANY EXISTING OBSTACLE CONDITIONS PRIOR TO THE INSTALLATION AND/OR FABRICATION OF ANY MATERIALS OR EQUIPMENT. LOCATE ALL ITEMS TO PROVIDE ADEQUATE CLEARANCE FOR ARCHITECTURAL DESIGN AND TO PROVIDE PROPER OPERATION AND SERVICE FOR ALL EQUIPMENT.
4. DUCTWORK SHALL BE AS APPROVED BY BUILDING OFFICIAL.
5. THE SYSTEM SHALL INCLUDE 7-DAY PROGRAMMABLE THERMOSTATS FOR EACH ZONE.

**PLUMBING GENERAL NOTE**

THE WORK includes providing the plumbing system and providing new materials, fittings and accessories necessary for a complete functioning plumbing system. The work also includes final connections to food service equipment and beverage dispensing equipment provided by others. All work shall be in accordance with local codes and/or ordinances and is subject to inspection.

HOOK-UP CHARGES, permits and all other expenses related to a complete and functioning plumbing system are included as a part of this Section.

COORDINATE with the Work of other Sections, and make all connections to Food Service Equipment drawings for additional information regarding equipment and casework, and electrical connections required therein.

**ELECTRICAL GENERAL NOTE**

THE WORK is the installation of the complete electrical system as shown and specified on the drawings. The work also includes final connections to Equipment items provided by others. All Work shall be in accordance with local codes and/or ordinances and subject to inspection.

COORDINATE with the Work of other Sections, and make all connections to equipment furnished by others. Refer to Architectural Equipment drawings for additional information regarding equipment and casework, and electrical connections required therein.

**FLOOD PLANE GENERAL NOTE**

All Mechanical, Electrical and Plumbing to be located at or above base flood elevation or be equipped with protective measures.



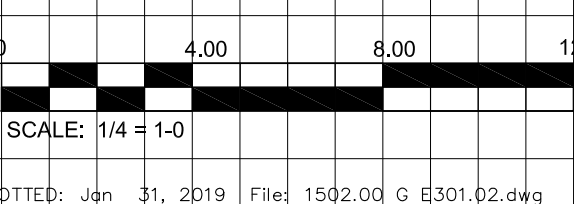
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**Revisions**

No.	IOC	Date	Description
			ISSUE FOR PERING
			ISSUE FOR PERMIT
			ISSUE FOR CONSTRUCTION



SCALE: 1/4" = 1'-0"

PLOTTED: Jun 31, 2019 1:44:15 PM 1562.00 0.0001.02.44g

**MARINA WAY RESIDENTIAL**

MARINA WAY DRIVE  
LEAGUE CITY, TEXAS

1502  
Sheet Date: 01/22/16

Sheet Title:  
**LIGHTING PLAN**  
**UNIT TYPE A**

Sheet No.:

**A E3-1**

Drawn By: Project Manager Project Arch

JM BK JBK

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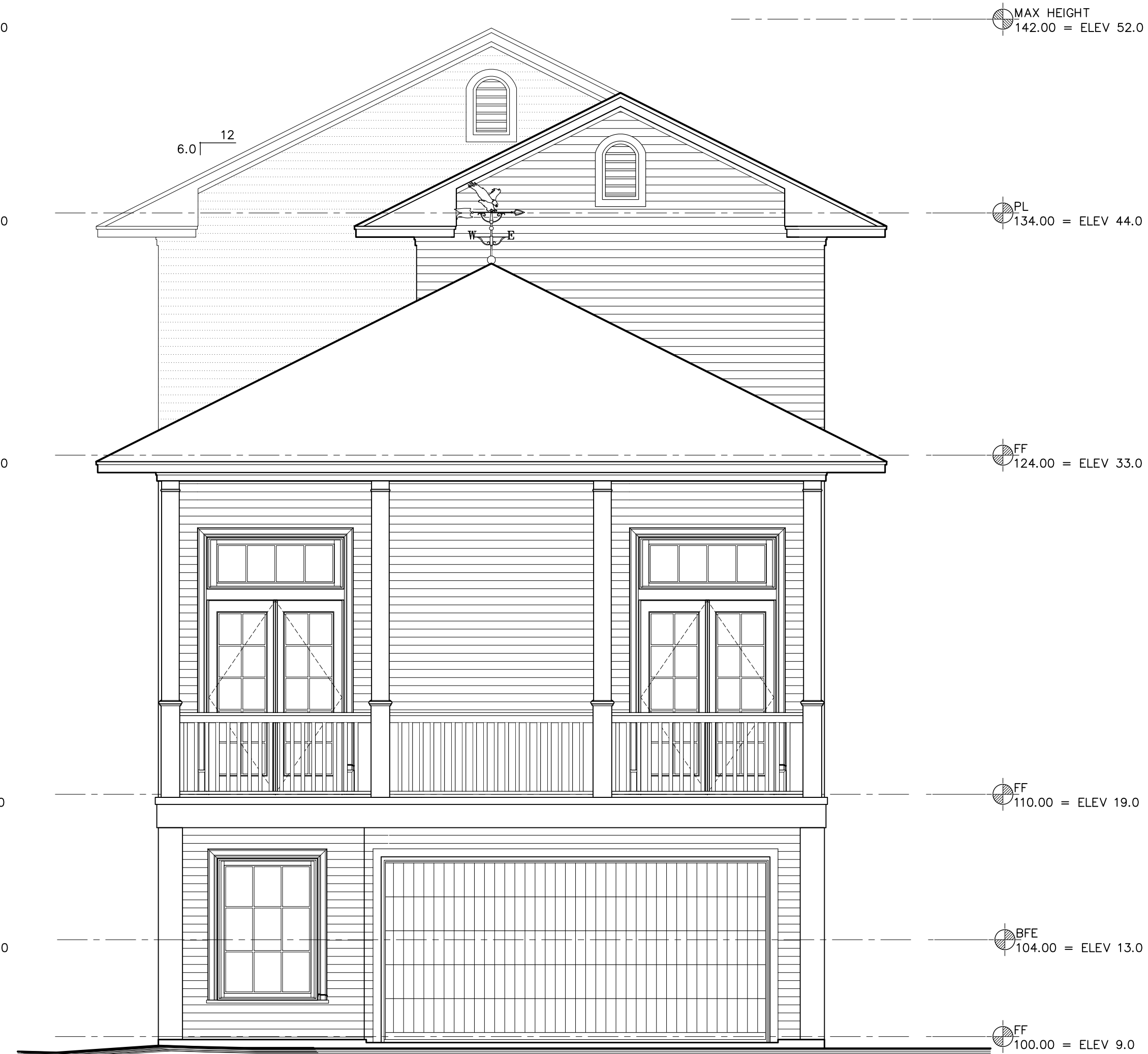
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**Revisions**

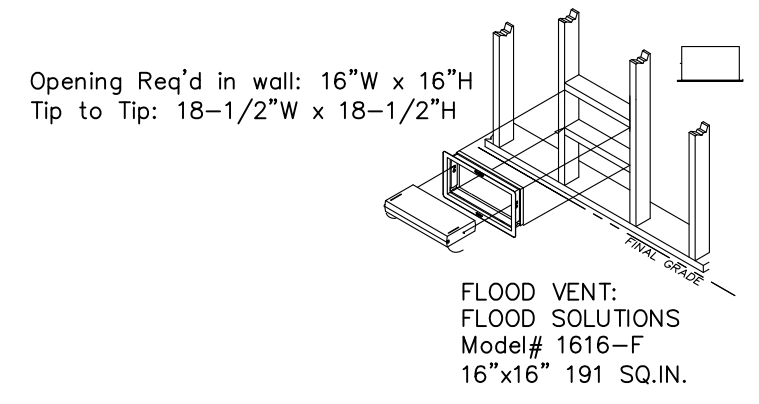
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03/10/15			ISSUE FOR PRICING
01/22/16			ISSUE FOR PERMIT
01/22/16			ISSUE FOR CONSTRUCTION



**2 EXTERIOR ELEVATION**  
EAST WALL 1/4 = 1-0



**1 EXTERIOR ELEVATION**  
SOUTH WALL 1/4 = 1-0



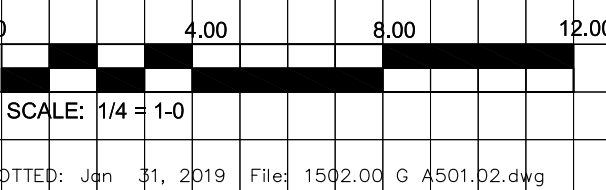
**Flood Vent Detail**  
NTS



**4 EXTERIOR ELEVATION**  
WEST WALL 1/4 = 1-0



**3 EXTERIOR ELEVATION**  
NORTH WALL 1/4 = 1-0



**MARINA WAY RESIDENTIAL**

MARINA WAY DRIVE  
LEAGUE CITY, TEXAS

**1502**

Sheet Date: 01/22/16

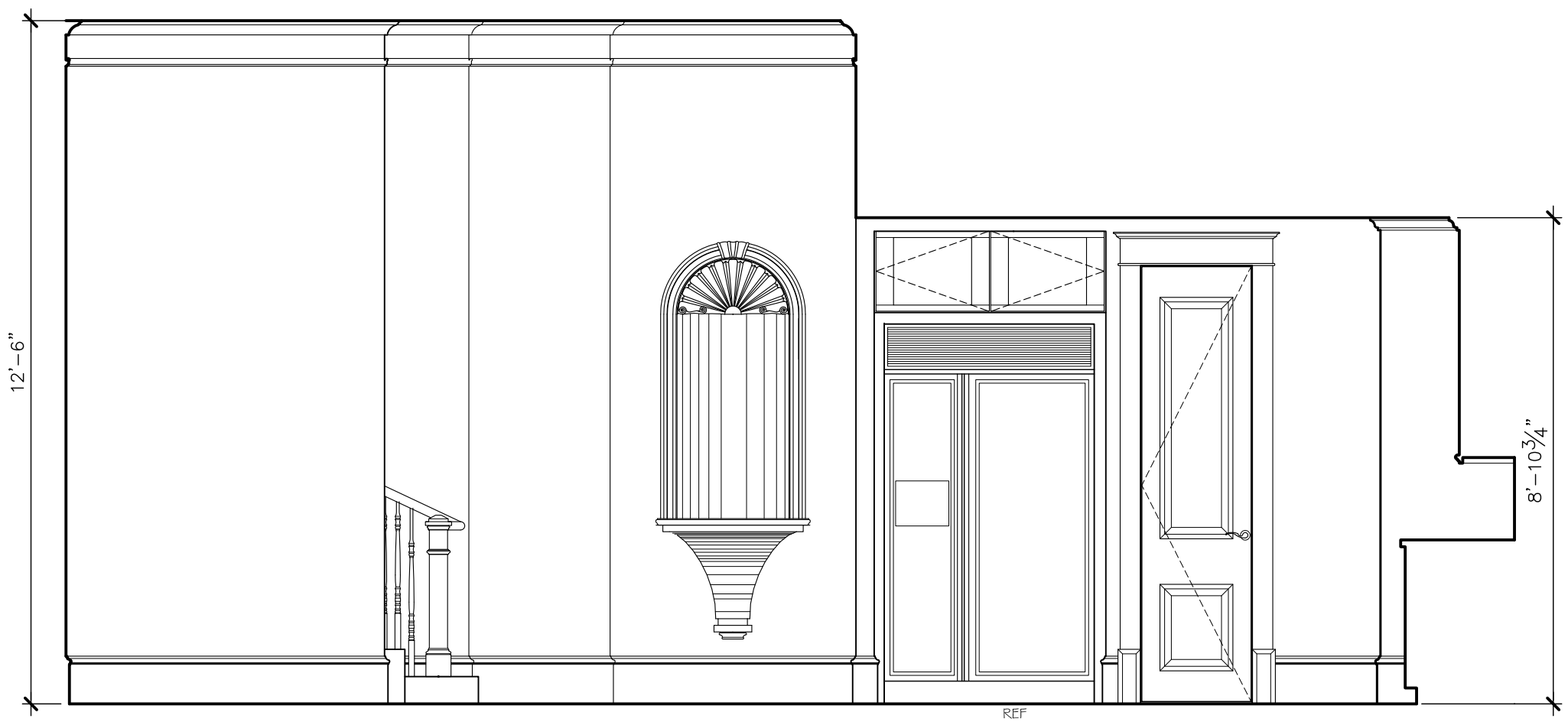
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**EXTERIOR ELAVATIONS  
UNIT TYPE G**

Sheet No.:

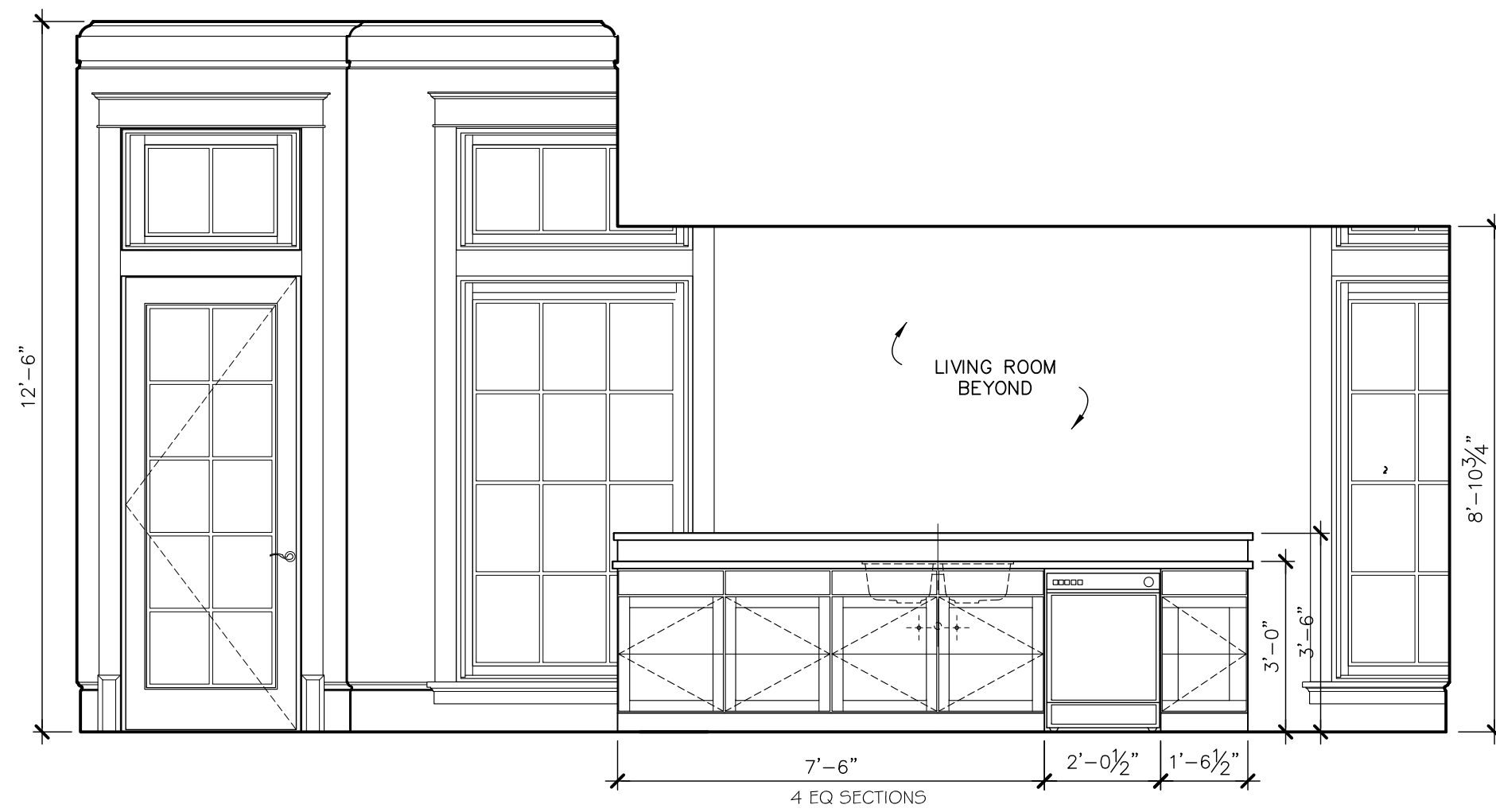
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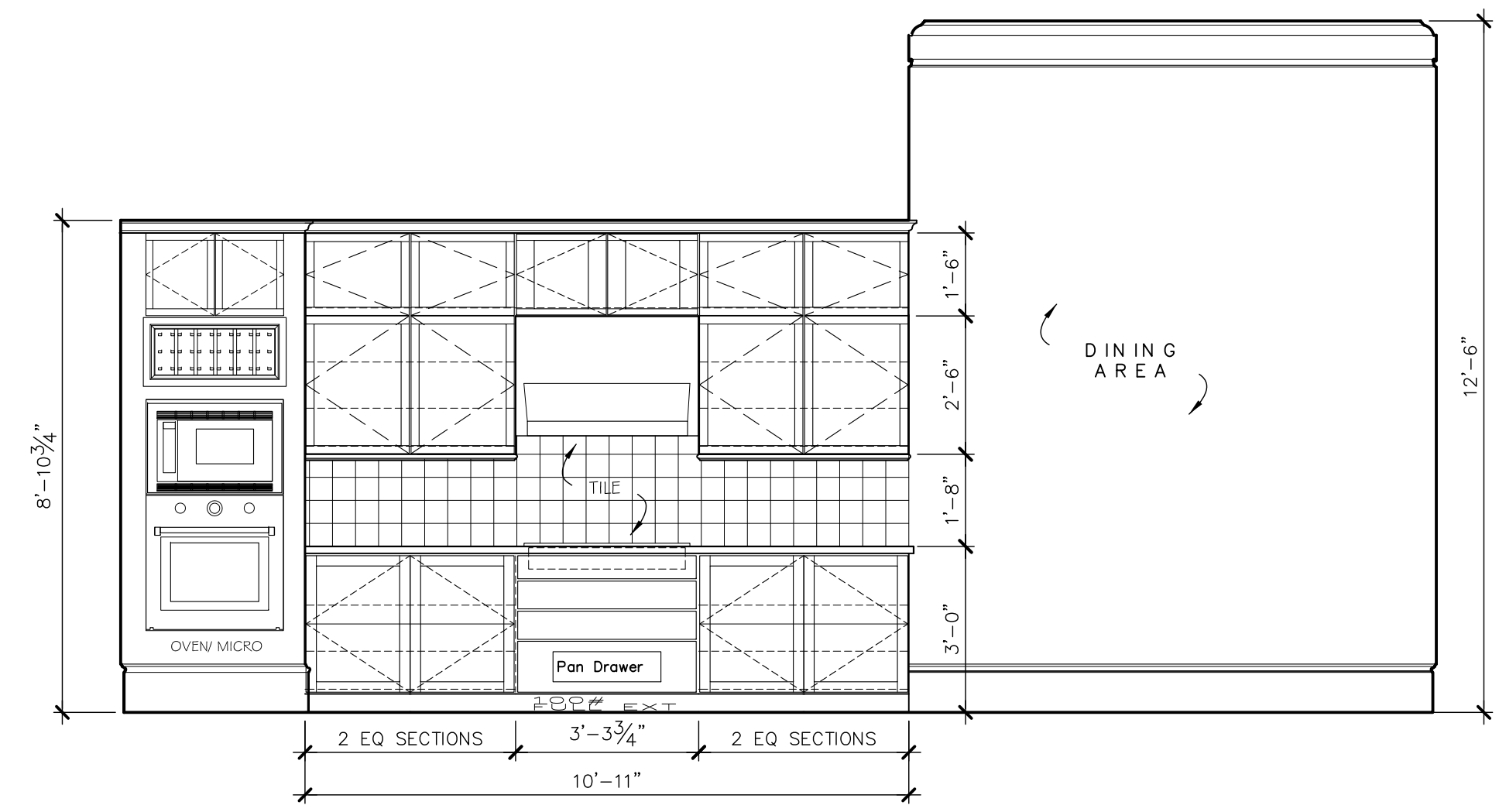
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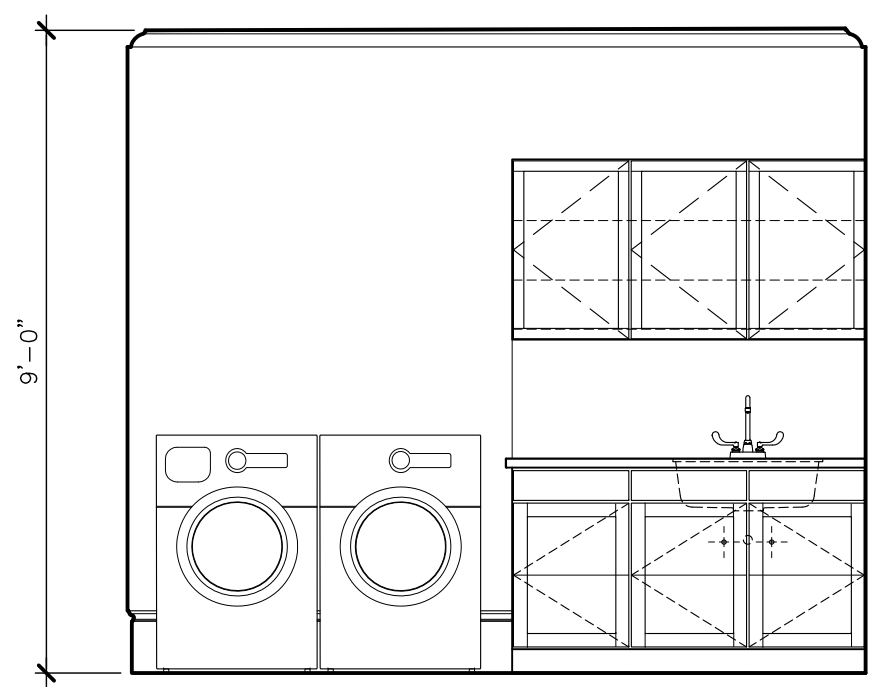
**3 INTERIOR ELEVATION**  
KITCHEN 3/8 = 1-0



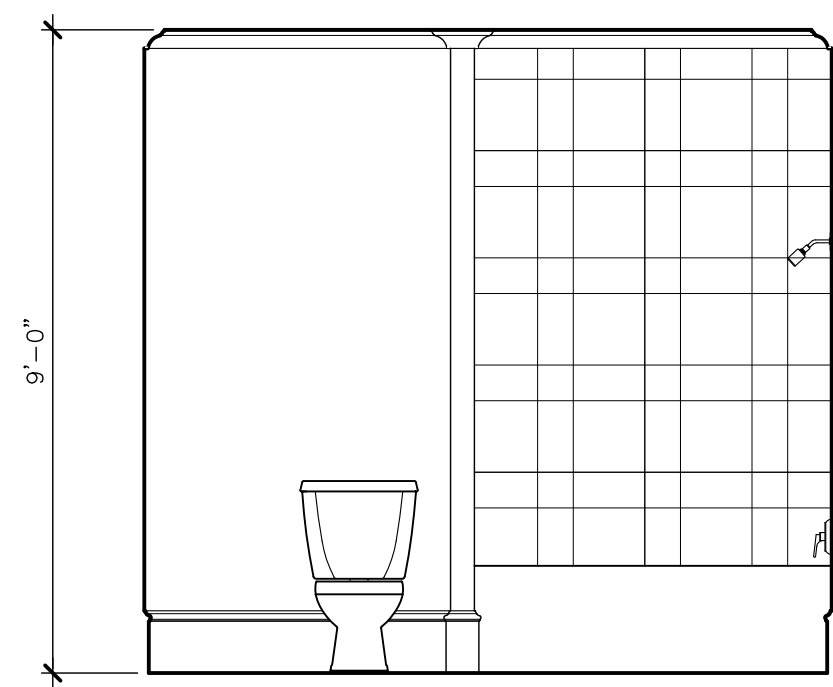
**2 INTERIOR ELEVATION**  
KITCHEN 3/8 = 1-0



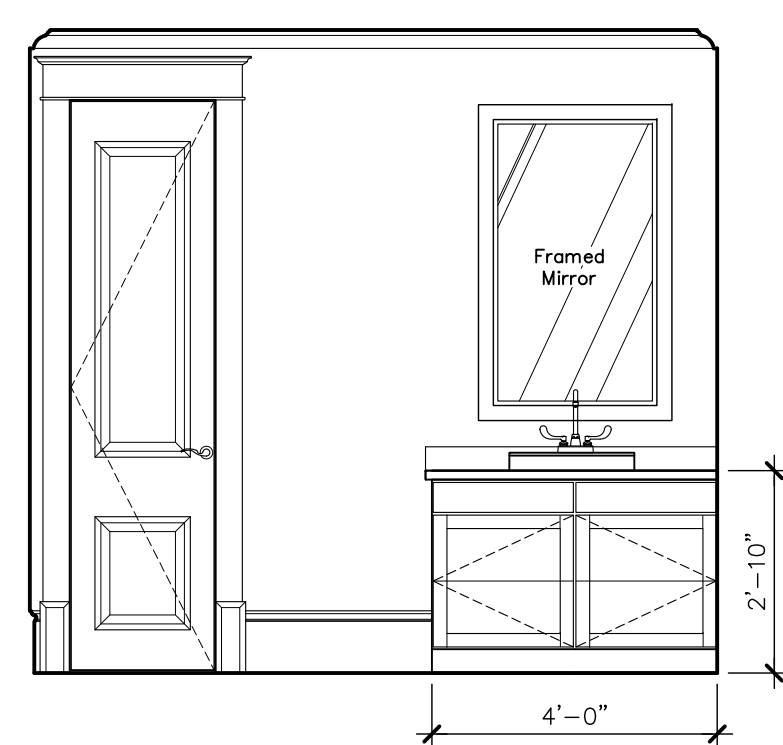
**1 INTERIOR ELEVATION**  
KITCHEN 3/8 = 1-0



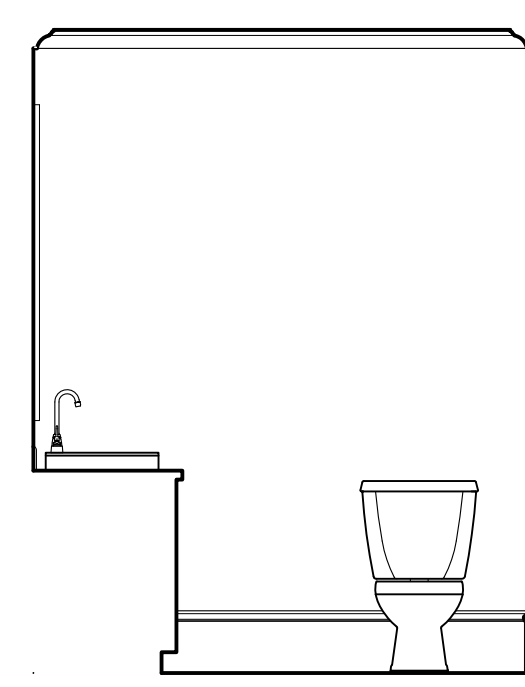
**9 INTERIOR ELEVATION**  
UTILITY 3/8 = 1-0



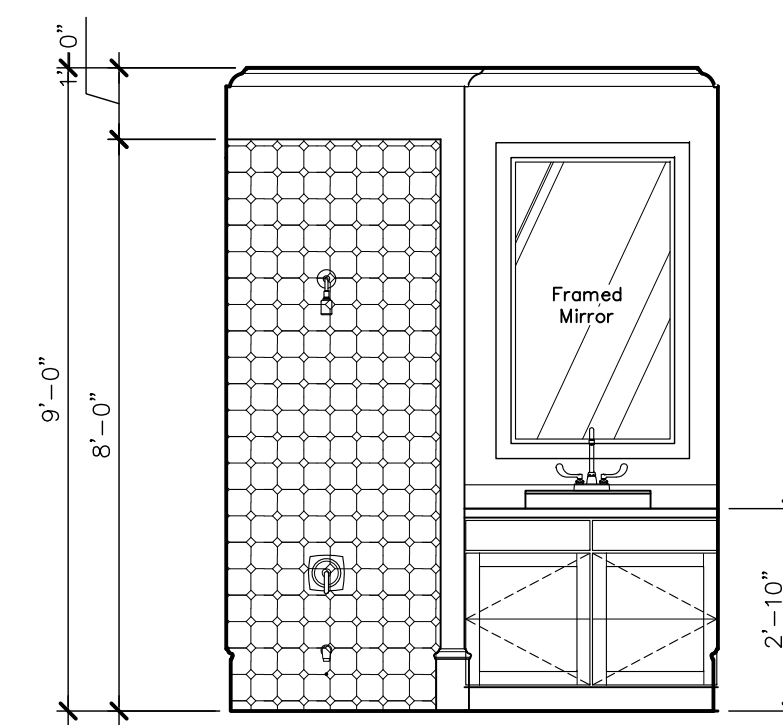
**8 INTERIOR ELEVATION**  
BATHROOM 02 3/8 = 1-0



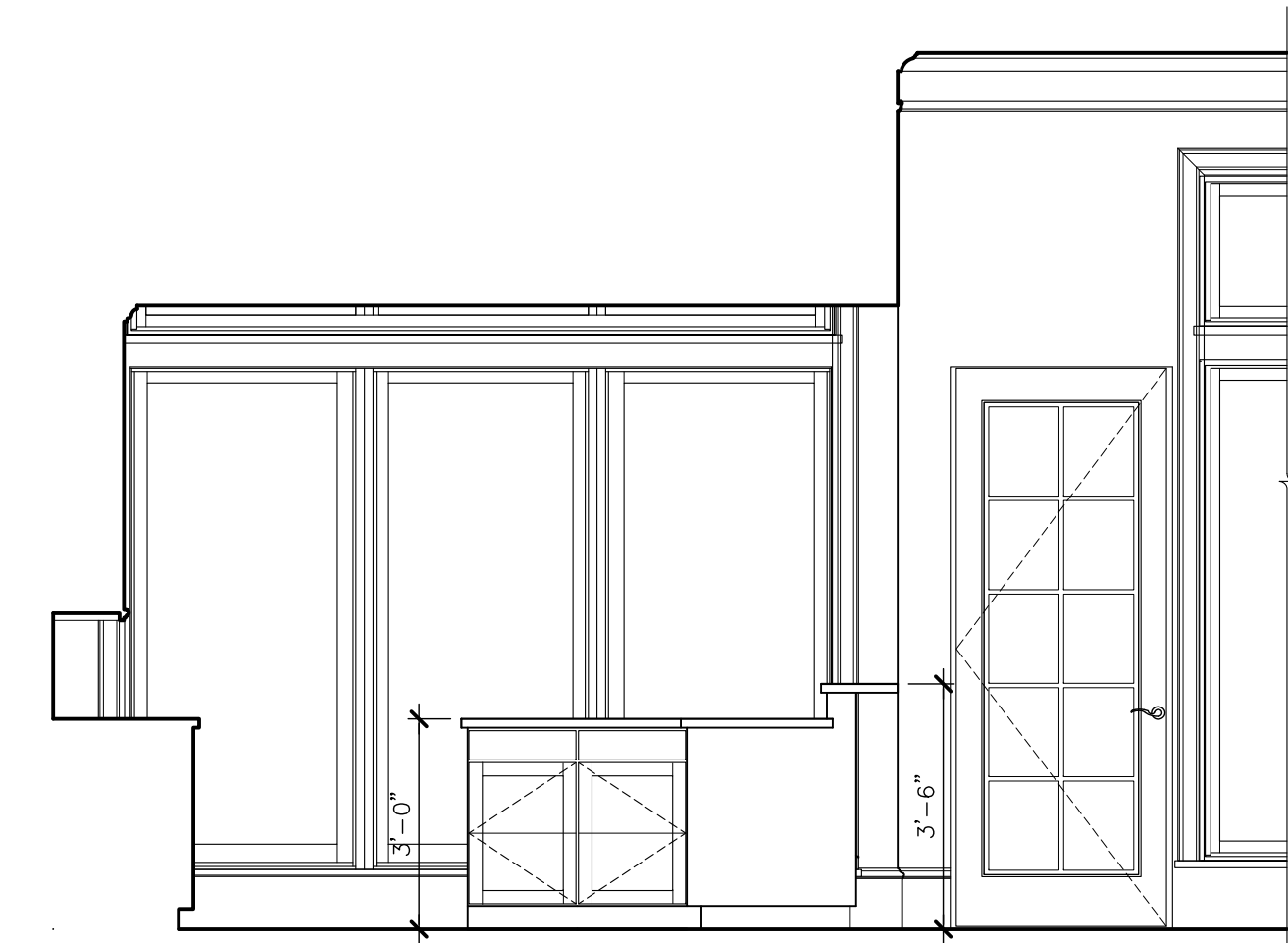
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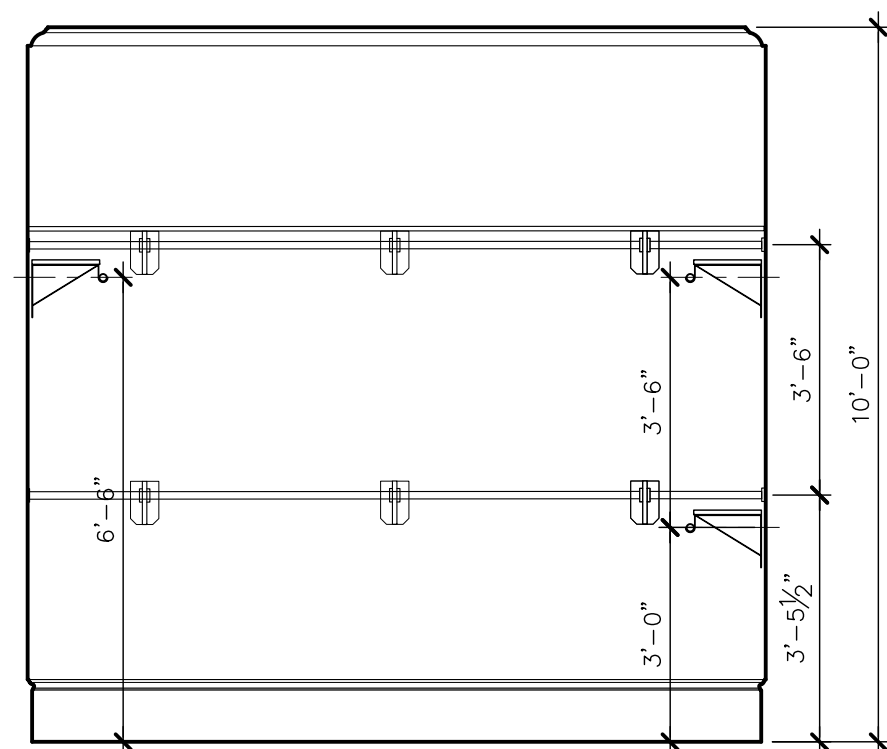
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BATHROOM 03 3/8 = 1-0



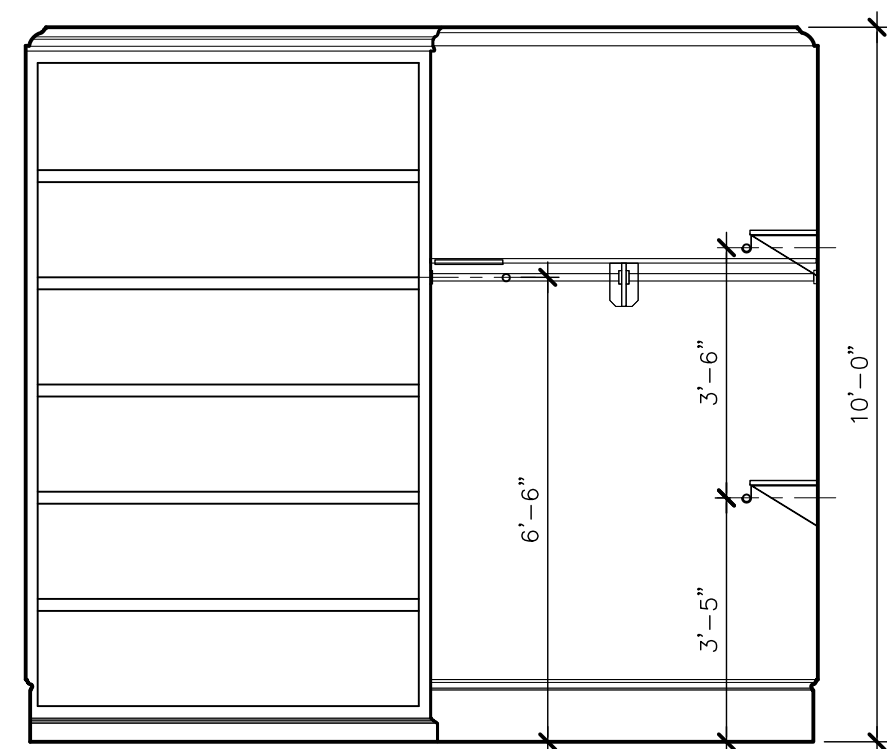
**5 INTERIOR ELEVATION**  
BATHROOM 03 3/8 = 1-0



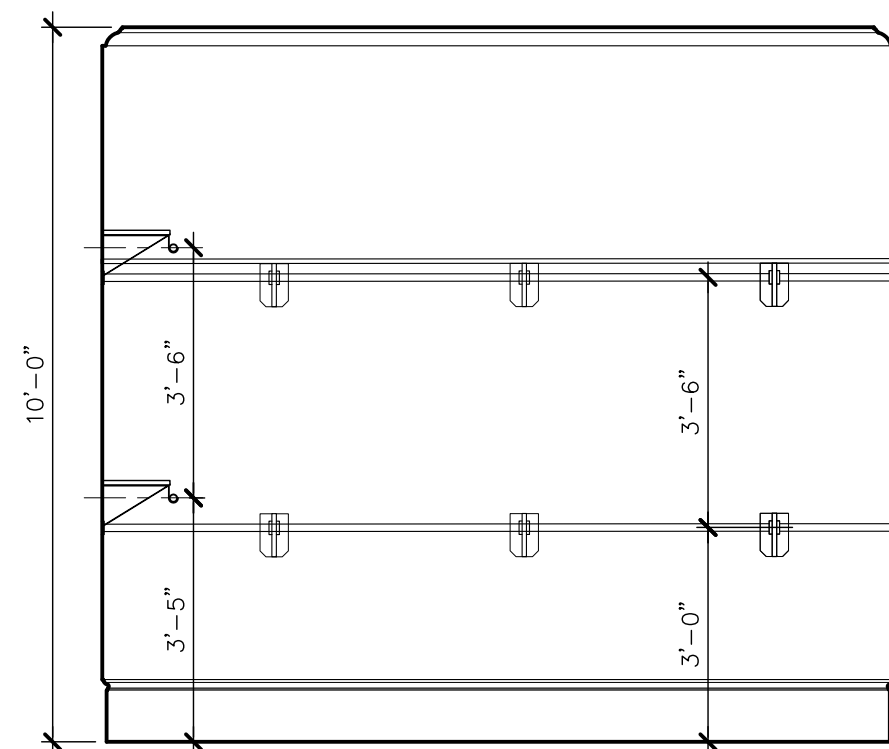
**4 INTERIOR ELEVATION**  
ISLAND KITCHEN 3/8 = 1-0



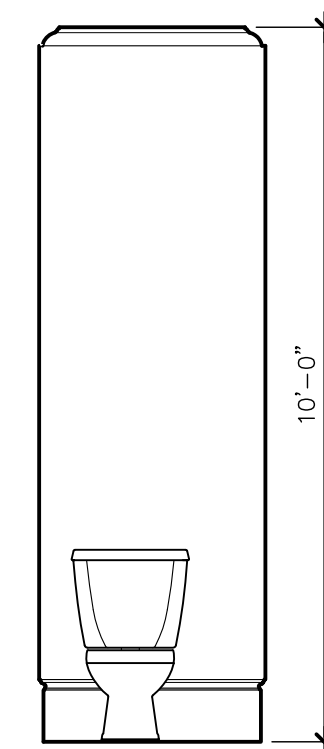
**15 INTERIOR ELEVATION**  
MASTER CLOSET 3/8 = 1-0



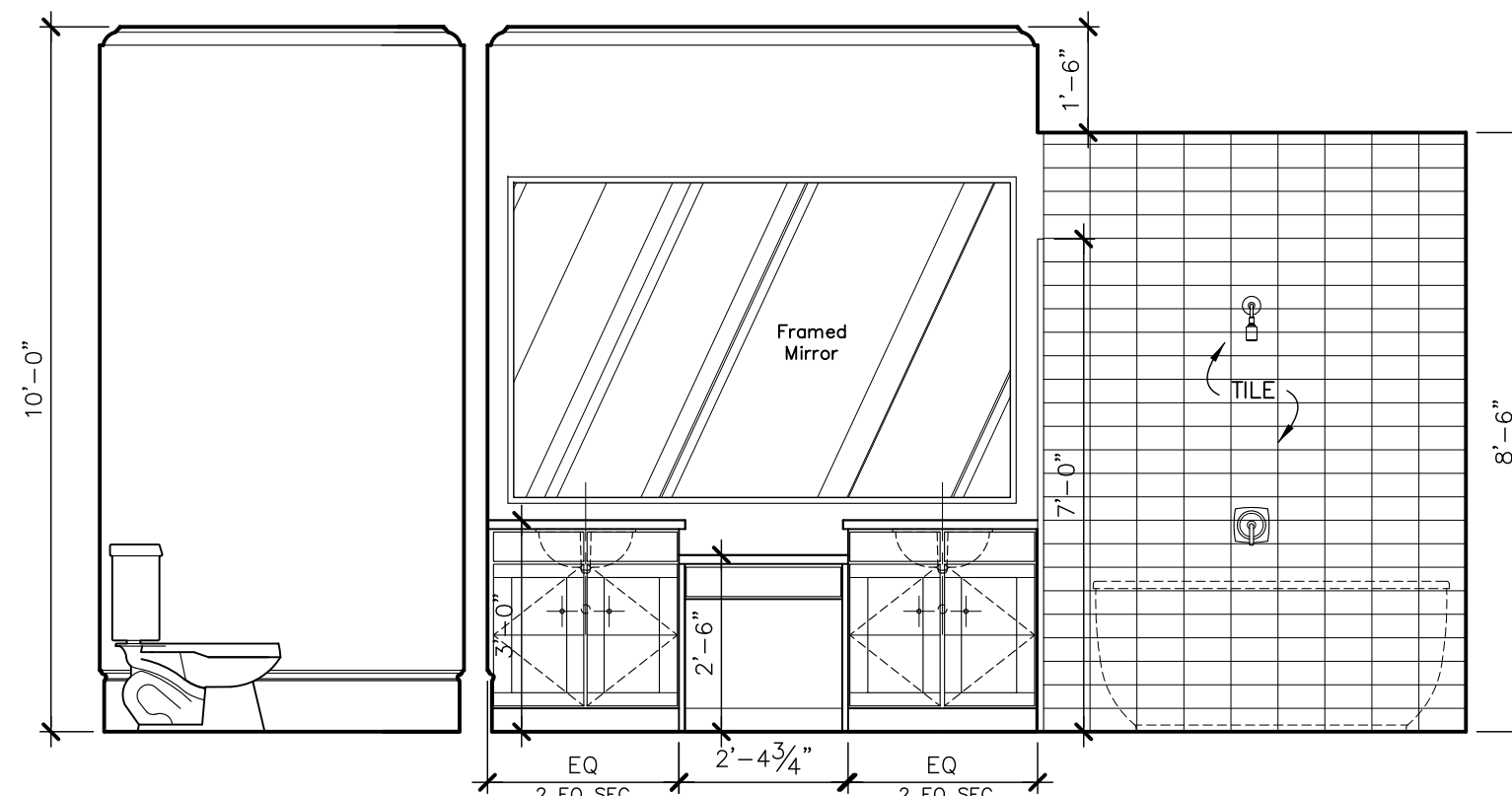
**14 INTERIOR ELEVATION**  
MASTER CLOSET 3/8 = 1-0



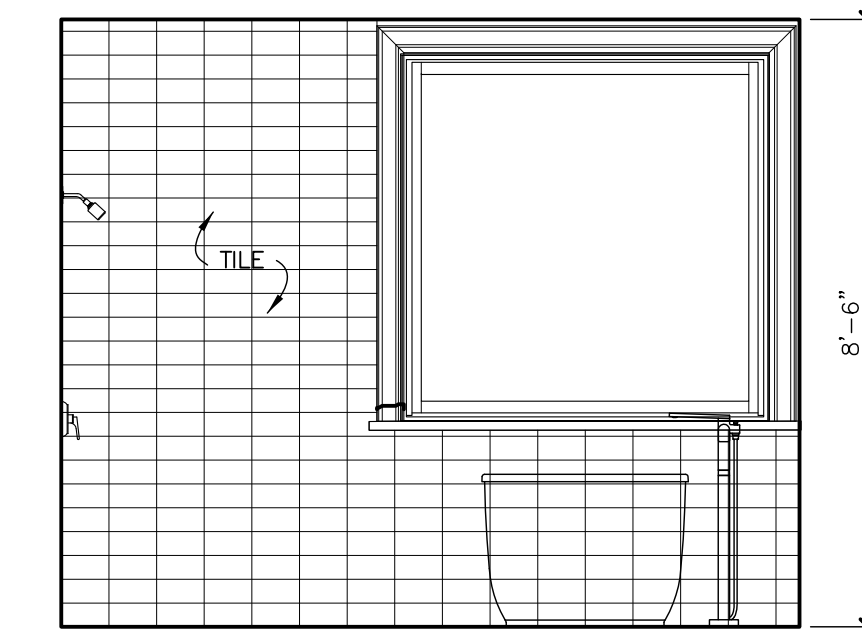
**13 INTERIOR ELEVATION**  
MASTER CLOSET 3/8 = 1-0



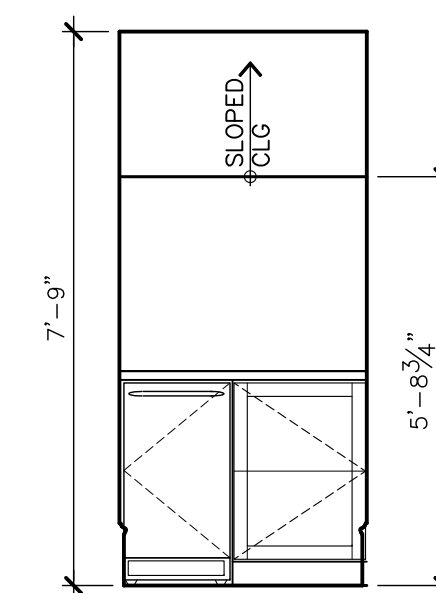
**12 INTERIOR ELEVATION**  
MASTER BATH 3/8 = 1-0



**11 INTERIOR ELEVATION**  
MASTER BATH 3/8 = 1-0



**10 INTERIOR ELEVATION**  
MASTER BATH 3/8 = 1-0



**16 INTERIOR ELEVATION**  
WINE CLOSET 3/8 = 1-0



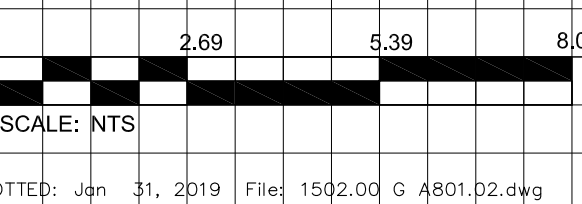
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**Revisions**

No.	IOC	Date	Description
01/16/15	ISSUE FOR PERMIT		
01/22/16	ISSUE FOR PERMIT		
01/22/16	ISSUE FOR CONSTRUCTION		



**MARINA WAY RESIDENTIAL**

MARINA WAY DRIVE  
LEAGUE CITY, TEXAS

1502

Sheet Date: 01/22/16

Sheet Title:

**FLOOR PLANS  
UNIT TYPE G**

Sheet No.:

**G A8-1**

Drawn By: Project Manager Project Arch  
JM BK

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