

# CITY OF HOUSTON

17128764

COH Project Number

## Building Code Enforcement

APPROVED

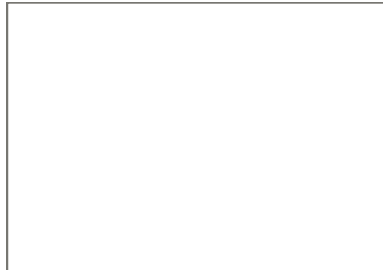
FOR BUILDING PERMIT ONLY  
CITY OF HOUSTON  
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.

Alex Carreno

12/8/2017

**Structural**



**Electrical**



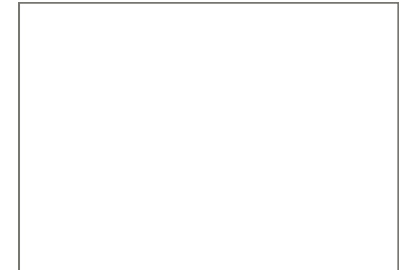
**Mechanical**



**Plumbing**



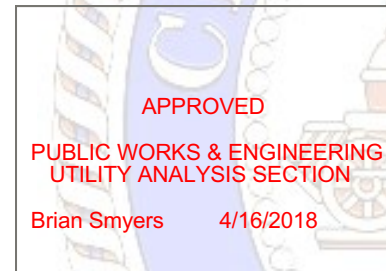
**Storm**



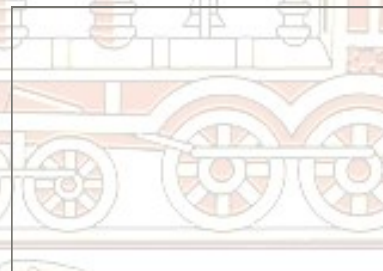
**Traffic**



**Planning**



**Utility Analysis**



**Airport (HAS)**



**Flood**



**Health**



**Health/Pool**



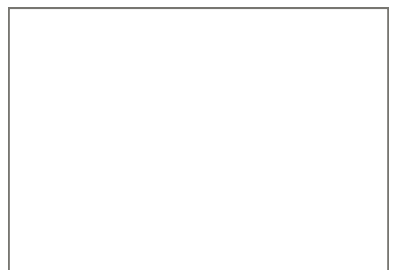
**Fire Marshal**



**High Pile/HazMat**

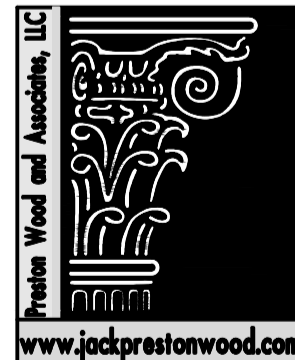


**LPG Tank**



**Sprinkler**

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**PRESTON WOOD & ASSOCIATES, L.L.C.**  
 1113 Vine Street-Suite 240 Houston, Texas 77002

www.jackprestonwood.com    Development    Land Planning    Mixed Use    Residential Design    Town Home Design



17128764

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations 04/16/18

**Preston Wood & Associates, LLC**  
 1113 Vine Street, Suite 240 Houston, TX 77002  
 phone: 713.523.2724 fax: 713.523.2690  
 www.jackprestonwood.com

Jack Preston Wood PBD Certification: TX-431  
 AMERICAN INSTITUTE OF BUILDING DESIGN

|               |         |                   |             |
|---------------|---------|-------------------|-------------|
| DESIGNER:     | DATE:   | PRODUCTION 1:     | DATE:       |
| JFW           | 2-27-15 | A-JC              | 1-28-16     |
| PRODUCTION 2: | DATE:   | PRODUCTION 3:     | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |
| PRODUCTION 4: | DATE:   | PRODUCTION 5:     | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |
| HVAC REVIEW:  | DATE:   | SENT TO ENGINEER: | DATE:       |
| XXX           | X-X-XX  | XXX               | FIRM X-X-XX |
| CHECKED:      | DATE:   | CORRECTIONS:      | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |

| REDRAW # | EIO36 B1J | CHANGES MADE | NAME | DATE |
|----------|-----------|--------------|------|------|
|          |           |              |      |      |

**CODE INFORMATION**

|                                    |                                                                       |
|------------------------------------|-----------------------------------------------------------------------|
| <b>BUILDING CODE:</b>              | 2012 I.R.C. WITH CITY OF HOUSTON AMENDMENTS                           |
| <b>OCCUPANCY:</b>                  | GROUP R-3<br>RESIDENTIAL TOWNHOMES                                    |
| <b>BUILDING CONSTRUCTION TYPE:</b> | TYPE V-B NON-RATED                                                    |
| <b>FIRE PROTECTION:</b>            | GROUP R-3<br>LESS THAN 4-STORIES<br>NO FIRE SPRINKLER SYSTEM REQUIRED |
| <b>ALLOWABLE HEIGHT:</b>           | 2012 IBC, TABLE 503:<br>3 TOTAL FLOORS WITH MAXIMUM HEIGHT OF 50'-0"  |

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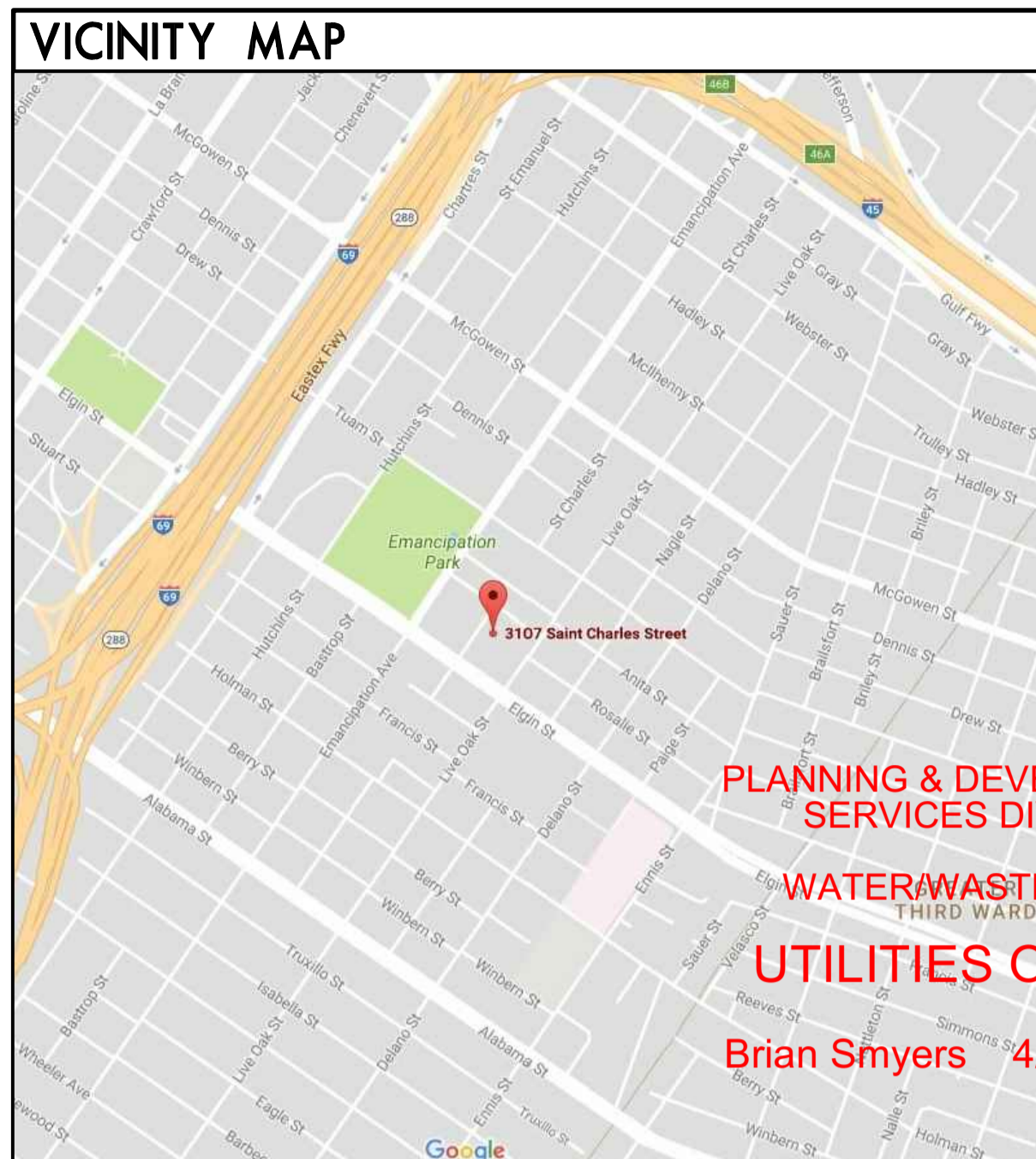
|                            |      |
|----------------------------|------|
| RENDERED FRONT             | 1    |
| SITE PLAN                  | 2    |
| 1ST, 2ND FLOOR PLANS       | 3    |
| 3RD FLOOR PLAN             | 4    |
| FRONT & REAR ELEVATIONS    | 5    |
| LEFT & RIGHT ELEVATIONS    | 6    |
| SECTIONS                   | 7    |
| MILLWORK                   | 8    |
| 1ST & 2ND FLOOR ELECTRICAL | 9    |
| 3RD FLOOR ELECTRICAL       | 10   |
| ROOF & FOUNDATION PLAN     | 11   |
| STANDARD DETAILS           | LAST |

**SQUARE FOOTAGES**

|                     |             |
|---------------------|-------------|
| FIRST FLOOR:        | 364         |
| SECOND FLOOR:       | 836         |
| THIRD FLOOR:        | 775         |
| TOTAL LIVING:       | 1975        |
| GARAGE:             | 371         |
| PORTE-COCHERE:      | 41          |
| PORCH:              | 11          |
| TOTAL SLAB:         | 837         |
| BALCONY:            | 21          |
| A/C NICHE:          | 18          |
| <b>TOTAL COVER:</b> | <b>2487</b> |

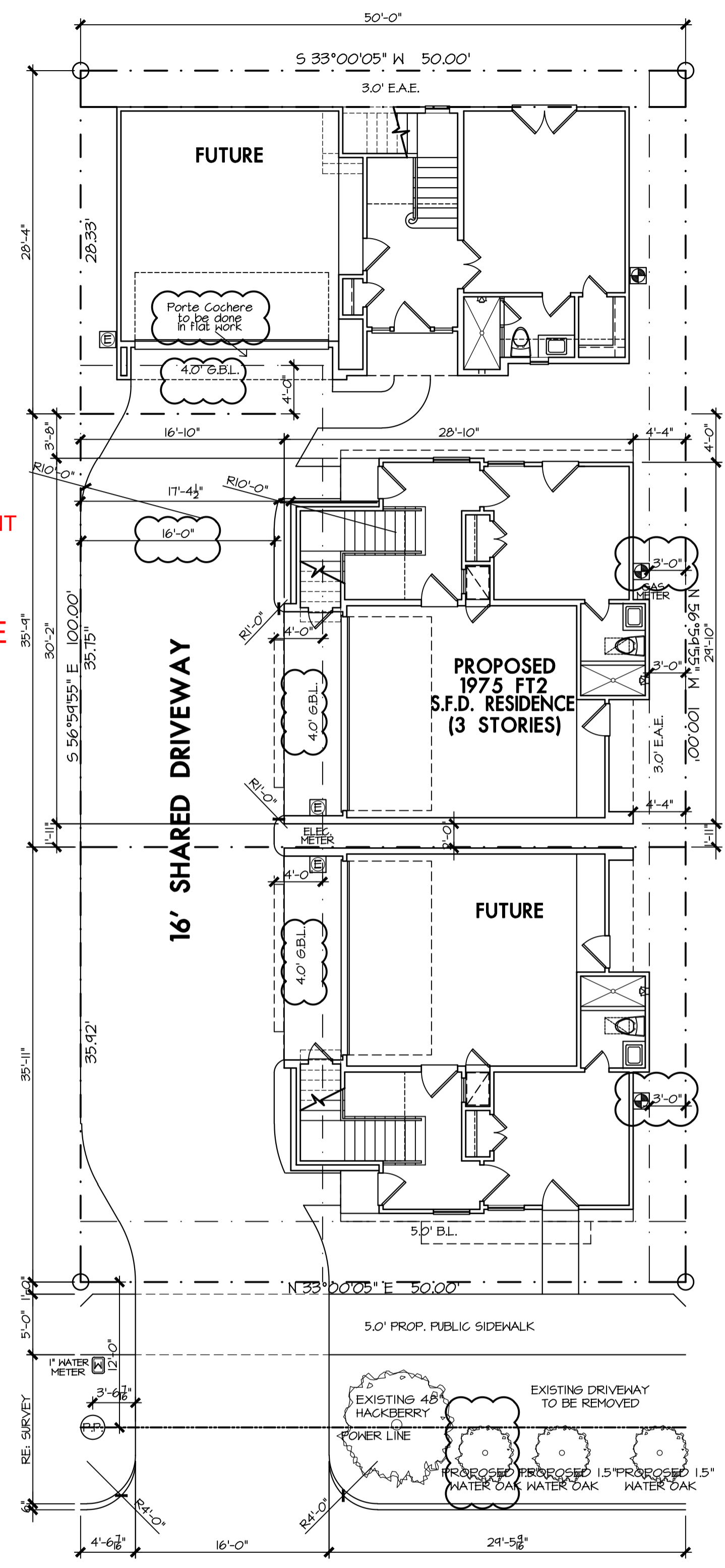
**PSM BUILDERS LLC**  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
 3107B SAINT CHARLES HOUSTON, TX 77004

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PLANNING & DEVELOPMENT SERVICES DIVISION  
 WATER/WASTEWATER UTILITIES ON SITE  
 Brian Smyers 4/16/2018

RECOMMENDED APPROVAL  
 PLANNING AND DEVELOPMENT DEPARTMENT  
 DEVELOPMENT SERVICES  
 Nick Parker 12/28/2017  
 LANDSCAPING REQUIRED



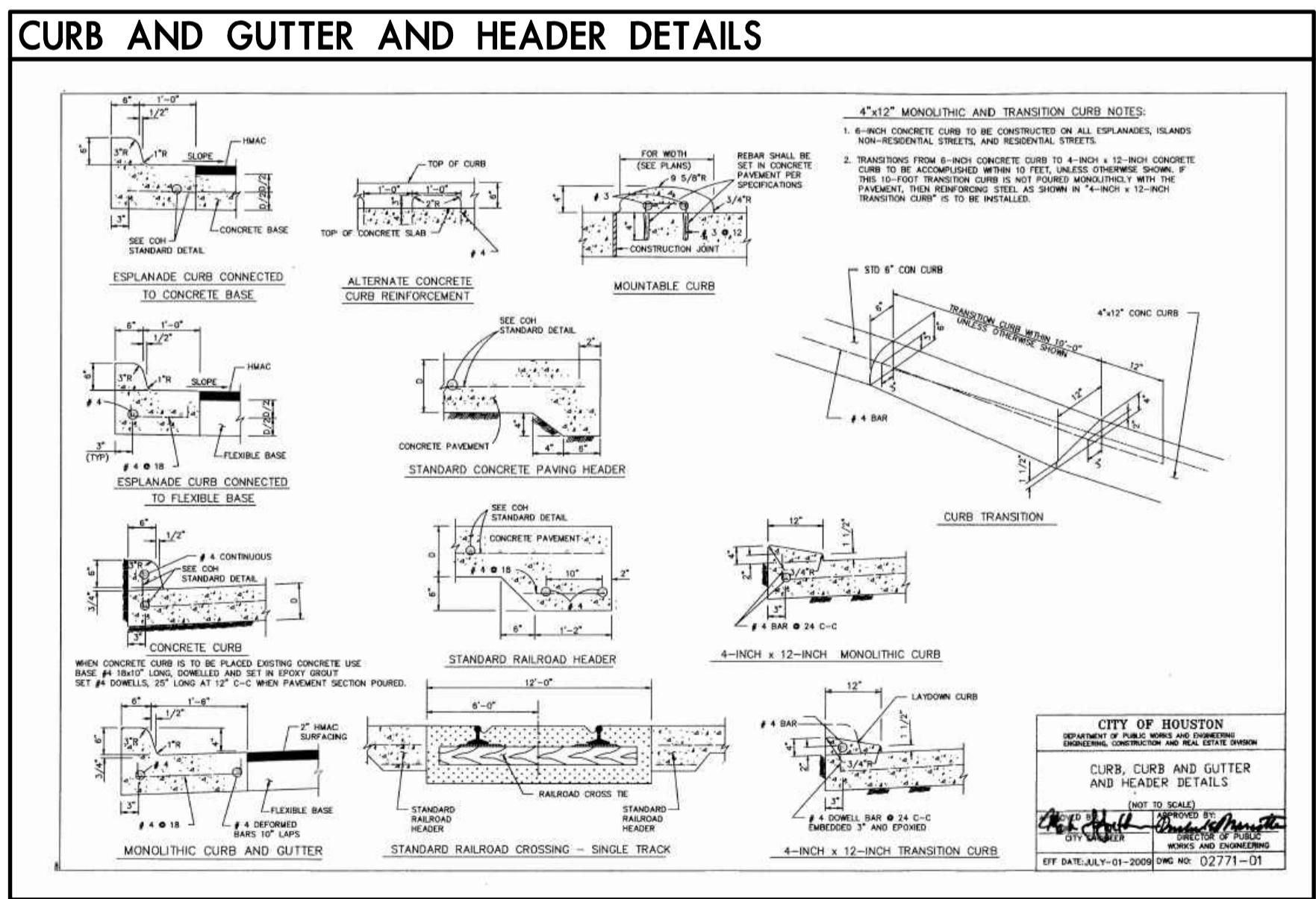
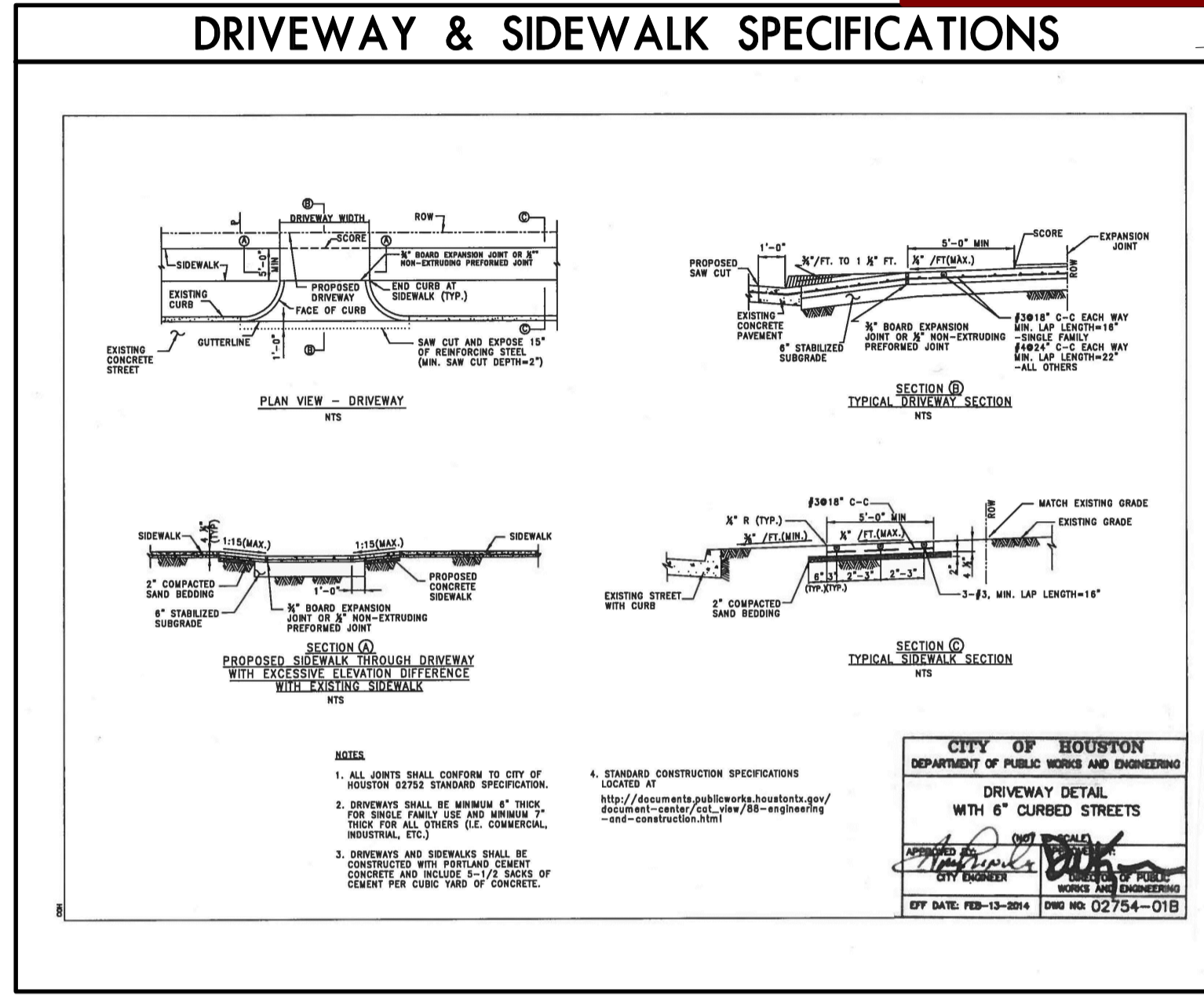
**ST. CHARLES STREET**  
 (80.0' R. O. W.)

NOTE! BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING LINES AND SETBACK LINES PRIOR TO CONSTRUCTION

City of Houston Texas  
 17128764  
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 04/16/18

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|              |        |              |        |
|--------------|--------|--------------|--------|
| DESIGNER:    | DATE:  | PRODUCTION:  | DATE:  |
| XXXX         | X-X-XX | XXXX         | X-X-XX |
| REVISIONS 1: | DATE:  | REVISIONS 2: | DATE:  |
| XXX          | X-X-XX | XXX          | X-X-XX |
| REVISIONS 3: | DATE:  | REVISIONS 4: | DATE:  |
| XXXX         | X-X-XX | XXXX         | X-X-XX |
| XXXX         | X-X-XX | XXXX         | X-X-XX |
| CHECKED BY:  | DATE:  | CORRECTIONS: | DATE:  |
| XXXX         | X-X-XX | XXXX         | X-X-XX |



| REVISION # | CHANGES MADE | NAME | DATE |
|------------|--------------|------|------|
| XXX        | XX-XX-XX     |      |      |

- ### SITE NOTES
- ALL DRAWINGS PRESENTED HERE REFERENCED TO THE 2012 IRC AND 2012 IBC BUILDING CODES WITH CITY OF HOUSTON AMENDMENTS.
  - FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
  - ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0' CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
  - BUILD TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
  - PLUMBER TO CONNECT TO EXISTING SANITARY SEWER PIPING TO BE SCH. 40 P.V.C. (OR EQ.) INSIDE PROPERTY, AND CONCRETE PIPING IN THE R.O.W. OR EASEMENT. SEE PLAN FOR SIZES.
  - PLUMBER TO DETERMINE LOCATION OF WATER METER AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT WATER PIPE AND METER SIZES TO CONFORM WITH 2012 I.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SEE PLAN FOR SIZES. ABOVE GRADE "ELBOWS" ALLOWED FOR WATER AND GAS LINES ENTERING THE BUILDING PROPER (ONLY).
  - ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO GARAGE FOR: A) ELECTRIC SERVICE, B) COMMUNICATION SERVICE, C) ENTERTAINMENT SERVICE. AT THE SAME LOCATION PROVIDE CONDUITS IN SLAB, PRIOR TO POUR, TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING PROPER.
  - ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SHALE DETAIL. DRAIN PIPING TO BE SCH. 40 P.V.C. (OR EQ.) WHEN AREA DRAINS.
  - PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
  - SHADED AREAS DESIGNATES MINIMUM COMMON AREAS AND/OR PRIVATE UTILITY EASEMENTS (PER APPLICATION). THIS PANEL IS USED AS A GUIDE FOR THE DRAFTING OF THE REQUIRED COMMON AREA AGREEMENT LETTER. THE REQUIRED COMMON AREA AGREEMENT LETTER TAKES PRECEDENCE.
  - ALL WATER, SANITARY SEWER, STORM, ELECTRICAL PIPING, AND PAVING LOCATED IN THE COMMON AREA(S) ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  - SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE CAN BE LOCATED IN THE SAME DITCH PROVIDED ALL LINES ARE SLEEVED THE ENTIRE RUN, OR MAINTAIN MINIMUM 36 INCH SPACING BETWEEN ALL LINES.
  - ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
  - PROVIDE MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE, WITH MINIMUM 18" BETWEEN A/C PADS, AND A 30' MINIMUM SERVICE AREA.
  - ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY, TO BE MIN. 6 FOOT HOOD FENCE. ANY FENCE SHOWN AGAINST THE R.O.W. TO BE METAL AND CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6 FOOT MIN. METAL FENCE IS 25% OR LESS OBSCURE (3/4 INCH BARS OR TUBES PLACED 4 TO 5 INCHES ON CENTER), OTHERWISE PLACE FENCE A MINIMUM OF 2 FOOT AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W.

C.O.H. RESIDENTIAL TREE REQUIREMENTS:  
 LOTS < 5000 SF. - 1 TREE REQUIRED  
 LOTS > 5000 SF. - 2 TREE REQUIRED  
 1 TREE MINIMUM REQUIRED IN R.O.W.

COMMON DRAINAGE AGREEMENT BY OTHERS. IF REQUIRED  
 ADDRESS ASSIGNMENTS BY OTHERS.

### SITE SYMBOLS

|  |                  |  |                 |
|--|------------------|--|-----------------|
|  | ELEVATION MARK   |  | SITE AREA DRAIN |
|  | ELECTRICAL METER |  | PHONE STUB      |
|  | WATER METER      |  | SEWER CLEAN OUT |
|  | GAS METER        |  | HOSE BIB        |
|  | FIRE WALL (TYPE) |  | A/C PAD         |
|  |                  |  | POOL EQUIP.     |

### LOT CALCULATIONS

| LOT | SIZE | TOTAL SLAB | % COVERAGE |
|-----|------|------------|------------|
| 1   | 1796 | 837        | 46.6 %     |
| 2   | 1787 | 837        | 46.8 %     |
| 3   | 1416 | 810        | 57.2 %     |

MAXIMUM ALLOWABLE BUILDING COVERAGE IS 60%

| LOT | DRIVE/WALKS | TOTAL IMPERVIOUS | % IMPERVIOUS |
|-----|-------------|------------------|--------------|
| 1   | 614         | 1451             | 80.8 %       |
| 2   | 607         | 1444             | 80.7 %       |
| 3   | 65          | 841              | 62.9 %       |

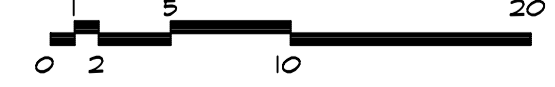
MAXIMUM ALLOWABLE IMPERVIOUS IS 75% BEFORE DETENTION IS REQUIRED

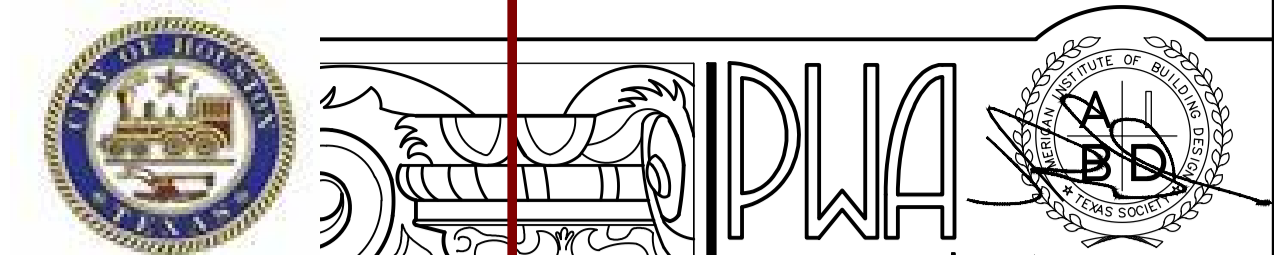
**PSM BUILDERS LLC**  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
 3107B SAINT CHARLES ST., HOUSTON, TX 77004

JOB # **E7095-SITE** **2** OF **12**  
 PERMIT SET ISSUE DATE: 1 December 2017

## SITE PLAN

SCALE: 1/8" = 1'-0"





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|              |         |                  |         |
|--------------|---------|------------------|---------|
| DESIGNER     | DATE    | PRODUCTION 1     | DATE    |
| JFW          | 2-27-15 | AJK              | 1-28-16 |
| PRODUCTION 2 | DATE    | PRODUCTION 3     | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| PRODUCTION 4 | DATE    | PRODUCTION 5     | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| HVAC REVIEW  | DATE    | SENT TO ENGINEER | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| CHECKED      | DATE    | CORRECTIONS      | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |

RETRAW # EI036 B.I

**EGRESS REQUIREMENTS 2012 I.R.C.**  
R301.1 IRC 2012 EMERGENCY ESCAPE AND RESCUE REQUIRED BASEMENTS w/ HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHERE OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118mm) ABOVE THE FLOOR.  
R301.1.1 IRC 2012 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (530 sq in).  
R301.1.2 IRC 2012 MINIMUM OPENING HEIGHT THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).  
R301.1.3 IRC 2012 MINIMUM OPENING WIDTH THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 mm).  
R301.1.4 IRC 2012 OPERATIONAL CONSTRAINTS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.  
OPERABLE WINDOW SILL HEIGHT - A MINIMUM OF 25" OFF OF FINISH FLOOR HEIGHT AT SECOND FLOOR AND ABOVE.

**SCHEDULES** BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

DOOR SCHEDULE: SIZE AS NOTED ON PLANS.  
EXTERIOR DOORS ARE 1 3/8" SOLID CORE.  
INTERIOR DOORS ARE 1 3/8" SOLID OR HOLLOW CORE.  
DOOR GLAZING TO BE SAFETY GLASS.  
WINDOW SCHEDULE: SIZE AS NOTED ON PLANS.  
FRAME TYPE: \_\_\_\_\_  
FRAME COLOR: \_\_\_\_\_  
GLAZING: \_\_\_\_\_  
EXTERIOR TRIM: \_\_\_\_\_  
INTERIOR TRIM: \_\_\_\_\_  
ROOM FINISH SCHEDULE: TILE FLOORS AT ALL NET AREAS, TILE HALLS AT TUB, FILL TILE FLOOR IN SHOWER STALL, SYNTHETIC MARBLE OR SIM. COUNTER TOPS AND SPLASHES.  
ALL CASED OPENINGS TO HAVE SWEETWOOD RETURNS.  
RE: BUILDER/OWNER FOR USE OF WOOD G.O. RETURNS.  
OR - AS NOTED ON PLANS.  
OR - AS NOTED IN DETAILED SPECS. BETWEEN OWNER & BUILDER.

**SYMBOLS**

|                |                |                                    |
|----------------|----------------|------------------------------------|
|                |                |                                    |
| SHEET LOCATION | SHEET LOCATION | DETAIL LOCATED LAST SHEET (U.N.O.) |

**FII DESIGN CRITERIA (ONE-HOUR FIRE-RATED WALL)**

A) PENETRATIONS NOT ALLOWED THRU EXTERIOR SURFACE:  
HOSE BIBS.  
WATER LINES (FROM WATER METER).  
GAS LINES (FROM GAS METER).  
PVC WASTEWATER PIPES OF ANY SIZE.  
DRYER VENT TERMINATION.  
HOOD VENT TERMINATION.  
DECORATIVE APPLIANCE (FIREPLACE) TERMINATION.  
A/C CONDENSER LINES.  
ANY TYPE OF ELECTRICAL CONDUIT.  
ANY OTHER PENETRATION EXCEPT 3/4 HR. RATED GLASS BLOCK.

B) ITEMS NOT ALLOWED INSIDE THE WALL CAVITY:  
GAS LINES.  
PVC WASTEWATER PIPES OF ANY SIZE.  
DRYER VENTS.

C) PENETRATIONS NOT ALLOWED THRU INTERIOR SURFACE:  
GAS LINES.  
PVC WASTEWATER PIPES OF ANY SIZE.  
REFRIGERATOR BIB BOX.  
CLOTHES WASHER BIB BOX.  
ANY OTHER "EXCESSIVE" OPENINGS.

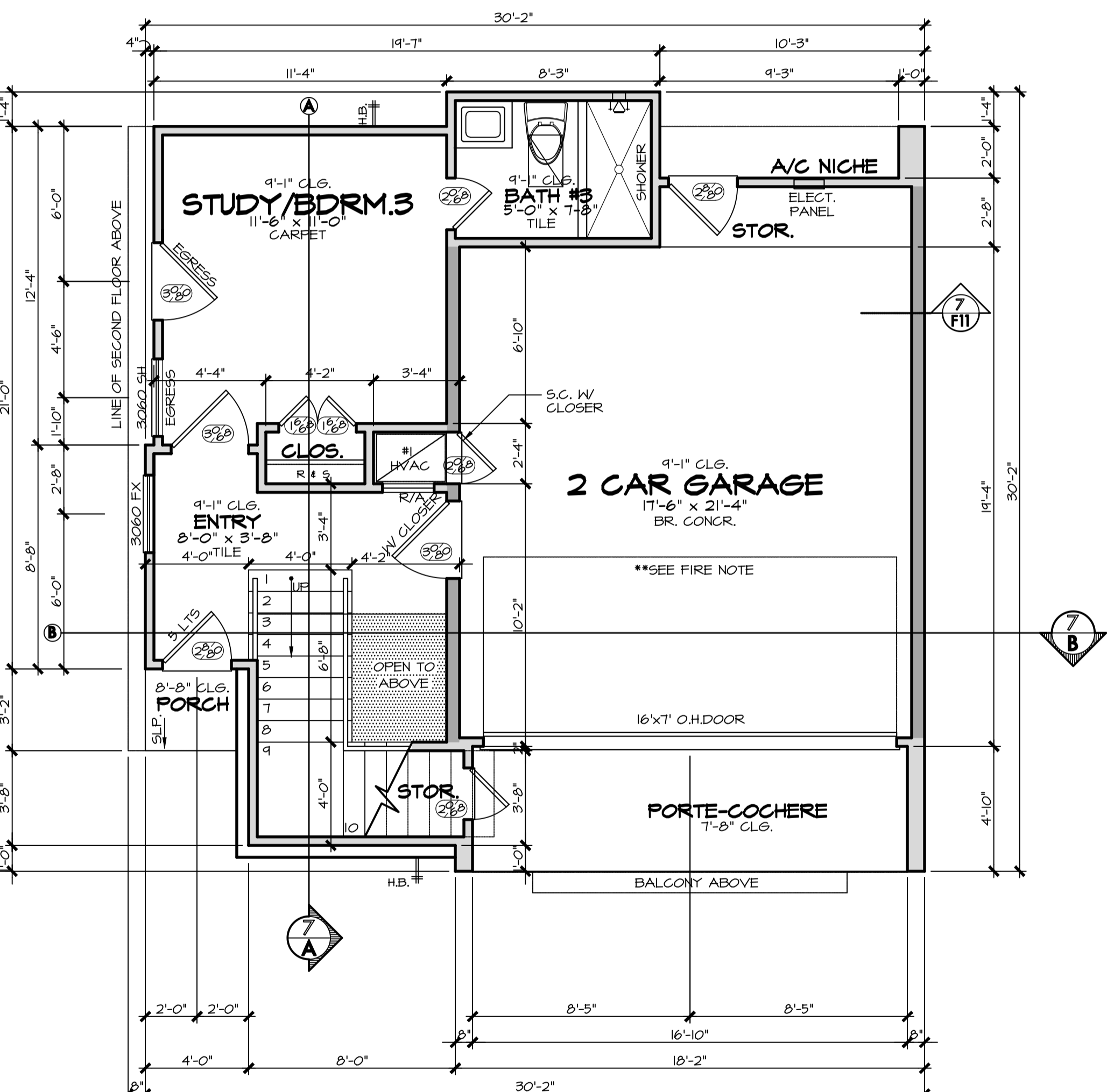
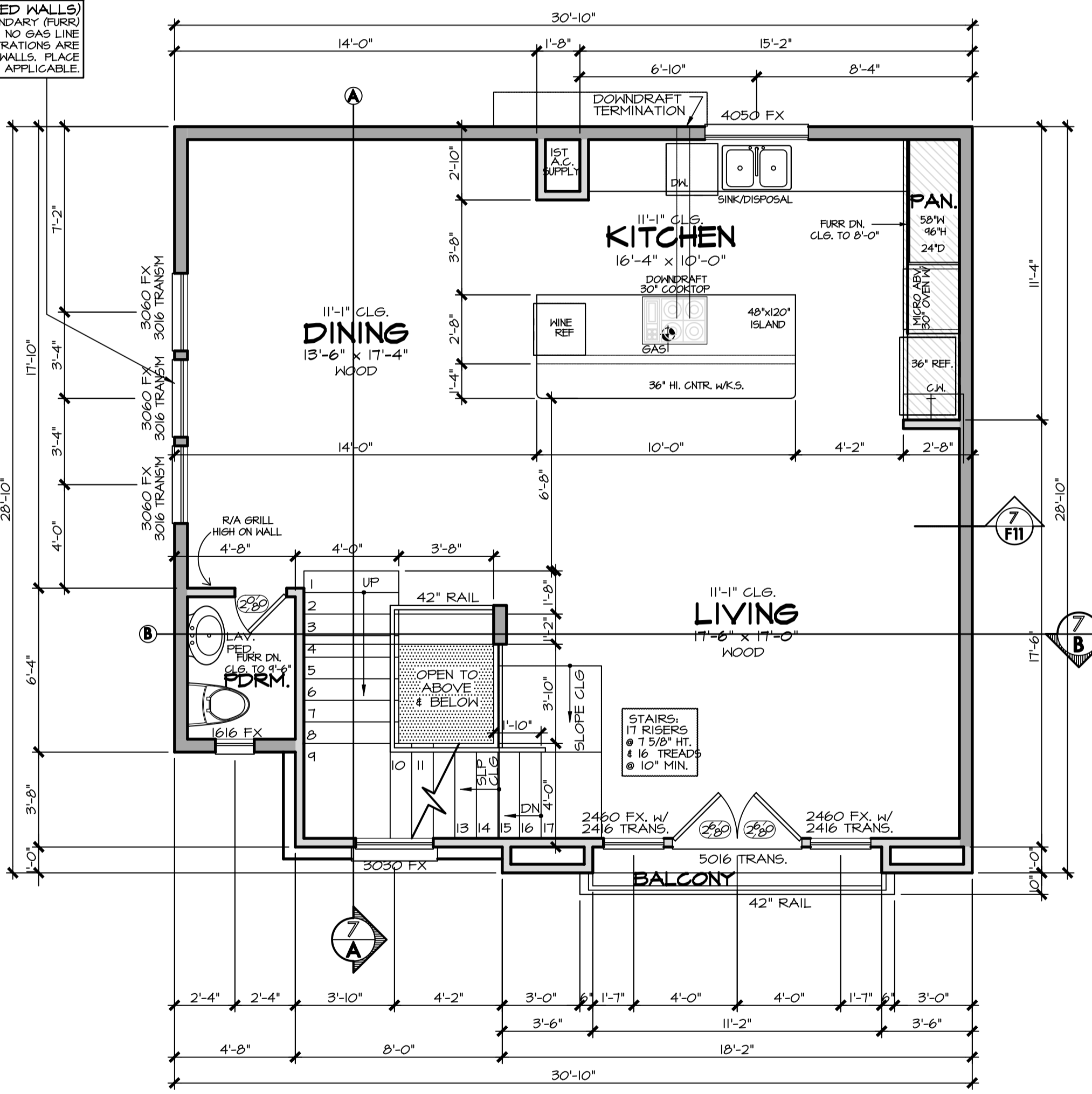
IN ADDITION TO THE ABOVE, ROOF OVERHANGS ARE NOT ALLOWED OR ANY OTHER NON FIRE-RATED HORIZONTAL SURFACE FACING DOWN WITHIN THREE FEET OF ANY PROPERTY LINE.

**FIRE NOTE**

- 1) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO LINE GARAGE (1 CARPORT) SIDE OF STUDS AND TO LINE SOLID OR HONEYCOMB STEEL DOOR 1-3/8" IN THICK OR 20 MIN. FIRE RATED DOOR WITH SELF-CLOSING HARDWARE FROM GARAGE AREA (CONDITIONED AREA, R304.1)
- 2) UNRATED DISAPPEARING STAIRS IN GARAGES TO HAVE MIN. 3/8" THICK FIRE RETARDANT PLYWOOD OR MIN. 1/2" GA. SHEET METAL
- 3) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO ENCLOSED AREAS LOCATED UNDER ALL STAIRS.

**FIRE RESISTIVE CONSTRUCTION:**  
BEFORE INSTALLING SECONDARY (FURR) WALL, APPLY 5/8" TYPE 'X' GYPSUM BOARD TO THE INTERIOR SIDE OF EXTERIOR WALL. IN ACCORDANCE TO IBC 2012, TABLE 702.1(2), ITEM 15-1.3 OR ITEM 15-1.1, PVC WASTEWATER PIPES NOT ALLOWED TO PENETRATE THE TYPE 'X' GYPSUM.

**PLUMBING NOTE (RATED WALLS)**  
IN THE INSTANCE NO SECONDARY (FURR) WALL IS SHOWN ON PLANS, NO GAS LINE AND/OR PLUMBING PENETRATIONS ARE ALLOWED IN FII FIRE-RATED WALLS. PLACE IN SIDE-WALLS WHERE APPLICABLE.



**PLAN NOTES - IRC (COH)**

- 1) THIS BUILDING REFERENCES THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF HOUSTON AMENDMENTS, AND THE 2012 INTERNATIONAL BUILDING CODE (W/ COH AMENDMENTS).
- 2) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS.
- 3) ALL APPLIED NOTES ON THESE DRAWING PAGES SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- 4) PRESTON WOOD & ASSOCIATES, L.L.C. WILL NOT BE HELD RESPONSIBLE FOR THE CONTENTS SUBMITTED BY THIRD PARTY CONSULTANTS (M.E.P., CIVIL, STRUCTURAL, ETC.).
- 5) THE APPLIANCE AND PLUMBING SYMBOLS SHOWN ARE A DIAGRAMMATIC REPRESENTATION ONLY. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO SPECIFY THE APPLIANCE AND PLUMBING STYLES THAT WILL BE USED FOR THIS BUILDING.
- 6) CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN. PORCH AND BALCONY CEILING HEIGHTS TAKEN FROM THE IMMEDIATE CONDITIONED SPACE ADJOINING THE PORCH OR BALCONY.
- 7) WHEN UTILITY ROOM IS ABOVE THE FIRST FLOOR, PROVIDE A METAL PAN WITH DRAIN AND 2 INCH RELIEF LINE TO OUTSIDE (DO NOT CONNECT TO SANITARY SEWER). PAN GEOMETRY CAN BE ONE OF THE FOLLOWING: (a) ENTIRE UTILITY FLOOR, (b) AT WASHER/DRYER NOOK, OR (c) UNDER WASHER ONLY. SEE BUILDER FOR OPTIONS.
- 8) P2104.1 - PROVIDE PLUMBING ACCESS PANEL AT ALL BATHUBS.
- 9) R301.2 BATHUB AND SHOWER SPACES - BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- 10) R308.4(5) - GLAZING AT BATHUBS AND SHOWER STALLS SHALL BE TEMPERED SAFETY GLASS WHEN THE BOTTOM OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- 11) R315 STAIRWAYS - SEE STAIR NOTES AND DETAILS - LAST SHEET. R315.5 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- 12) R807.1 ATTIC ACCESS - BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR MORE.
- 13) MISCELL APPLIANCES IN ATTIC - ATTIC'S CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS AND A CLEAR AND UNRESTRICTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 30 INCHES WIDE AND NOT MORE THAN 20 FEET LONG WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE, A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED (HOUSTON AMENDMENTS TO 2006 IRC).
- 14) R290.1 WATER HEATERS - LOCATE WATER HEATERS IN ATTIC ABOVE A LOAD BEARING PARTITION, IN A PAN, WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE.
- 15) LOCATE H.V.A.C. EQUIPMENT IN ATTIC OR IN A MECHANICAL CLOSET WHEN THE PLANS SHOW A MECHANICAL CLOSET.
- 16) R316.1 INSULATION - ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450.
- 17) PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.

**LINE LEGEND**

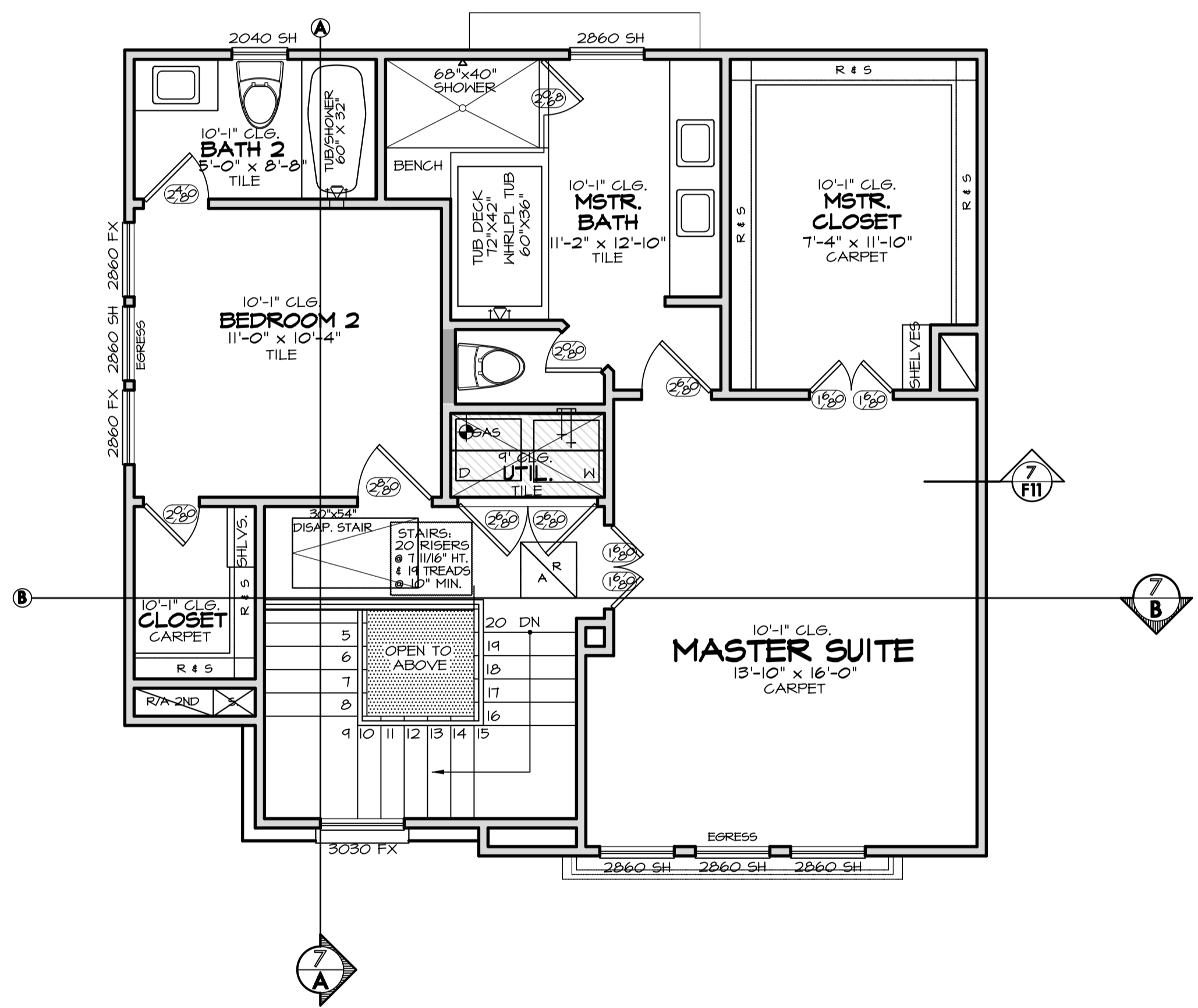
|  |                                                               |  |                           |
|--|---------------------------------------------------------------|--|---------------------------|
|  | 4" STUD WALL                                                  |  | CLOSETS: WALL             |
|  | 6" STUD WALL                                                  |  | ROD & SHELF               |
|  | DESIGNATION FOR FURRED DOWN CLG.                              |  | DOUBLE ROD & SHELF        |
|  | DESIGNATION FOR OPEN FRAMING ABOVE, (STAIR VOIDS & OPENINGS). |  | CABINETS: WALL            |
|  |                                                               |  | UPPER CABINET             |
|  |                                                               |  | 12" ABOVE COUNTERTOP TYP. |
|  |                                                               |  | COUNTERTOP @ 36" HT. TYP. |

**SQUARE FOOTAGES**

|                |      |
|----------------|------|
| FIRST FLOOR:   | 364  |
| SECOND FLOOR:  | 836  |
| THIRD FLOOR:   | 775  |
| TOTAL LIVING:  | 1975 |
| GARAGE:        | 371  |
| PORTE-COCHERE: | 41   |
| PORCH:         | 11   |
| TOTAL SLAB:    | 837  |
| BALCONY:       | 21   |
| A/C NICHE:     | 18   |
| TOTAL COVER:   | 2487 |

**PSM BUILDERS LLC**  
PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
3107B SAINT CHARLES HOUSTON, TX 77004

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## THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"  
 10" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)  
 PRIMARY FLOOR COVERING: CARPET  
 SUGGESTED FLOOR SYSTEM: [20" OPEN WEB TRUSSES]  
 UTILITY NOTE: PROVIDE METAL PAN W/ 2" DRAIN TO OUTSIDE.  
 FIELD VERIFY ALL TRANSOMS

**City of Houston Texas**

**17128764**

**REVIEWED FOR COMPLIANCE**

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations 04/16/18

**Preston Wood & Associates, LLC**  
 1113 Vine Street, Suite 240 Houston, TX 77002  
 phone: 713.523.2724 fax: 713.523.2690  
 www.jackprestonwood.com

**Jack Preston Wood PBD Certification: TX-431**  
**AMERICAN INSTITUTE OF BUILDING DESIGN**

|               |         |                   |         |
|---------------|---------|-------------------|---------|
| DESIGNER:     | DATE:   | PRODUCTION 1:     | DATE:   |
| JFW           | 2-27-15 | AJK               | 1-28-16 |
| PRODUCTION 2: | DATE:   | PRODUCTION 3:     | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |
| PRODUCTION 4: | DATE:   | PRODUCTION 5:     | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |
| HVAC REVIEW:  | DATE:   | SENT TO ENGINEER: | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |
| CHECKED:      | DATE:   | CORRECTIONS:      | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |

| REDRAW # | EIO36 B.I | CHANGES MADE | NAME | DATE |
|----------|-----------|--------------|------|------|
|          |           |              |      |      |

**SCHEDULES** BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

**DOOR SCHEDULE:** SIZE AS NOTED ON PLANS.  
 EXTERIOR DOORS ARE 1 3/4" SOLID CORE.  
 INTERIOR DOORS ARE 1 3/8" SOLID OR HOLLOW CORE.  
 DOOR GLAZING TO BE SAFETY GLASS.

**WINDOW SCHEDULE:** SIZE AS NOTED ON PLANS.  
 FRAME TYPE: \_\_\_\_\_  
 FRAME COLOR: \_\_\_\_\_  
 GLAZING: \_\_\_\_\_  
 EXTERIOR TRIM: \_\_\_\_\_  
 INTERIOR TRIM: \_\_\_\_\_

**ROOM FINISH SCHEDULE:**  
 TILE FLOORS AT ALL NET AREAS. TILE HALLS AT TUB. FILL TILE HALLS AND FLOOR IN SHOWER STALL. SYNTHETIC MARBLE OR SIM. COUNTER TOPS AND SPLASHES. ALL CASER OPENINGS TO HAVE SHEETROCK RETURNS.  
 RE: BUILDER/OWNER FOR USE OF WOOD G.O. RETURNS.  
 - OR - AS NOTED ON PLANS.  
 - OR - AS NOTED IN DETAILED SPECS. BETWEEN OWNER & BUILDER.

**SYMBOLS**

| SECTION CUTS   | CABINET & WALL ELEVATIONS | FIRE WALL TYPE                     |
|----------------|---------------------------|------------------------------------|
|                |                           |                                    |
| SHEET LOCATION | SHEET LOCATION            | DETAIL LOCATED LAST SHEET (U.N.O.) |

**LINE LEGEND**

| WALLS:                                                       | CLOSETS:                  |
|--------------------------------------------------------------|---------------------------|
| 4" STUD WALL                                                 | WALL                      |
| 6" STUD WALL                                                 | ROD & SHELF               |
| CEILINGS:                                                    | CABINETS:                 |
| DESIGNATION FOR FURRED DOWN C.G.                             | WALL                      |
| DESIGNATION FOR OPEN FRAMING ABOVE (STAIR VOIDS & OPENINGS). | UPPER CABINET             |
|                                                              | 18" ABOVE COUNTERTOP TYP. |
|                                                              | COUNTERTOP @ 36" HT. TYP. |

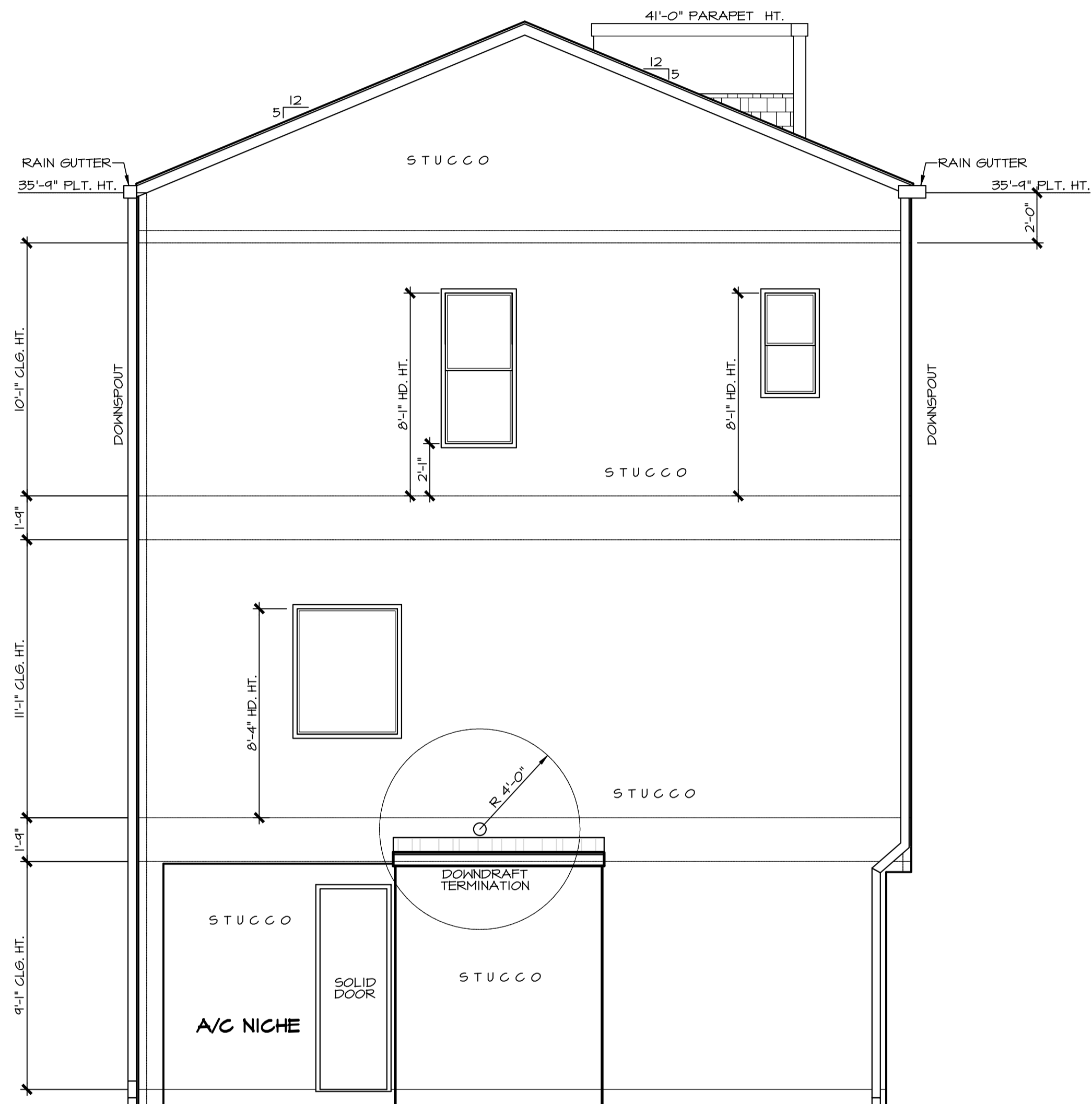
**SQUARE FOOTAGES**

|                     |             |
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| BALCONY:            | 21          |
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 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
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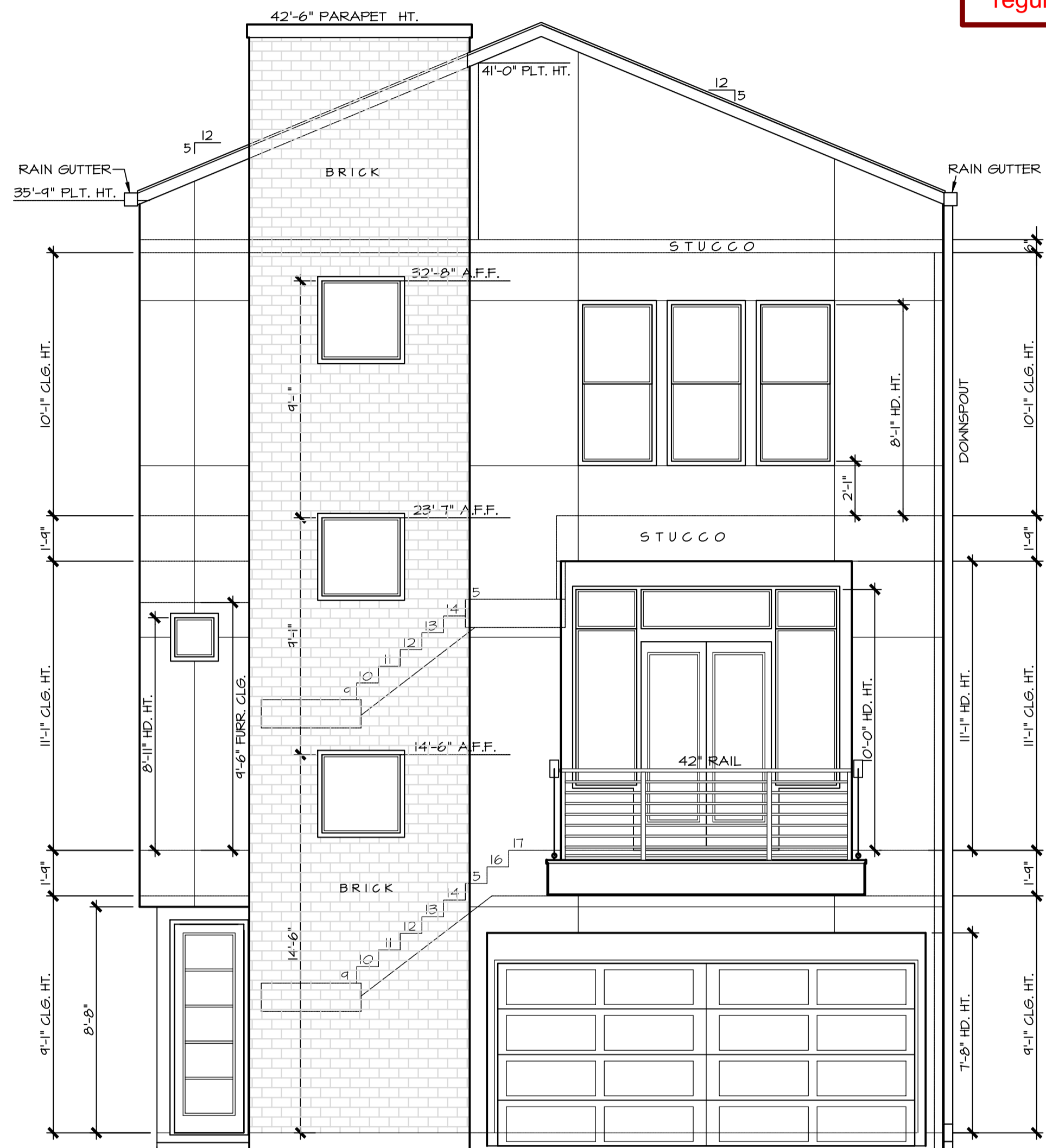
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# REAR ELEVATION


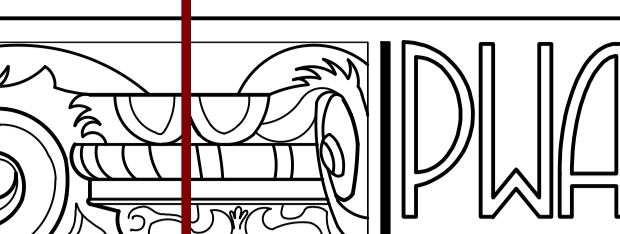

SCALE: 1/4" = 1'-0"



# FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
PRIMARY EXTERIOR MATERIAL: STUCCO  
SECONDARY EXTERIOR MATERIAL: BRICK/FIBER CEMENT BOARD  
ROOF MATERIAL: COMPOSITION SHINGLES  
ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS.  
MATCH TRANSOMS TO UNITS BELOW.  
HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.  
SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.  
SLOPE BALCONIES FOR DRAIN OFF  
PROVIDE SECURITY HINGES ON ALL OUT-SWINGING EXTERIOR DOORS.  
STUCCO EXPANSION JOINT FREQUENCY AND LOCATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

City of Houston Texas

17128764  
REVIEWED FOR COMPLIANCE

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|---------------|---------|-------------------|-------------|
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| JFW           | 2-27-15 | AJK               | 1-28-16     |
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| XXX           | X-X-XX  | XXX               | FIRM X-X-XX |
| CHECKED:      | DATE:   | CORRECTIONS:      | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |

RETRAW # E1036 B11

| CHANGES | MAP | NAME | DATE |
|---------|-----|------|------|
|         |     |      |      |
|         |     |      |      |

### ELEVATION NOTES - IRC (COH)

- THIS BUILDING REFERENCES THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF HOUSTON AMENDMENTS, AND THE 2012 INTERNATIONAL BUILDING CODE (W/ COH AMENDMENTS).
  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS.
  - ALL APPLIED NOTES ON THESE DRAWING PAGES SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- R310.1 - ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT. NET CLEAR OPENINGS. WHERE DOORS ARE USED AS EGRESS, KEY LOCKING HARDWARE MAY BE USED (2012 IRC, CITY OF HOUSTON AMENDMENTS, R310.2).
  - R602 WINDOW SILLS - IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS.  
EXCEPTIONS:  
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENINGS WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.  
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2012 OR F 2090.
  - ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM (FIRST) FLOOR LEVEL (AT THE STAIRWELL).  
EXCEPTIONS:  
1. WHERE THERE ARE A ROW OF SIMILAR WINDOWS ON THE SAME WALL SURFACE, AND THE WINDOW TYPES ARE DIFFERENT (I.E. FX / CMHT. / SH), THESE WINDOWS SHALL MATCH IN STYLE PER DESIGNER SERIES FROM THE MANUFACTURER.
  - PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH 2012 IRC, SECTION T12.3.
  - 2012 IBC, TABLE 715.5 (EXTERIOR WALLS) - OPENINGS ON A ONE-HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY (GLASS BLOCK SELECTION OF YOUR CHOICE).
  - HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN TABLE R301.5; AND ON THE LAST SHEET OF THIS DOCUMENT.
  - R312.1 GUARDS - PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
  - R312.2 GUARD OPENING LIMITATIONS - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.  
EXCEPTIONS:  
1. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES CANNOT PASS THROUGH.  
2. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.
  - ROOF PLATE HEIGHTS TAKEN FROM (FIRST) FLOOR (SLAB) LEVEL UNLESS OTHERWISE NOTED.
  - ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4 FEET FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH AN EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4 FEET FROM THE PROPERTY LINE OR COMMON WALL.  
GAS APPLIANCE VENTS EXITING A ROOF SHALL TERMINATE NO CLOSER THAN 5 FEET TO A COMMON WALL OR PROPERTY LINE.  
PROVIDE SECURITY HINGES ON ALL OUT-SWINGING EXTERIOR DOORS. R311.4.3 LANDINGS AT DOORS - EXTERIOR LANDINGS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE TOP OF THE THRESHOLD FOR THESE OUT-SWINGING EXTERIOR DOORS.

PRIMARY EXTERIOR MATERIAL: STUCCO  
ROOF MATERIAL: COMPOSITION SHINGLES

ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS.  
MATCH TRANSOMS TO UNITS BELOW.  
HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.  
SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.

### SQUARE FOOTAGES


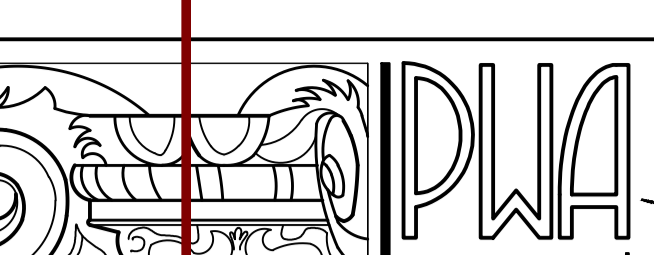
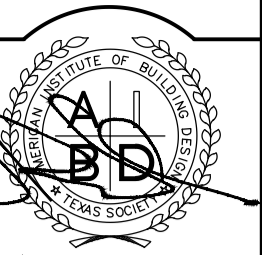
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City of Houston Texas

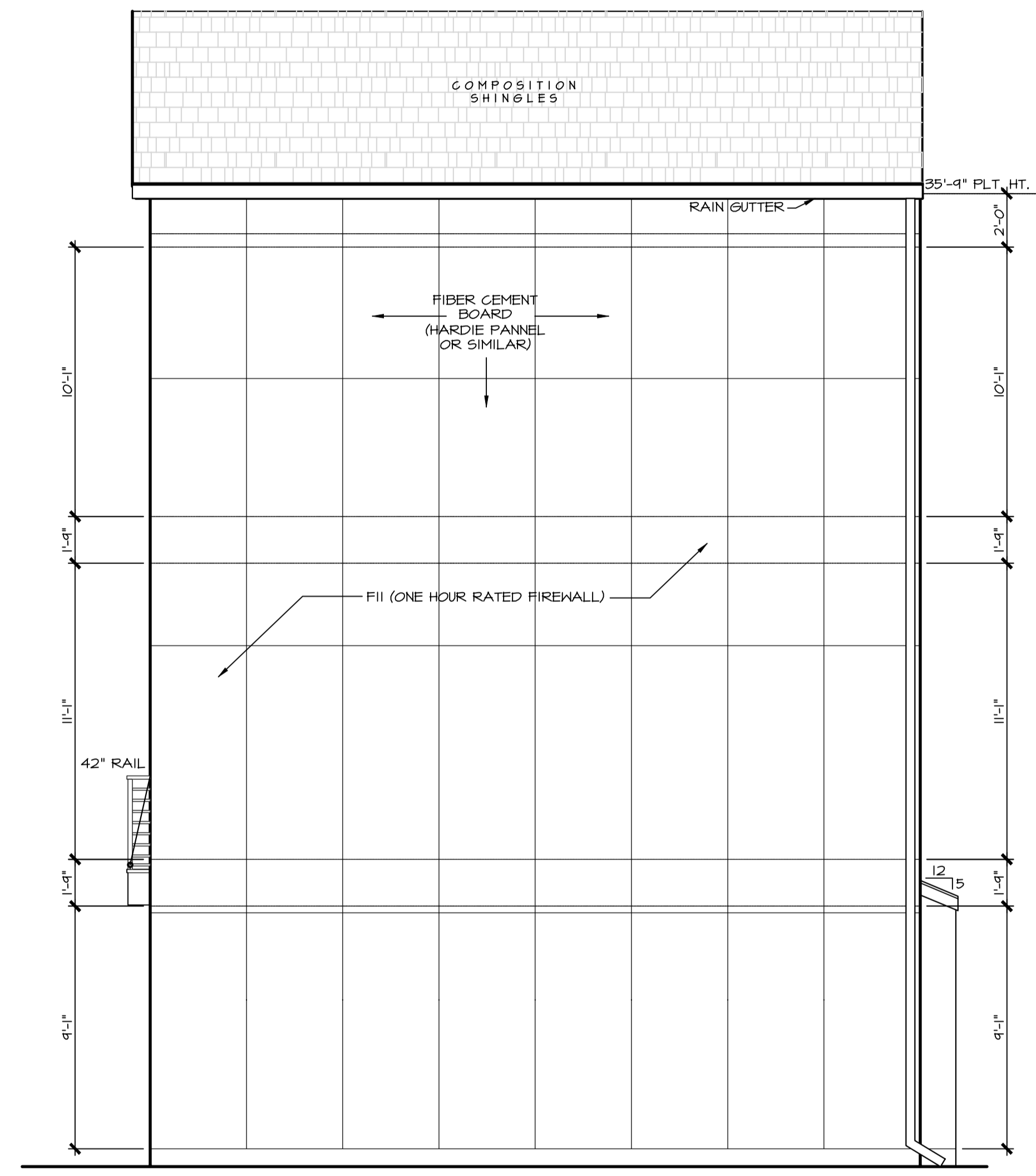
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RETRAW # E1036 B11

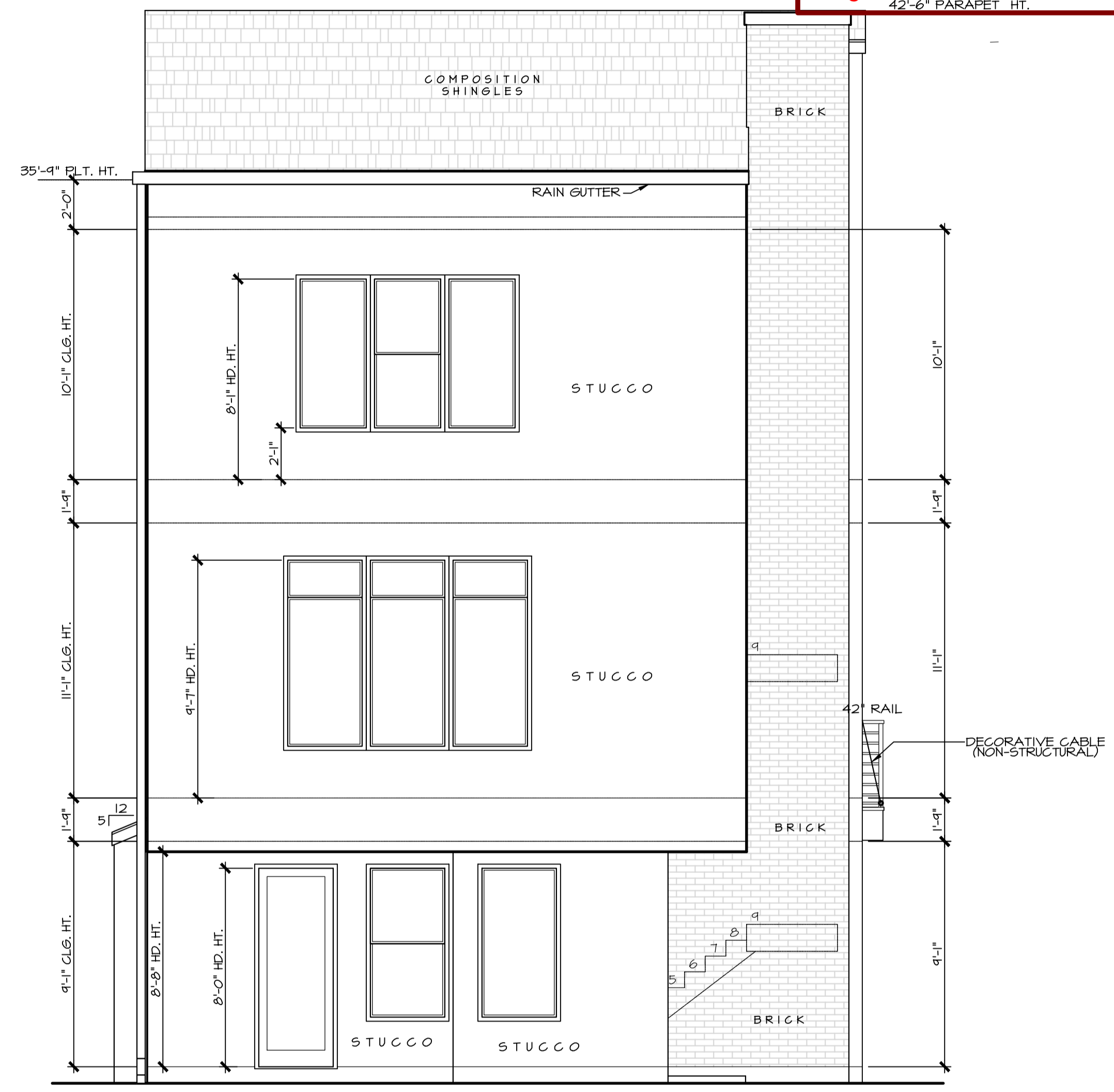
| DESIGNER | DATE    | PRODUCTION 1 | DATE    |
|----------|---------|--------------|---------|
| JFW      | 2-27-15 | AJK          | 1-28-16 |
| XXX      | X-X-XX  | XXX          | X-X-XX  |
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| XXX      | X-X-XX  | XXX          | X-X-XX  |
| XXX      | X-X-XX  | XXX          | X-X-XX  |
| XXX      | X-X-XX  | XXX          | X-X-XX  |

42'-6" PARAPET HT.



**LEFT ELEVATION**

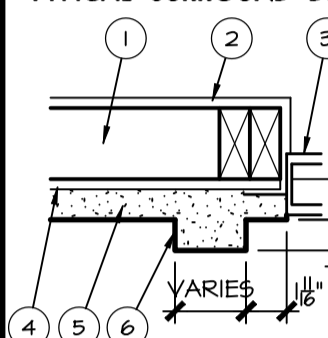
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**STUCCO DETAIL**  
 TYPICAL SURROUND DETAIL FOR DOORS AND WINDOWS



- 1) STUD WALL - PLAN VIEW.
- 2) INTERIOR FINISH.
- 3) WINDOW ASSEMBLY.
- 4) EXTERIOR SHEATHING.
- 5) STUCCO.
- 6) PROJECTED BANDING IN QUESTION.

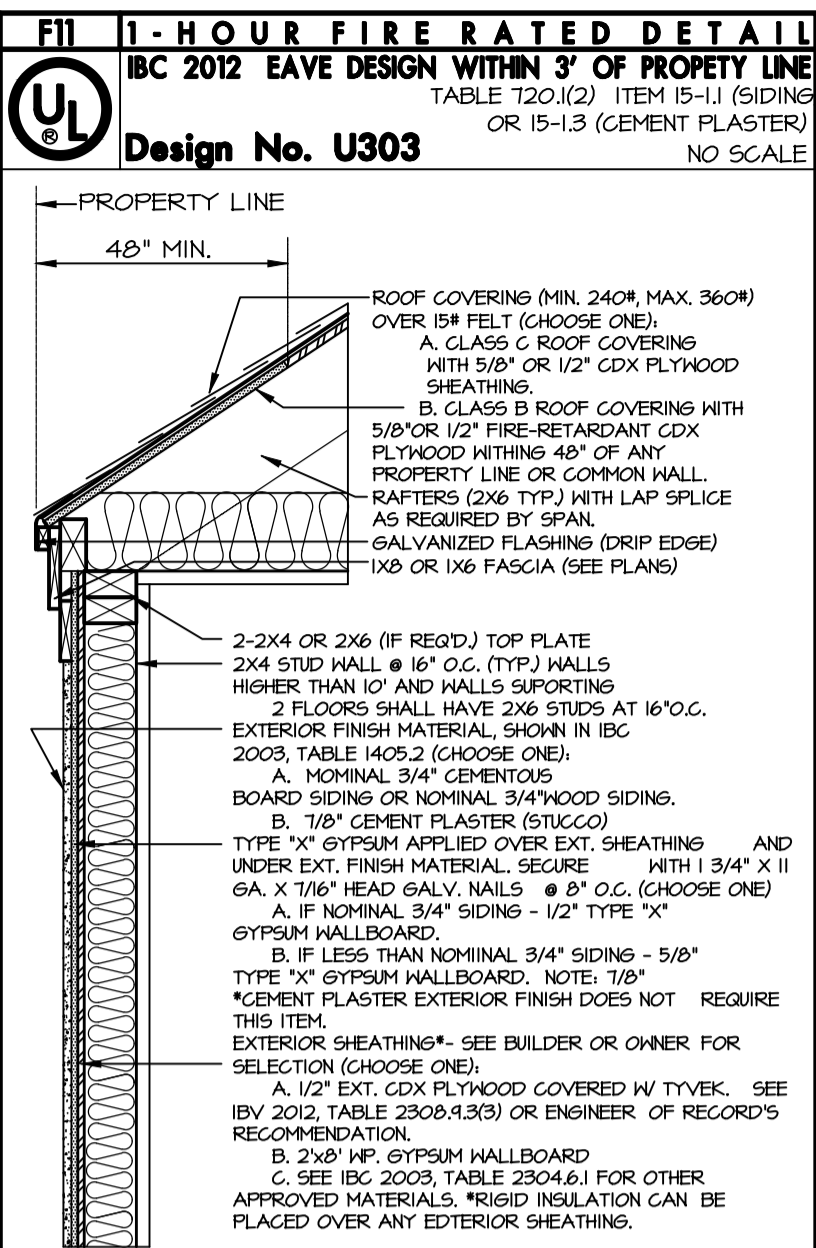
2" OFFSET AT ALL DOORS AND WINDOWS. (THIS AREA TO BE FINISHED WITH MATCHING PAINT TO THE DOORS AND WINDOWS). NOTE: WHEN FRAME BETWEEN WINDOWS OR DOOR/WINDOW SPACING IS 6" OR LESS, LEAVE AREA FLAT AND FINISH ENTIRE AREA TO MATCH WINDOW FRAME COLOR. WHEN FRAME IS GREATER THAN 6", ADD THE 2" OFFSET TO EACH SIDE TO MATCH WINDOW FRAMES, THEN RAISE 4" MIN. WIDE BAND BETWEEN AND FINISH IN TRIM COLOR.

**SQUARE FOOTAGES**

|                     |             |
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 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
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**ONE-HOUR FIRE RATED WALL WITH FLUSH OVERHANG HIP ROOF EAVE DETAIL (SIDING/STUCCO) WITHIN 3' OF PROPERTY LINE**

**STAIRS HANDRAIL & GUARDRAIL REQUIREMENTS** 2012 I.B.C.

- STAIRWAYS SHALL COMPLY WITH BUILDING CODE (2012 I.B.C., SECTION 1009.11).
- HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD. GUARDRAILS AT 36" TO 42" ABOVE FINISHED FLOOR. THE SPACE BETWEEN BALUSTERS CANNOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH. (2012 IBC, SECT. 1012.3).
- THE HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4", NOR MORE THAN 2" IN CROSS SECTION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE (2012 IBC, SECT. 1009.11.3).
- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NOT LESS THAN 6" BEYOND TOP AND BOTTOM RISERS AND SHALL TERMINATE INTO A NEHEL POST OR SAFETY TERMINAL NEHEL POST (THAT RAILING TERMINATES INTO) SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD. DWELLING STAIRWAYS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY (2012 IBC, SECT. 1009.11, EXCEPTION 2).
- IF THE UNDERSIDE OF STAIRWELL IS CLOSED OFF, PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD TO THE UNDERSIDE OF THE STAIRS.
- MINIMUM STAIR WIDTH BETWEEN HANDRAILS SHALL BE 30".

**STAIR & HANDRAIL NOTES**

**IBC 2012 - SECTION 1009 - STAIRWAYS & HANDRAILS**

1009.1 STAIRWAY WIDTH STAIRWAYS SERVING AN OCCUPANT LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36" (914MM).

1009.2 HEADROOM STAIRWAYS SHALL HAVE A MIN. HEADROOM CLEARANCE OF 80" (2032 MM) MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. EXCEPTION: SPIRAL STAIRWAYS COMPLYING WITH SECTION 1009.4 ARE PERMITTED A 78" (1981 MM) HEADROOM CLEARANCE.

1009.3 STAIR TREADS AND RISERS GROUP R-2, R-3 & U, THE MAXIMUM RISER HEIGHT SHALL BE 7.75" (197 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10" (254 MM). THE MINIMUM WINDER TREAD DEPTH AT THE WALK LINE SHALL BE 10" (254 MM), AND THE MINIMUM WINDER TREAD DEPTH SHALL BE 6" (152 MM). A NOSING NO LESS THAN 0.75" (19.1 MM) BUT NOT MORE THAN 1.25" (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11" (279 MM).

1009.4 DIMENSIONAL UNIFORMITY STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 0.375" (9.5 MM) IN ANY FLIGHT OF STAIRS.

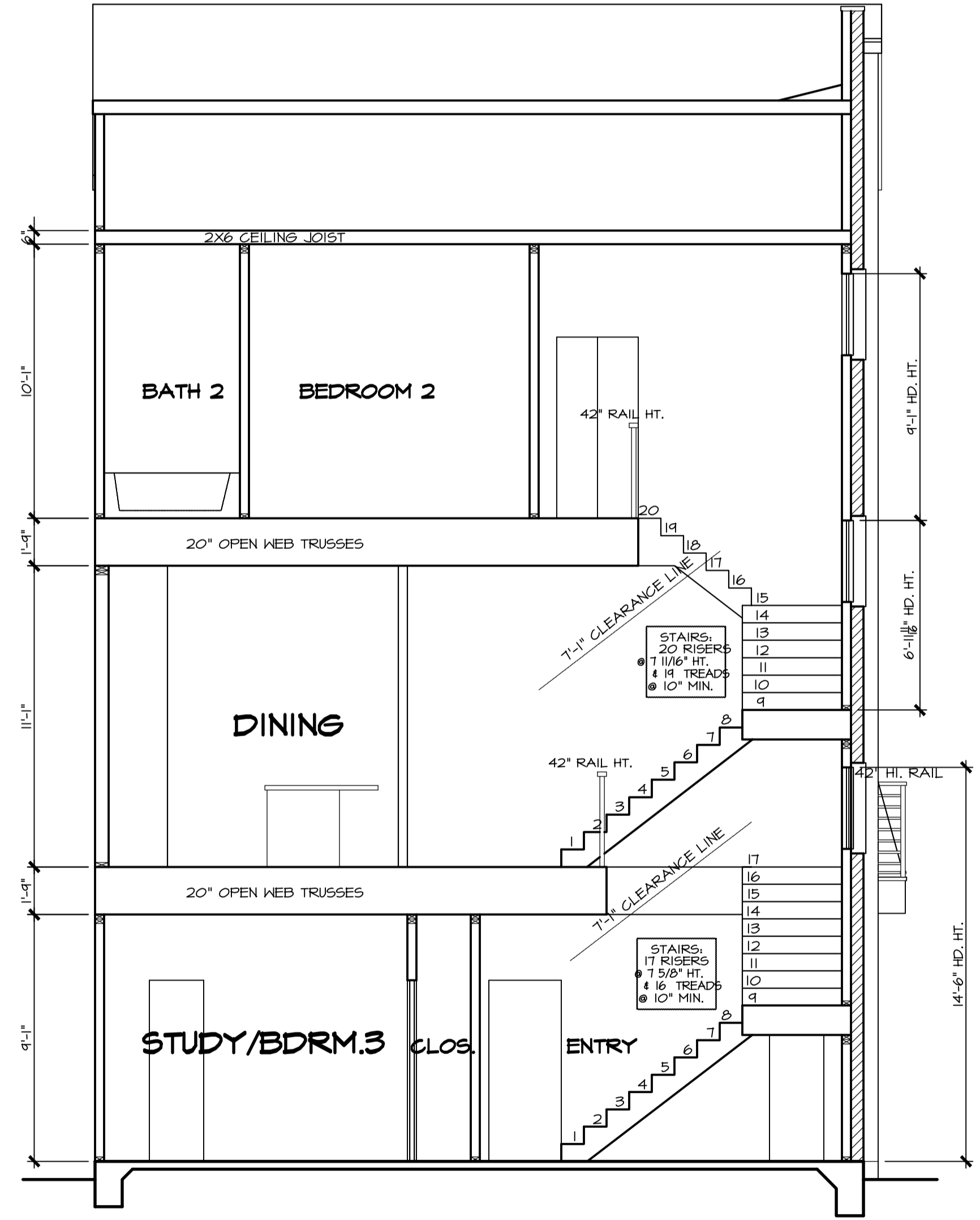
1009.5 STAIRWAY LANDINGS THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE.

1009.6 VERTICAL RISE A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12' (3658 MM) BETWEEN FLOOR LEVELS OR LANDINGS.

1009.7 HANDRAILS

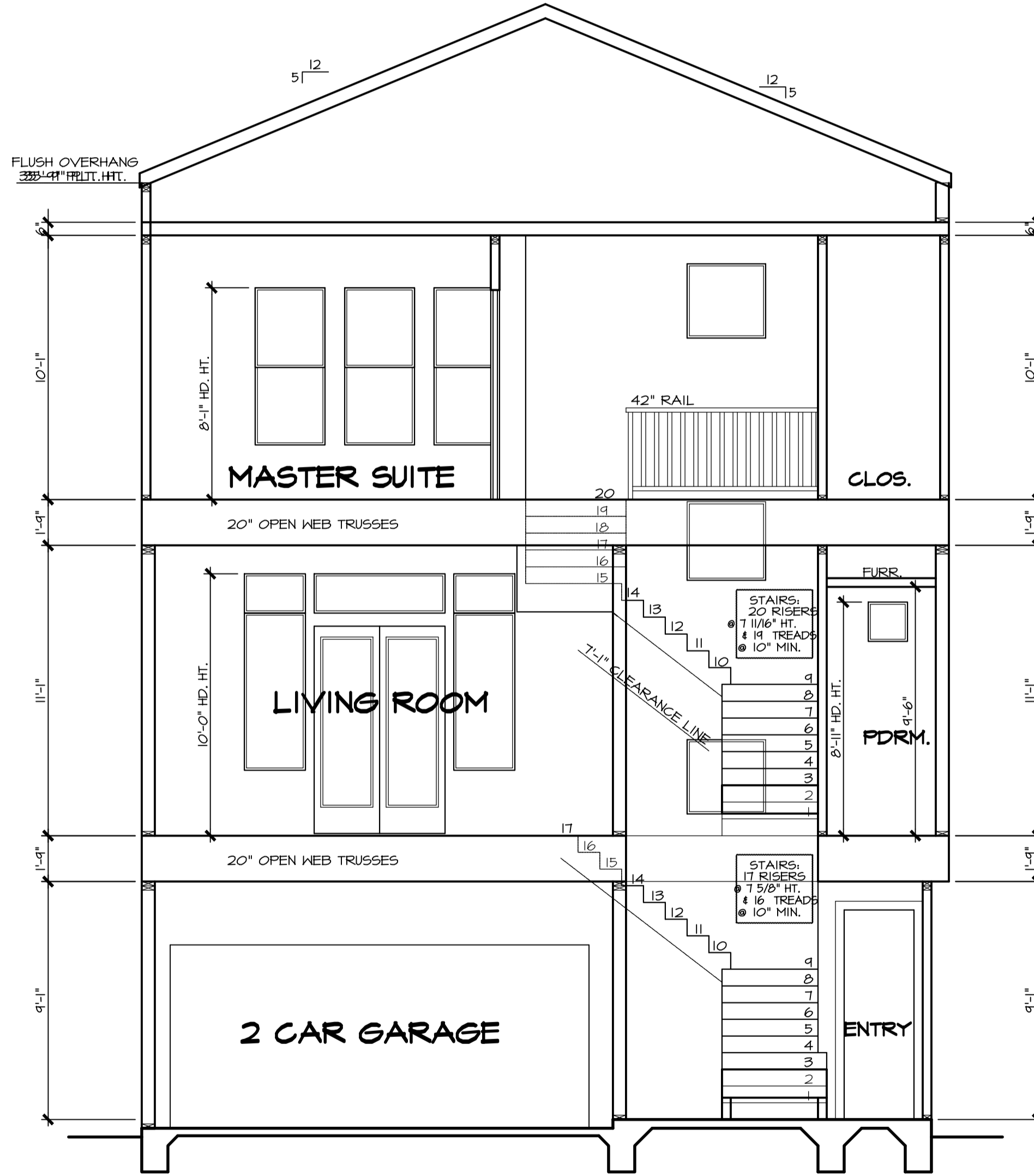
1009.7.1 HEIGHT HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34" (864 MM) AND NOT MORE THAN 38" (965 MM).

1009.7.2 HANDRAIL GRASPABILITY HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIA. OF AT LEAST 1.25" (32 MM) AND NOT GREATER THAN 2" (51 MM) OR SHALL PROVIDE EQUIVALENT GRASPABILITY. IF THE HANDRAIL IS CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" (102 MM) AND NOT GREATER THAN 6.25" (160 MM) WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2.25" (57 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).



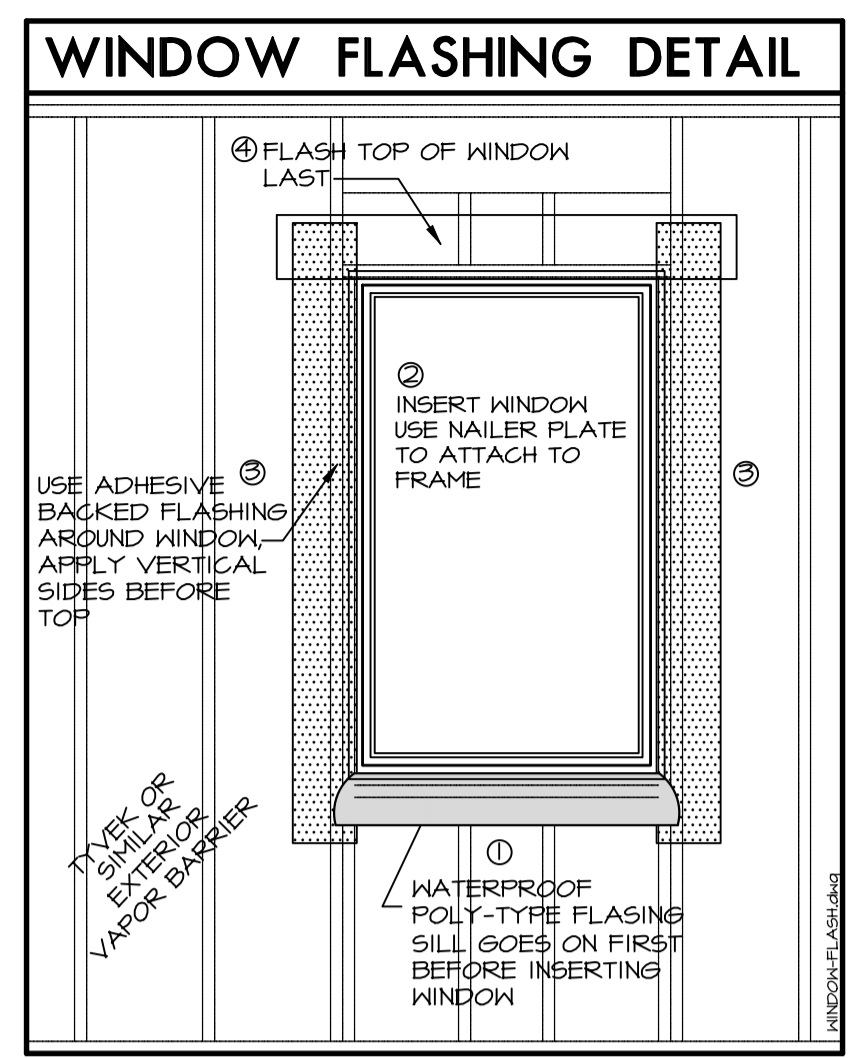
**SECTION A-A**

SCALE: 1/4" = 1'-0"  
 SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWINGS.



**SECTION B-B**

SCALE: 1/4" = 1'-0"  
 SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWINGS.



City of Houston Texas

17128764  
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PREPARED BY: EIO36 B.I.

CHANGES MADE NAME DATE

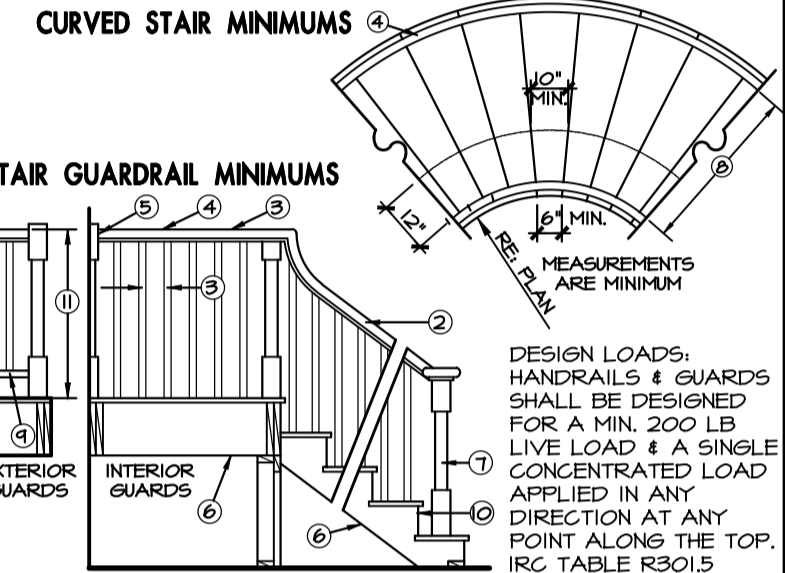
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 1113 Vine Street, Suite 240 Houston, TX 77002  
 phone: 713.523.2724 fax: 713.523.2690  
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|---------------|---------|-------------------|---------|
| DESIGNER:     | DATE:   | PRODUCTION 1:     | DATE:   |
| JFW           | 2-27-15 | AJK               | 1-28-16 |
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| XXX           | X-X-XX  | XXX               | X-X-XX  |
| PRODUCTION 4: | DATE:   | PRODUCTION 5:     | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |
| HVAC REVIEW:  | DATE:   | SENT TO ENGINEER: | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |
| CHECKED:      | DATE:   | CORRECTIONS:      | DATE:   |
| XXX           | X-X-XX  | XXX               | X-X-XX  |

**STAIRS HANDRAIL & GUARDRAIL REQUIREMENTS** 2012 I.B.C.



**STAIR AND GUARD NOTES:**

- STAIRWAYS (RAILS & STAIR RISER) SHALL COMPLY IRC 2012, SECTIONS R311.2, R311.5, R312 & TEL. R301.5.
- HANDRAILS TO BE 34"-38" ABOVE NOSE OF TREAD (IRC 2012, SECT. R311.5.6.1).
- GUARDRAILS AT 36"-42" ABOVE FINISHED FLOOR (IRC 2012, SECT. R312.1). SPACE BETWEEN BALUSTERS AT 4" MAX. (IRC 2012, SECT. R312.2).
- HAND GRIPPING PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4", NOR MORE THAN 2 5/8" IN CROSS SECTION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRASPING SURFACE (IRC 2012, SECT. R311.5.6.3).
- (ONE) HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NOT LESS THAN 6" BEYOND THE TOP AND BOTTOM RISERS AND SHALL TERMINATE INTO A NEHEL POST OR SAFETY TERMINAL (IRC SECT. 311.5.6). HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN WALL AND RAIL. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY (IRC 2012, SECT. R311.5.6.2, & 311.5).
- IF THE UNDERSIDE OF A STAIRWELL IS CLOSED OFF, PROVIDE 5/8" TYPE "X" FIRE RATED GYP. BOARD TO THE UNDERSIDE OF THE STAIR. (R311.2.2)
- NEHEL POST (THAT RAILING TERMINATES INTO) SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD. (R311.5.6.2)
- MINIMUM CLEAR WIDTH BETWEEN (AND BELOW) HANDRAILS SHALL BE 21" (DOUBLE), AND 31 1/2" (SINGLE RAIL). SEE IRC 2012, SECT. R311.5.
- EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RISER.
- MAXIMUM RISER HEIGHT IS 7 3/4". MINIMUM TREAD WIDTH IS 10" (IRC 2012, SECT. R311.5.3.1 & R311.5.3.2)
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" (FINISHED HEIGHT), MEASURED VERTICALLY FROM GLOFED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (IRC 2012, SECT. R311.5.2).

**SQUARE FOOTAGES**

|                |      |
|----------------|------|
| FIRST FLOOR:   | 364  |
| SECOND FLOOR:  | 836  |
| THIRD FLOOR:   | 775  |
| TOTAL LIVING:  | 1975 |
| GARAGE:        | 371  |
| PORTE-COCHERE: | 41   |
| PORCH:         | 11   |
| TOTAL SLAB:    | 837  |
| BALCONY:       | 21   |
| A/C NICHE:     | 18   |

TOTAL COVER: 2487

**PSM BUILDERS LLC**  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
 3107B SAINT CHARLES HOUSTON, TX 77004

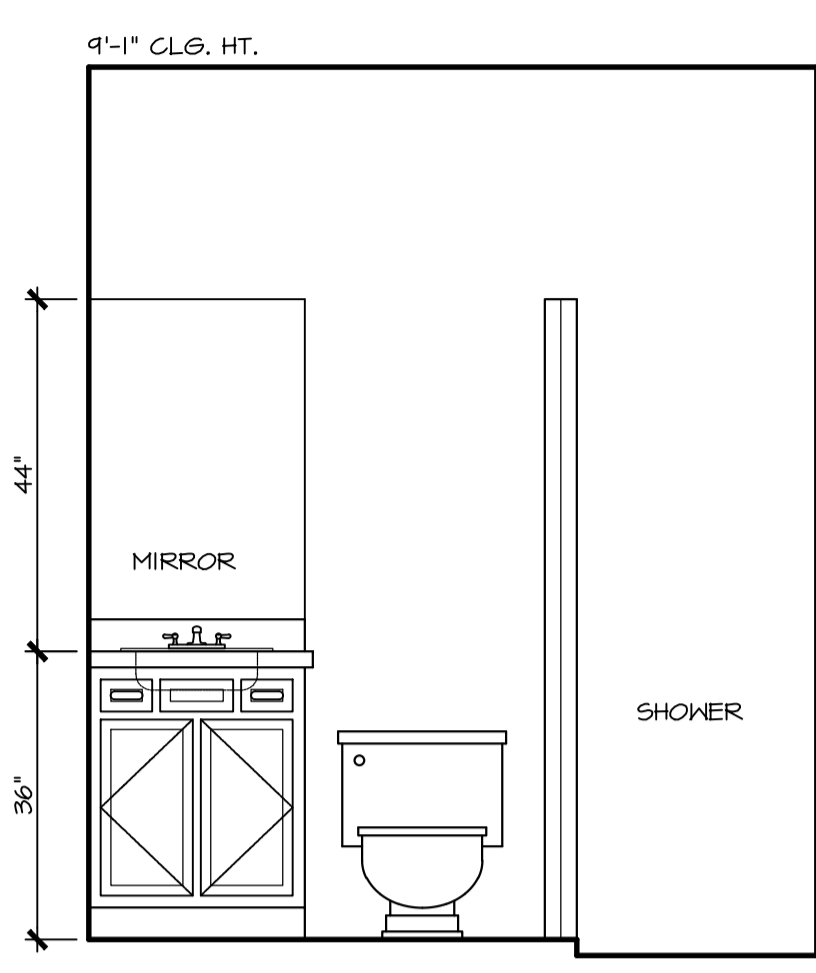
JOB #  
**E7095 A1.Rv2** 7 OF 12

PERMIT SET ISSUE DATE: 6 November 2017

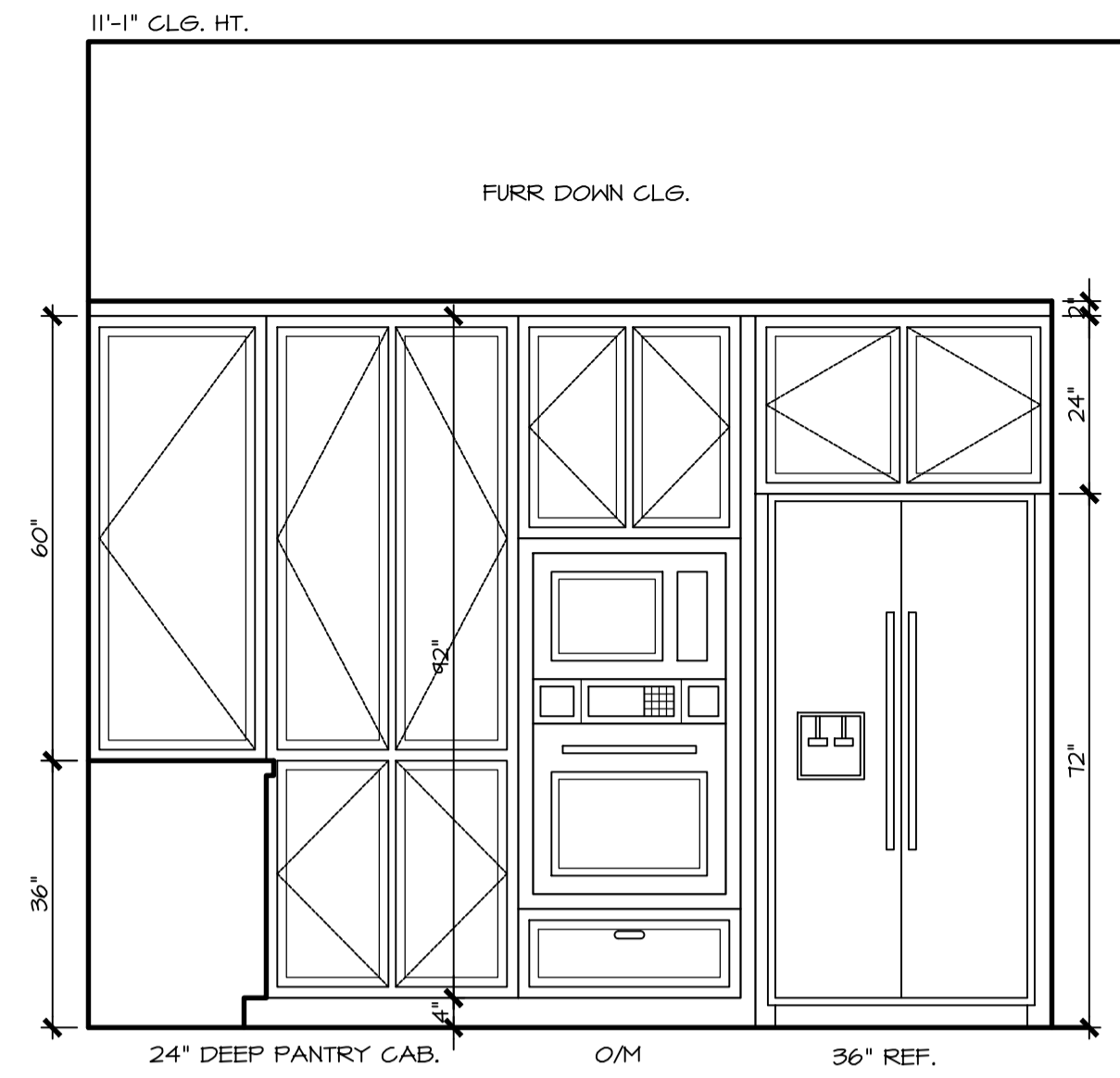
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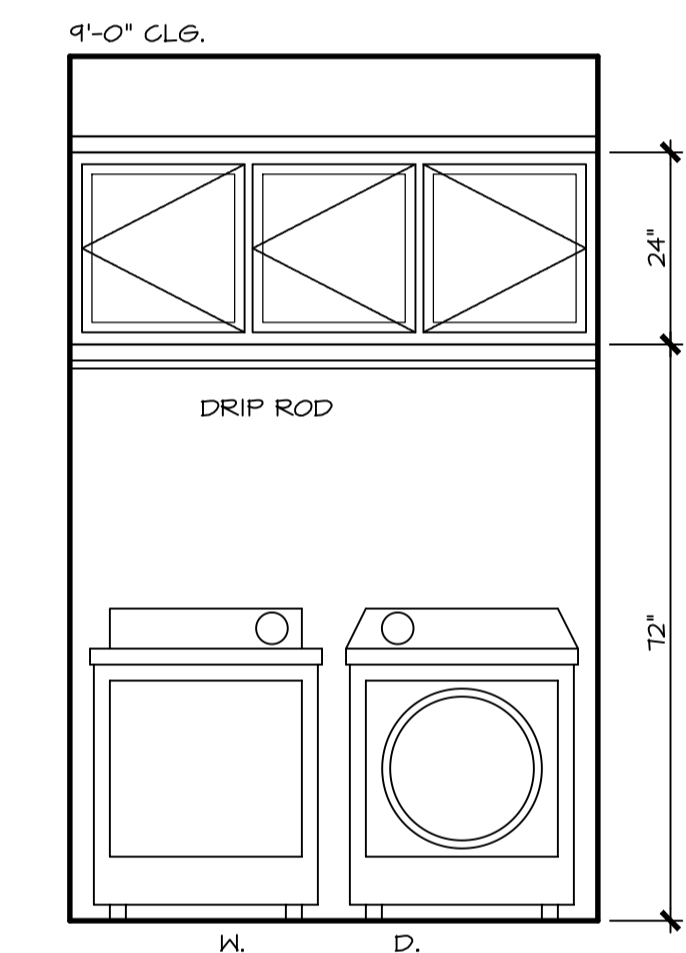
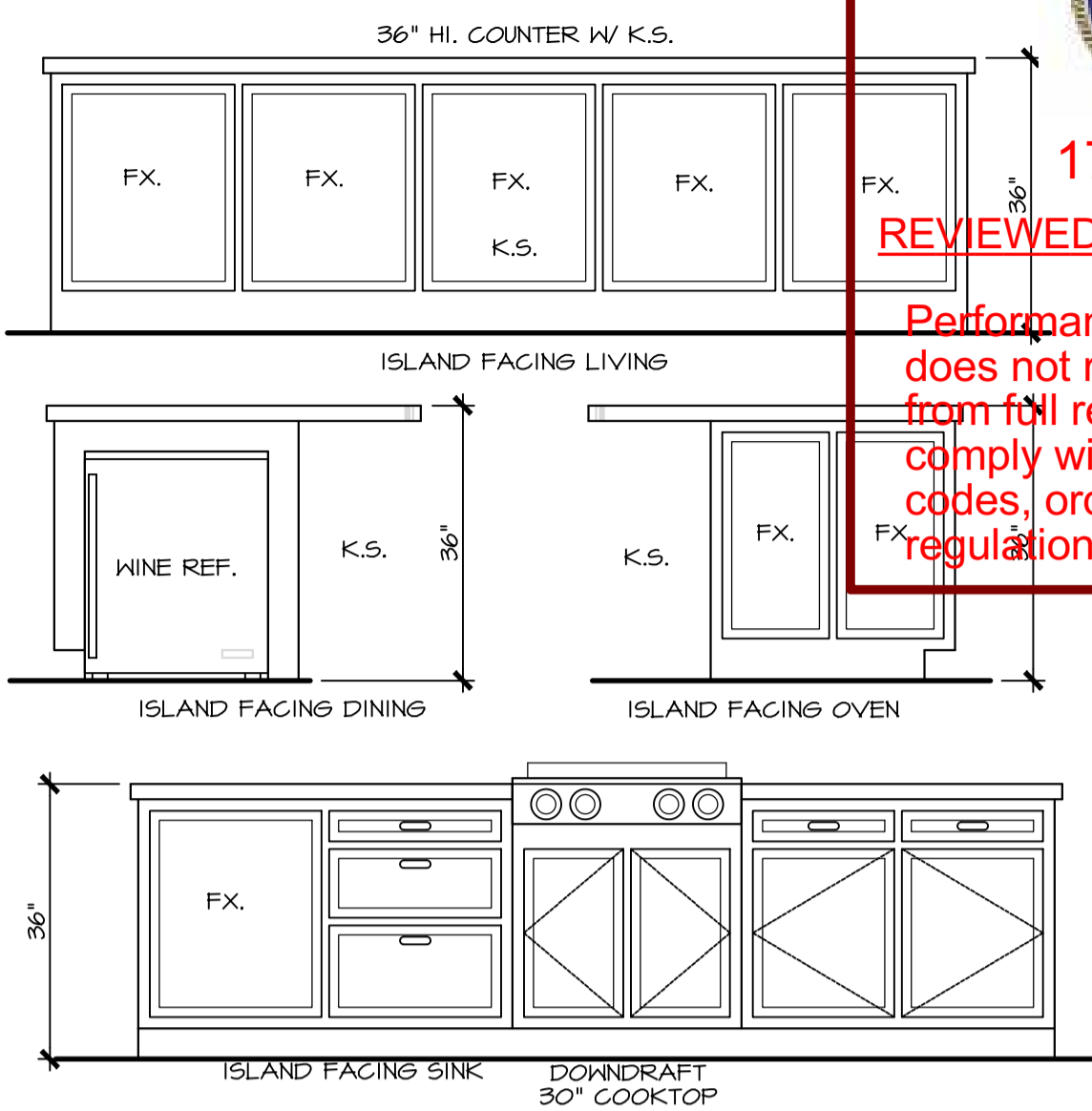
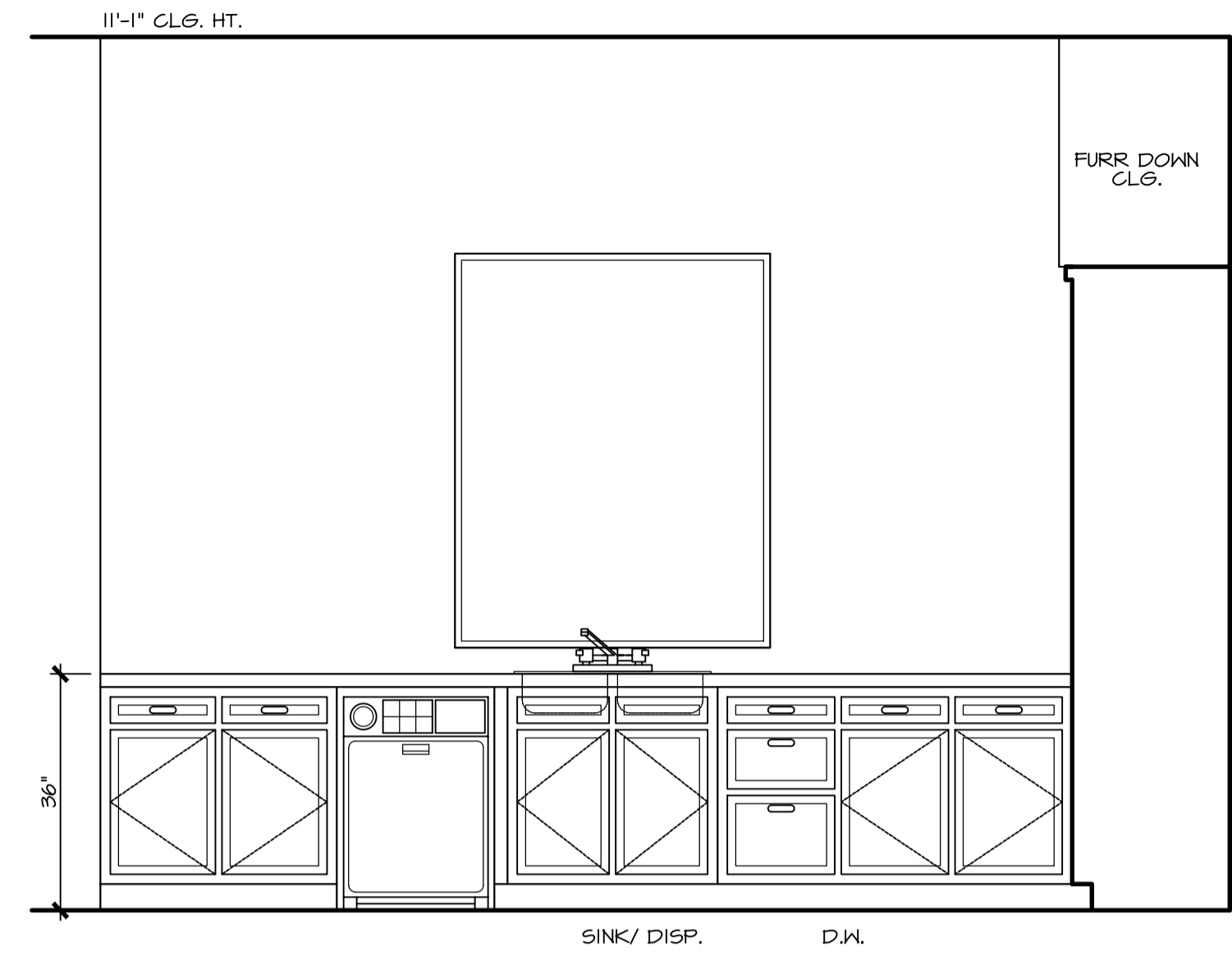
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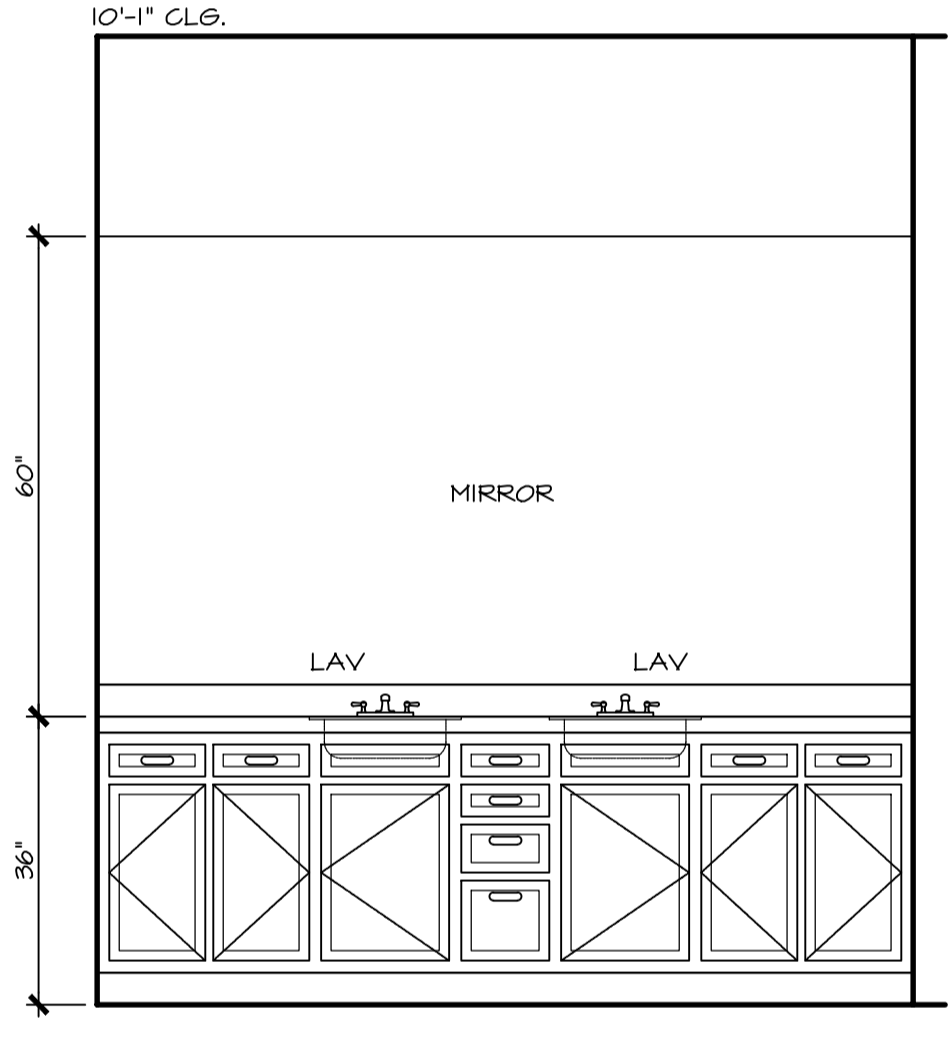
**BATH 3**



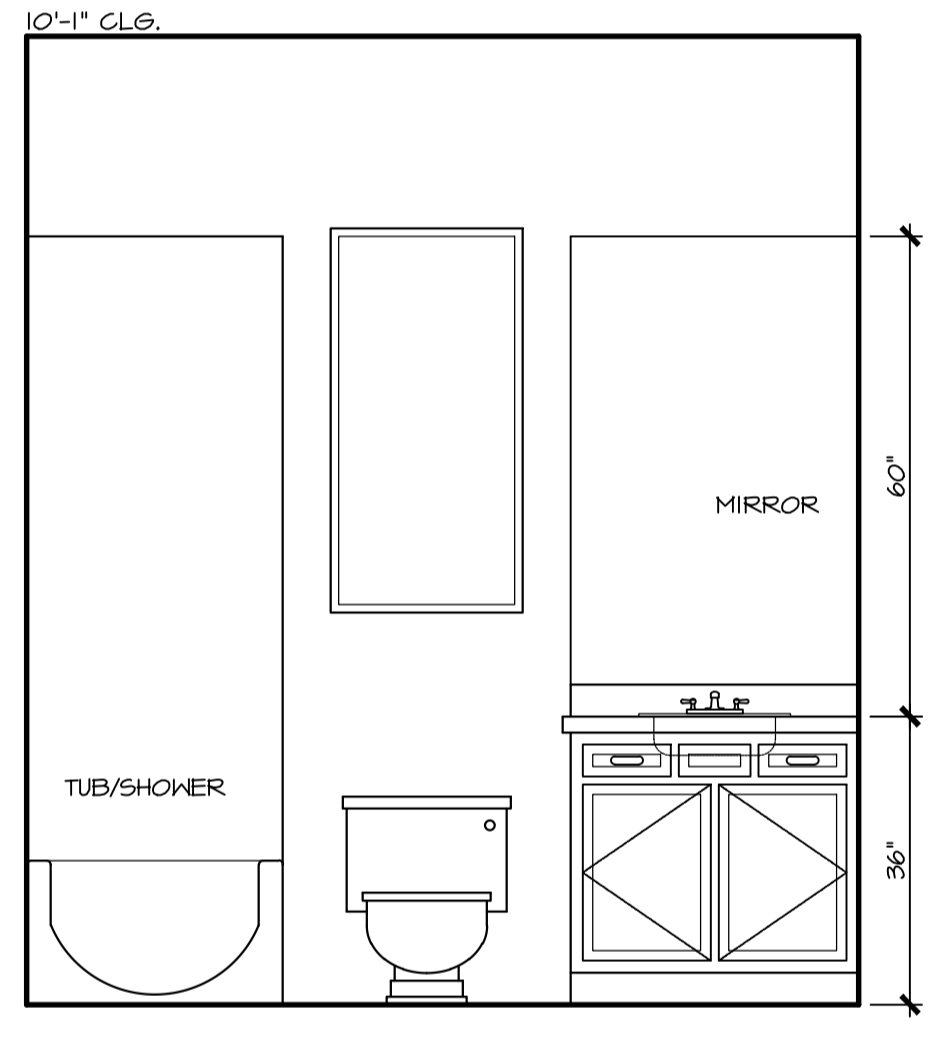
**KITCHEN**



**UTILITY**





**MASTER BATH**



**BATH 2**

City of Houston Texas

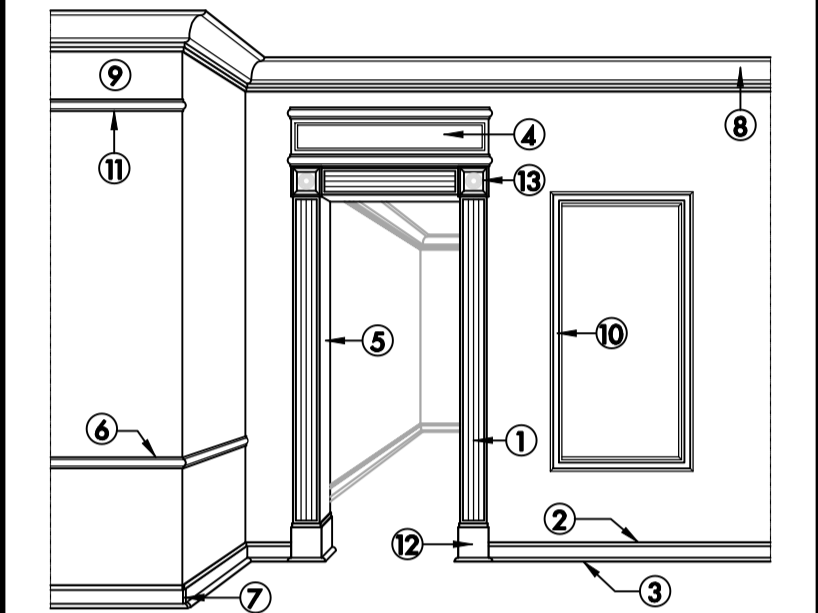
17128764  
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|---------------|--------|-------------------|--------|
| DESIGNER:     | DATE:  | PRODUCTION 1:     | DATE:  |
| XXX           | X-X-XX | GEO               | 5-1-14 |
| PRODUCTION 2: | DATE:  | PRODUCTION 3:     | DATE:  |
| XXX           | X-X-XX | XXX               | X-X-XX |
| PRODUCTION 4: | DATE:  | PRODUCTION 5:     | DATE:  |
| XXX           | X-X-XX | XXX               | X-X-XX |
| CHECK SET:    | DATE:  | SENT TO ENGINEER: | DATE:  |
| XXX           | X-X-XX | XXX               | X-X-XX |
| CHECKED:      | DATE:  | CORRECTIONS:      | DATE:  |
| XXX           | X-X-XX | XXX               | X-X-XX |

**MOULDING DEFINITIONS**



1. ARCHITRAVE - THE MOULDED FRAME SURROUNDING A DOOR, WINDOW OR C.O. - ALSO CALLED CASING.
2. BASEBOARD - THE BOARD (PLAIN OR MOULDED) WHICH RUNS AROUND THE BOTTOM OF AN INTERIOR WALL AND COVERS THE JUNCTION OF THE FLOORBOARDS WITH THE WALL.
3. BASEBOARD SHOE - A THIN PIECE OF MOULDING USED TO CONCEAL THE GAP BETWEEN THE BOTTOM OF THE BASEBOARD AND THE FLOOR.
4. CABINET HEAD - IS THE BOXED-IN HEAD AT THE TOP OF AN ARCHITRAVE (DOOR FRAME).
5. CASING - THE INNER PART OF THE FRAME IN WHICH THE DOOR OR WINDOW IS HUNG. IT IS ALSO WHERE THE ARCHITRAVE AND OTHER TRIM DETAILS, SUCH AS STOPS ARE FIXED. THE CASING IS COMPRISED OF THE HEAD & JAMB. SEE ARCHITRAVE DEFINITION.
6. CHAIR RAIL - A HORIZONTAL PIECE (PLAIN OR MOULDED) ATTACHED 32" ABOVE THE FLOOR PARALLEL TO THE BASEBOARD.
7. CORNER BLOCK - A THIN BLOCK (PLAIN OR MOULDED) FOR INSIDE AND OUTSIDE CORNERS, USUALLY THE SAME HEIGHT AS THE BASEBOARD.
8. CROWN MOULDING - ANY MOULDING USED FOR THE CROWNING OR TOP FINISHING MEMBER OF A STRUCTURE, MOST COMMONLY USED IN HIGH CORNERS (WALL & C.E.S.).
9. FRIEZE - THE SPACE BETWEEN THE CEILING AND THE PICTURE RAILING (BETWEEN THE CROWN AND THE RAIL).
10. PANEL MOULDING - A DECORATIVE (PLAIN OR MOULDED) FLATBACK PIECE USED TO FRAME-OUT A RECTANGLE OR SQUARE ON A WALL.
11. PICTURE RAIL - IS A HORIZONTAL MOULDING WHICH RUNS AROUND A ROOM JUST BELOW THE CEILING.
12. FLINTH BLOCK - A BLOCK OF WOOD PLACED AT THE DOOR MOULDINGS TO SEPERATE THE BASEBOARD FROM THE ARCHITRAVE.
13. ROSETTE - A DECORATIVE (PLAIN OR MOULDED) BLOCK USED AT THE UPPER CORNER OF A DOOR, WINDOW OR C.O. ATTACHED TO THE ARCHITRAVE TO ELIMINATE THE NEED FOR MITERED ARCHITRAVE CORNERS.

**MILLWORK**

SCALE: 1/2" = 1'-0"

THE OWNER AND BUILDER TO DETERMINE FINAL MATERIAL MAKEUP AND FINISHES. ALL VIEWS SHOWN ARE SIMPLIFIED FOR CLARITY.

**PSM BUILDERS LLC**  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
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City of Houston Texas

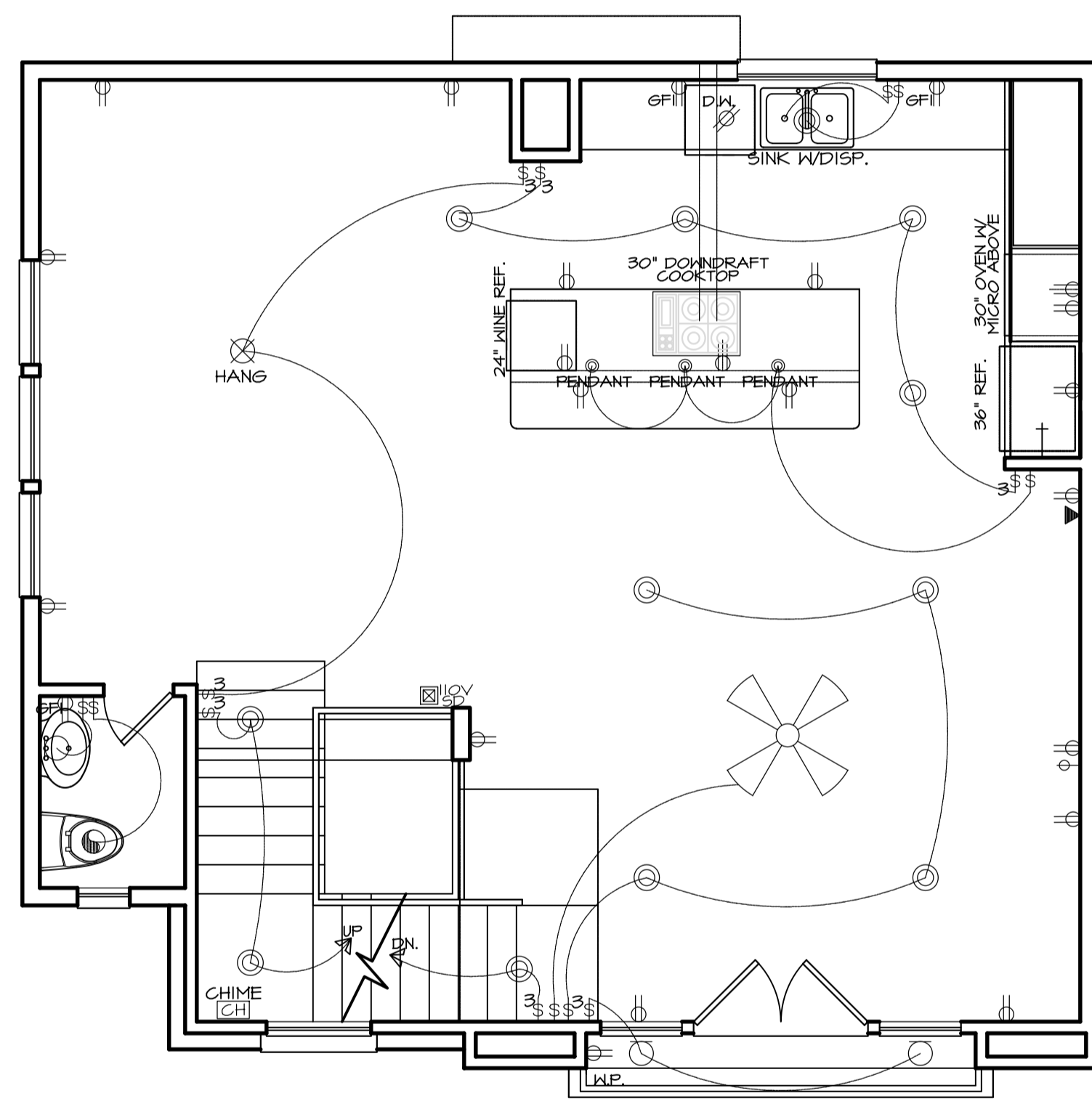
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**Jack Preston Wood P&D Certification: TX-431**  
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|---------------|---------|-------------------|---------|
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| JFW           | 2-27-15 | AJK               | 1-28-16 |
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| XXX           | X-X-XX  | XXX               | X-X-XX  |
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| XXX           | X-X-XX  | XXX               | X-X-XX  |
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## SECOND FLOOR ELECTRICAL

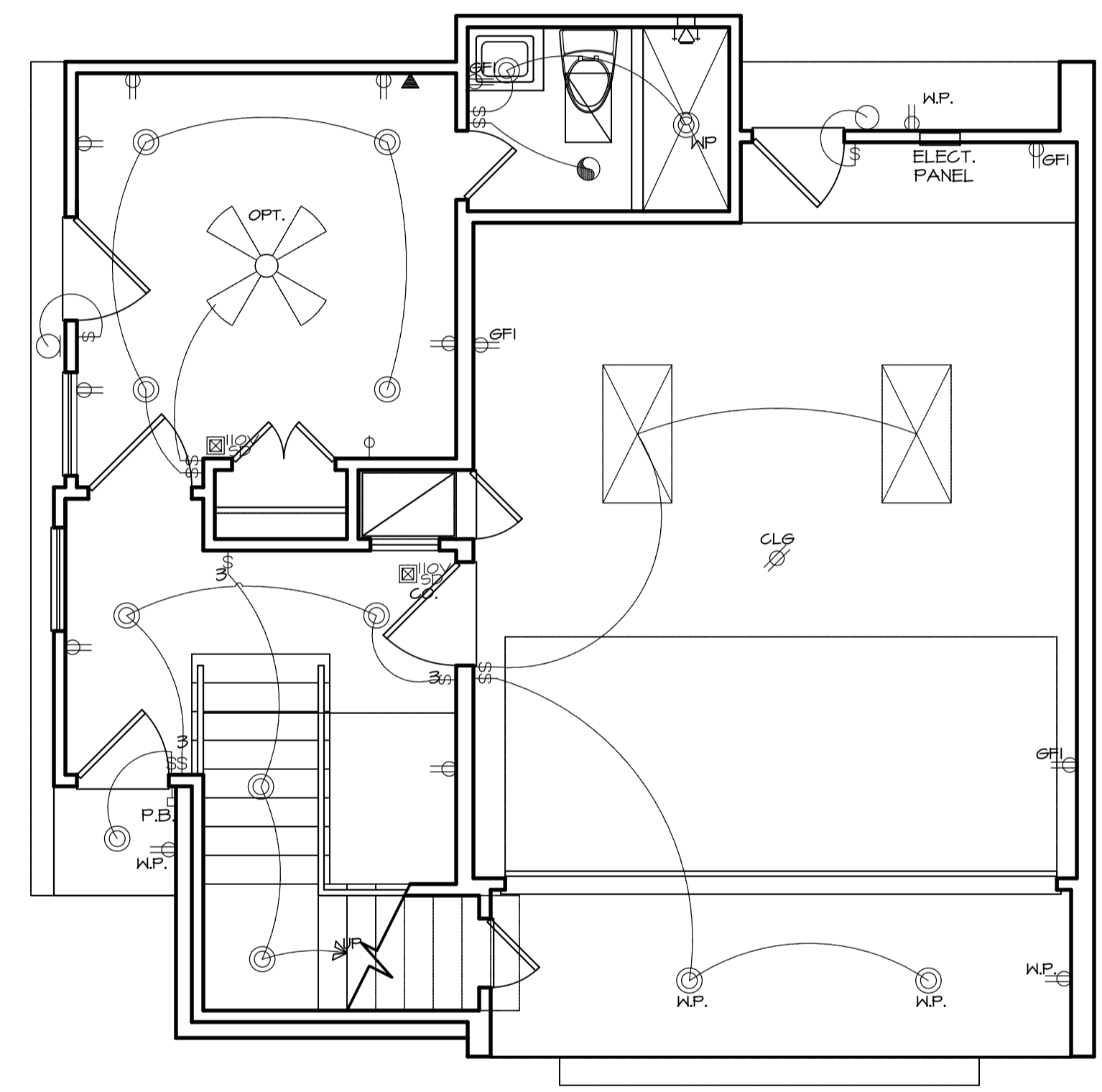
SCALE: 1/4" = 1'-0"

**SMOKE ALARM NOTE** 2012 I.R.C. SECTION: R313 SMOKE ALARMS  
SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).

**R313.2 SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:**

1. IN EACH SLEEPING ROOM.
2. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS, BUT NOT INCLUDING CRAWL SPACES & UNINHABITABLE ATTICS.

**R313.2.1 ALTERATIONS, REPAIRS AND ADDITIONS.**  
WHEN INTERIOR ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD WIRED.



## FIRST FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"

| REVISION # | DESCRIPTION | DATE |
|------------|-------------|------|
|            |             |      |

### ELECTRICAL SYMBOLS & NOTES

|  |                                                    |  |                                                       |
|--|----------------------------------------------------|--|-------------------------------------------------------|
|  | 110 VOLT RECEPTACLE                                |  | FLOOD LIGHTS                                          |
|  | 110 VOLT W/ GROUND FAULT INTERRUPTOR               |  | UNDER CABINET LIGHT                                   |
|  | 110 VOLT IN CEILING                                |  | OVER CABINET LIGHT                                    |
|  | WATERPROOF G.F.I.                                  |  | IN CABINET LIGHT                                      |
|  | 110 VOLT IN FLOOR                                  |  | 2'X4' FLUORESCENT LIGHT BOX (1'X4' AND 4'X4' SIMILAR) |
|  | 110 VOLT 1/2 SWITCHED                              |  | ELECT. PANEL                                          |
|  | 220 VOLT RECEPTACLE                                |  | ELECT. METER                                          |
|  | RGU CABLE RECEPTACLE (TV CABLE/SATELLITE)          |  | INTERCOM                                              |
|  | TELEPHONE OUTLET                                   |  | SECURITY KEYPAD                                       |
|  | NETWORK                                            |  | SECURITY CAMERA                                       |
|  | SINGLE POLE SWITCH                                 |  | SMOKE DETECTOR w/ BATTERY BACKUP                      |
|  | THREE WAY SWITCH                                   |  | COMBO SMOKE & CARBON-MONOXIDE DET. w/ BATT. BACKUP    |
|  | FOUR WAY SWITCH                                    |  | CHIMES                                                |
|  | DIMMER SWITCH (RHEOSTAT)                           |  | SPEAKER                                               |
|  | PUSH BUTTON SWITCH                                 |  | VOLUME CONTROL                                        |
|  | SMOKE DETECTOR w/ BATTERY BACKUP                   |  | CEILING MOUNTED FIXTURE                               |
|  | COMBO SMOKE & CARBON-MONOXIDE DET. w/ BATT. BACKUP |  | HANGING LIGHT                                         |
|  | CHIMES                                             |  | RECESSED CAN                                          |
|  | SPEAKER                                            |  | WATERPROOF RECESSED CAN                               |
|  | VOLUME CONTROL                                     |  | CEILING FAN                                           |
|  | CEILING MOUNTED FIXTURE                            |  | CEILING FAN w/ LIGHT                                  |
|  | HANGING LIGHT                                      |  | RECESSED EYEBALL SPOT                                 |
|  | RECESSED CAN                                       |  | WALL MOUNTED FIXTURE                                  |
|  | WATERPROOF RECESSED CAN                            |  | PORCELAIN FIXTURE w/ FULL CORD                        |
|  | CEILING FAN                                        |  | EXHAUST FAN                                           |
|  | CEILING FAN w/ LIGHT                               |  | PENDANT LIGHT                                         |
|  | RECESSED EYEBALL SPOT                              |  | CEILING LIGHT w/ OPTIONAL FAN (PREFIRE AND BLOCK)     |
|  | WALL MOUNTED FIXTURE                               |  |                                                       |
|  | PORCELAIN FIXTURE w/ FULL CORD                     |  |                                                       |
|  | EXHAUST FAN                                        |  |                                                       |
|  | PENDANT LIGHT                                      |  |                                                       |

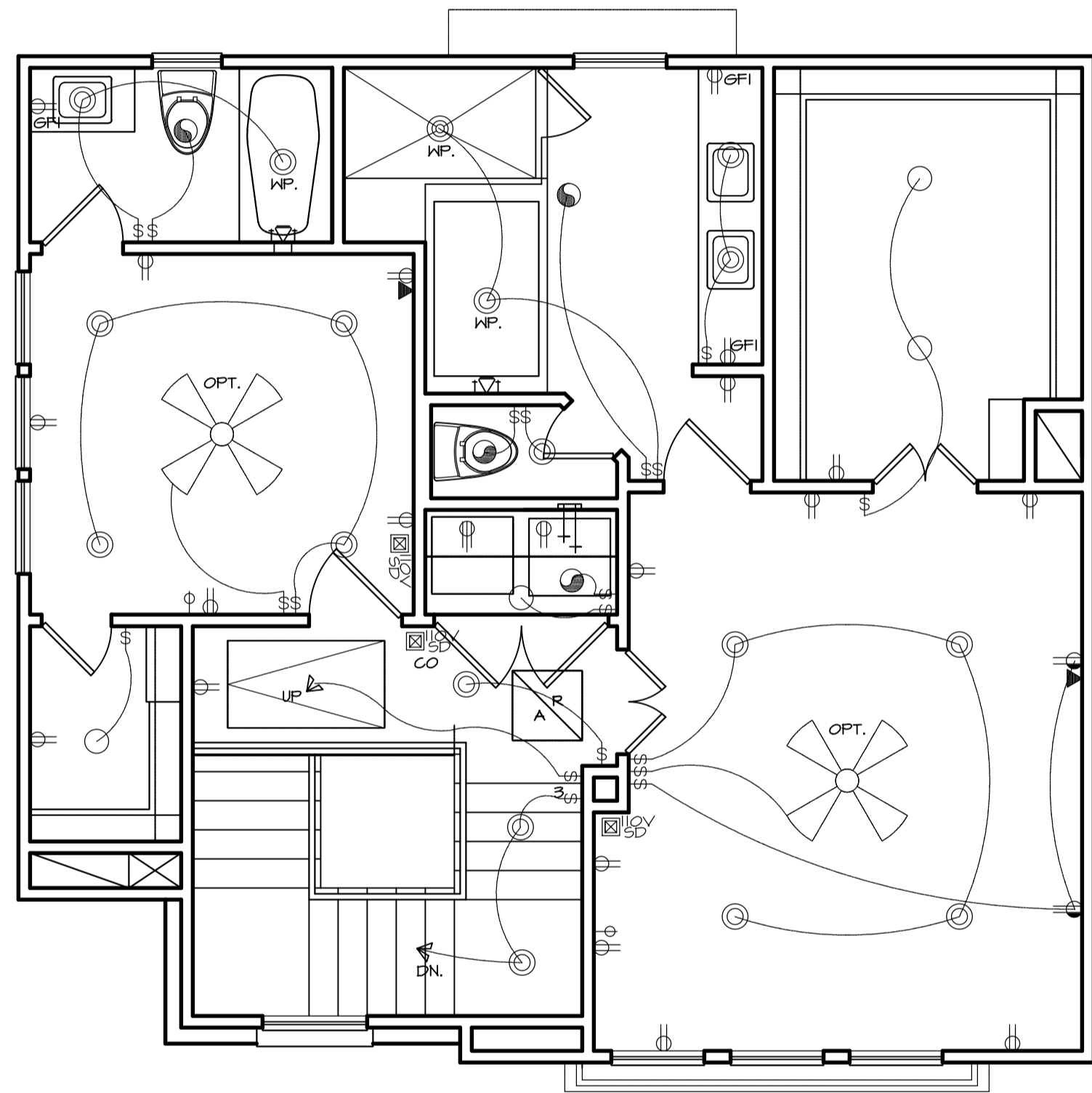
### ELECTRICAL NOTES

- 1) SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
  - 2) PROVIDE GFI OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
  - 3) RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTOLIER 1102 IC - 1105 OR EQUAL.
  - 4) PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OFFERED) ATTIC ACCESS.
  - 5) PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
  - 6) ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 3'-0" FROM ANY PROPERTY LINE. DRIPPER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
  - 7) WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SAFETY AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.
- ELECTRICAL NOTE:**  
ELECTRICAL PLANS ARE PROVIDED FOR DESIGN INTENT ONLY. VERIFY LOCATIONS OF FIXTURES, SWITCHES, OUTLETS AND EQUIPMENT WITH A LICENSED PROFESSIONAL ELECTRICIAN.

### SQUARE FOOTAGES

|                     |             |
|---------------------|-------------|
| FIRST FLOOR:        | 364         |
| SECOND FLOOR:       | 836         |
| THIRD FLOOR:        | 775         |
| TOTAL LIVING:       | 1975        |
| GARAGE:             | 371         |
| PORTE-COCHERE:      | 41          |
| PORCH:              | 11          |
| TOTAL SLAB:         | 837         |
| BALCONY:            | 21          |
| A/C NICHE:          | 18          |
| <b>TOTAL COVER:</b> | <b>2487</b> |

**PSM BUILDERS LLC**  
PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
3107B SAINT CHARLES HOUSTON, TX 77004



# THIRD FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



17128764

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations 04/16/18

**PWA**

**Preston Wood & Associates, LLC**  
 1113 Vine Street, Suite 240 Houston, TX 77002  
 phone: 713.522.2724 fax: 713.523.2690  
 www.jackprestonwood.com  
 Jack Preston Wood PBD Certification: TX-431  
 AMERICAN INSTITUTE OF BUILDING DESIGN

|               |         |                   |             |
|---------------|---------|-------------------|-------------|
| DESIGNER:     | DATE:   | PRODUCTION 1:     | DATE:       |
| JPW           | 2-21-15 | AJK               | 1-28-16     |
| PRODUCTION 2: | DATE:   | PRODUCTION 3:     | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |
| PRODUCTION 4: | DATE:   | PRODUCTION 5:     | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |
| ITAC REVIEW:  | DATE:   | SENT TO ENGINEER: | DATE:       |
| XXX           | X-X-XX  | XXX               | FIRM X-X-XX |
| CHECKED:      | DATE:   | CORRECTIONS:      | DATE:       |
| XXX           | X-X-XX  | XXX               | X-X-XX      |

| REDRAW # | EIO36 B.1 | CHANGES MADE | NAME | DATE |
|----------|-----------|--------------|------|------|
|          |           |              |      |      |
|          |           |              |      |      |

### SQUARE FOOTAGES

|                     |             |
|---------------------|-------------|
| FIRST FLOOR:        | 364         |
| SECOND FLOOR:       | 836         |
| THIRD FLOOR:        | 775         |
| TOTAL LIVING:       | 1975        |
| GARAGE:             | 371         |
| PORTE-COCHERE:      | 91          |
| PORCH:              | 11          |
| TOTAL SLAB:         | 837         |
| BALCONY:            | 21          |
| A/C NICHE:          | 18          |
| <b>TOTAL COVER:</b> | <b>2487</b> |

**PSM BUILDERS LLC**  
PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
3107B SAINT CHARLES HOUSTON, TX 77004

JOB # **E7095 A1.1Rv2** **10** OF **12**  
PERMIT SET ISSUE DATE: 6 November 2017

**PLWA**

Preston Wood & Associates, LLC  
1113 Vine Street, Suite 240 Houston, TX 77002  
phone: 713.522.2724 fax: 713.523.2690  
www.jackprestonwood.com

**17128764**

**REVIEWED FOR COMPLIANCE**

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations **04/16/18**

| DESIGNER     | DATE    | PRODUCTION 1     | DATE    |
|--------------|---------|------------------|---------|
| JFW          | 2-27-15 | AJK              | 1-28-16 |
| PRODUCTION 2 | DATE    | PRODUCTION 3     | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| PRODUCTION 4 | DATE    | PRODUCTION 5     | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| HVAC REVIEW  | DATE    | SENT TO ENGINEER | DATE    |
| XXX          | X-X-XX  | XXX              | X-X-XX  |
| CHECKED      | DATE    | FIRM             | X-X-XX  |
| XXX          | X-X-XX  | XXX              | X-X-XX  |

**R806 ROOF VENTILATION**

**R806.1 VENTILATION REQUIRED -- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" INCH MINIMUM TO 1/4" INCH MAXIMUM OPENINGS.**

**R806.2 MINIMUM AREA --** THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/500 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICHE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICHE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATING AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM (5.7 x 10<sup>-11</sup> KG/S X M2 X PA) IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

**R806.3 VENT AND INSULATION CLEARANCE --** WHERE EAVE OR CORNICHE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

**R806.4 CONDITIONED ATTIC ASSEMBLIES --** UNVENTED CONDITIONED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) ARE PERMITTED UNDER THE FOLLOWING CONDITIONS:

1. NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY.
2. AN AIR-IMPERMEABLE INSULATION IS APPLIED IN DIRECT CONTACT TO THE UNDERSIDE/INTERIOR OF THE STRUCTURAL ROOF DECK. "AIR-IMPERMEABLE" SHALL BE DEFINED BY ASTM E 2033. EXCEPTION: IN ZONES 2B AND 3B, INSULATION IS NOT REQUIRED TO BE AIR IMPERMEABLE.
3. IN THE WARM HUMID LOCATIONS AS DEFINED IN SECTION N101.2.1:
  - 3.1. FOR ASPHALT ROOFING SHINGLES: A I-PERM (5.7 x 10<sup>-11</sup> KG/S X M2 X PA) OR LESS VAPOR RETARDER (DETERMINED USING PROCEDURE B OF ASTM E 96) IS PLACED TO THE EXTERIOR OF THE STRUCTURAL ROOF DECK THAT IS, JUST ABOVE THE ROOF STRUCTURAL SHEATHING.
  - 3.2. FOR WOOD SHINGLES AND SHAKES: A MINIMUM CONTINUOUS 1/4-INCH VENTED AIR SPACE SEPARATES THE SHINGLES/SHAKES AND THE ROOFING FELT PLACED OVER THE STRUCTURAL SHEATHING.
  - 3.3. IN ZONES 3 THROUGH 6 AS DEFINED IN SECTION N101.2, SUFFICIENT INSULATION IS INSTALLED TO MAINTAIN THE MONTHLY AVERAGE TEMPERATURE OF THE CONDENSING SURFACE ABOVE 45°F. THE CONDENSING SURFACE IS DEFINED AS EITHER THE STRUCTURAL ROOF DECK OR THE INTERIOR SURFACE OF AN AIR-IMPERMEABLE INSULATION APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE/INTERIOR OF THE STRUCTURAL ROOF DECK. "AIR-IMPERMEABLE" IS QUANTITATIVELY DEFINED BY ASTM E 2033. FOR CALCULATION PURPOSES, AN INTERIOR TEMPERATURE OF 68°F IS ASSUMED. THE EXTERIOR TEMPERATURE IS ASSUMED TO BE THE MONTHLY AVERAGE OUTSIDE TEMPERATURE.



**CLASS B ROOF COVERING REQUIRED - IRC (COH)**

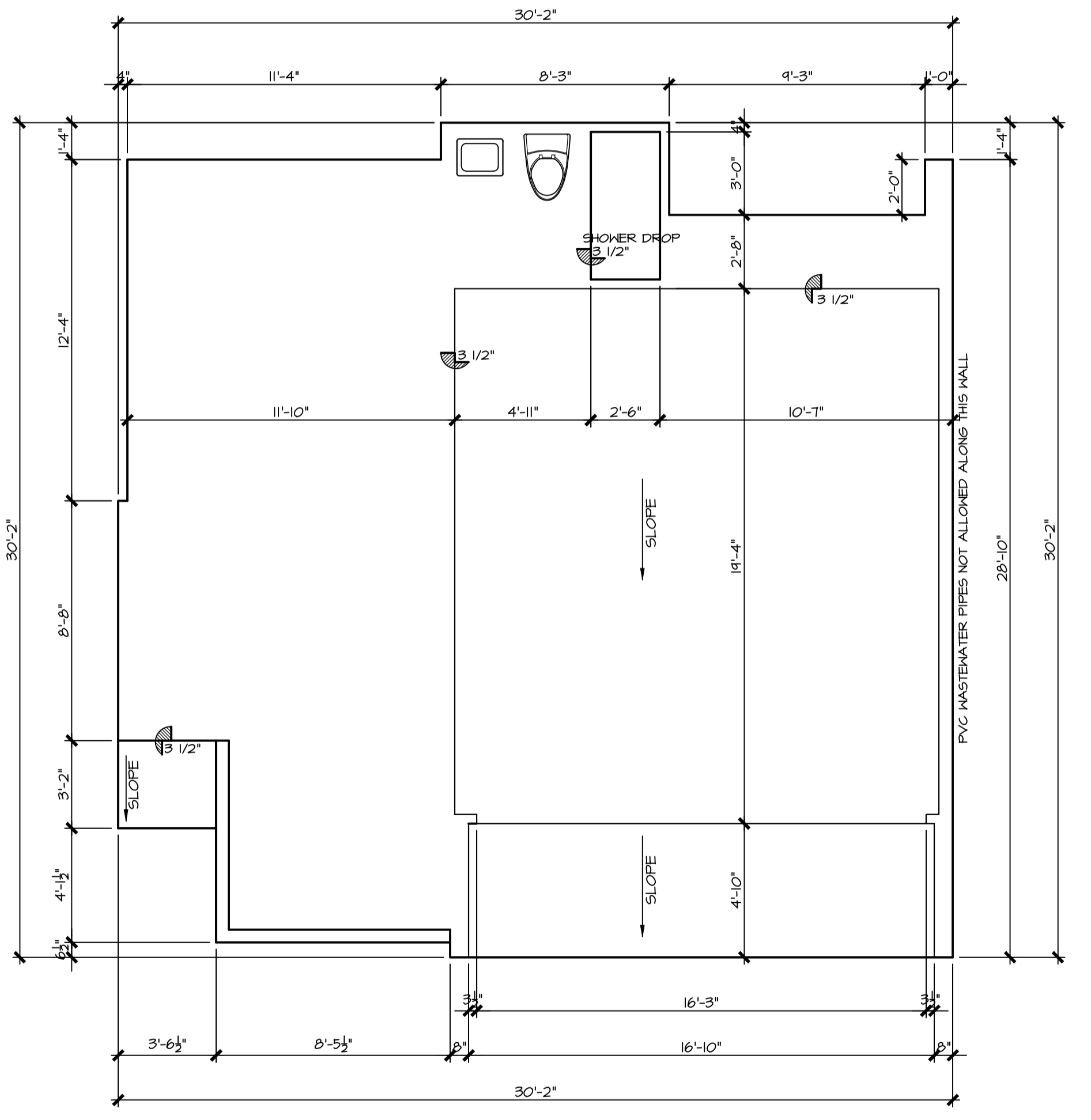
**R317.2.2 EXCEPTION (COH AMENDMENTS) -** MINIMUM CLASS B ROOF COVERING AND THERE IS NO ROOF OPENING WITHIN 5 FEET OF THE WALL. A CHIMNEY THAT PROJECS THROUGH THE ROOF WITHIN 5 FEET OF THE COMMON WALL IS CONSIDERED TO BE IN COMPLIANCE IF THE CHIMNEY IS BUILT UP AT LEAST 1-HOUR RATED CONSTRUCTION AND EXTENDS AT LEAST 5 FEET ABOVE THE ROOF DECKING.

- BUBBLE NOTES:**
- 1) ADJUST SLOPES TO MATCH RIDGES.
  - 2) ADJUST OVERHANGS TO MATCH FASCIA.
  - 3) ADJUST PLATE HEIGHT TO MATCH FASCIA.

**ROOF PLAN**

SCALE: 1/4" = 1'-0"  
PLATE HEIGHTS AS NOTED.  
SLOPES AS NOTED.  
12" OVERHANGS FROM FRAME U.N.O.  
8" OVERHANG AT GABLE ENDS U.N.O.  
6" OVERHANG AT DORMERS U.N.O.  
SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.  
ROOF MATERIAL: COMPOSITION SHINGLES  
PLUMBING VENTS AND ALL OTHER PENETRATIONS THROUGH ROOF DECKING SHALL BE DIRECTED TO BACK ROOF SLOPE.  
MINIMIZE PLUMBING VENT PENETRATIONS THROUGH ROOF DECKING.  
COLOR COORDINATE PIPING TO ROOF MATERIAL WHERE APPLICABLE.

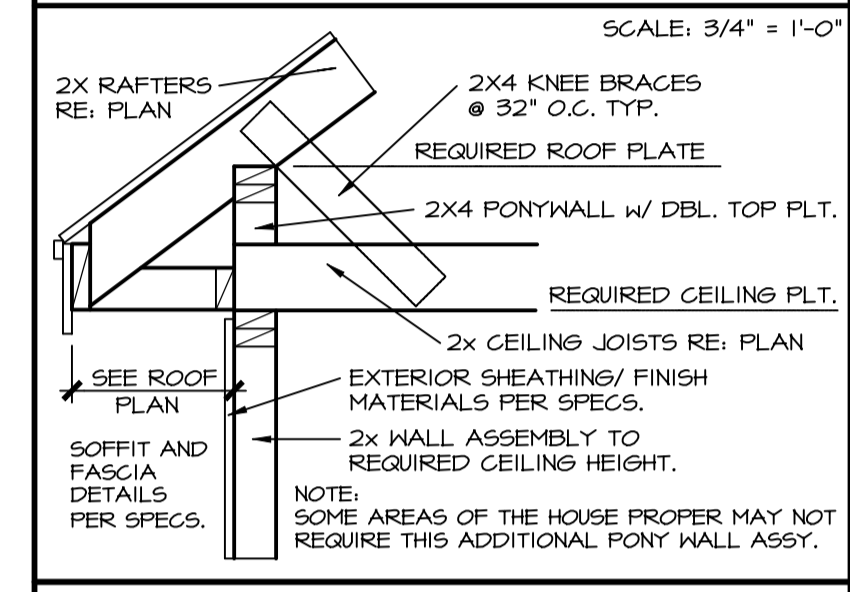
**GAS APPLIANCE VENT PIPES**  
ALL GAS APPLIANCE VENT PIPES THAT EXITS THROUGH ANY ROOF DECKING MUST BE A MINIMUM OF 5'-0" FROM ANY PROPERTY LINE OR CENTER LINE OF ANY COMMON WALL(S). DIRECT THE VENT PIPE TO A BACK (OR SIDE) ROOF PLANE.  
DO NOT EXIT THE PIPE THROUGH A FRONT ROOF PLANE.



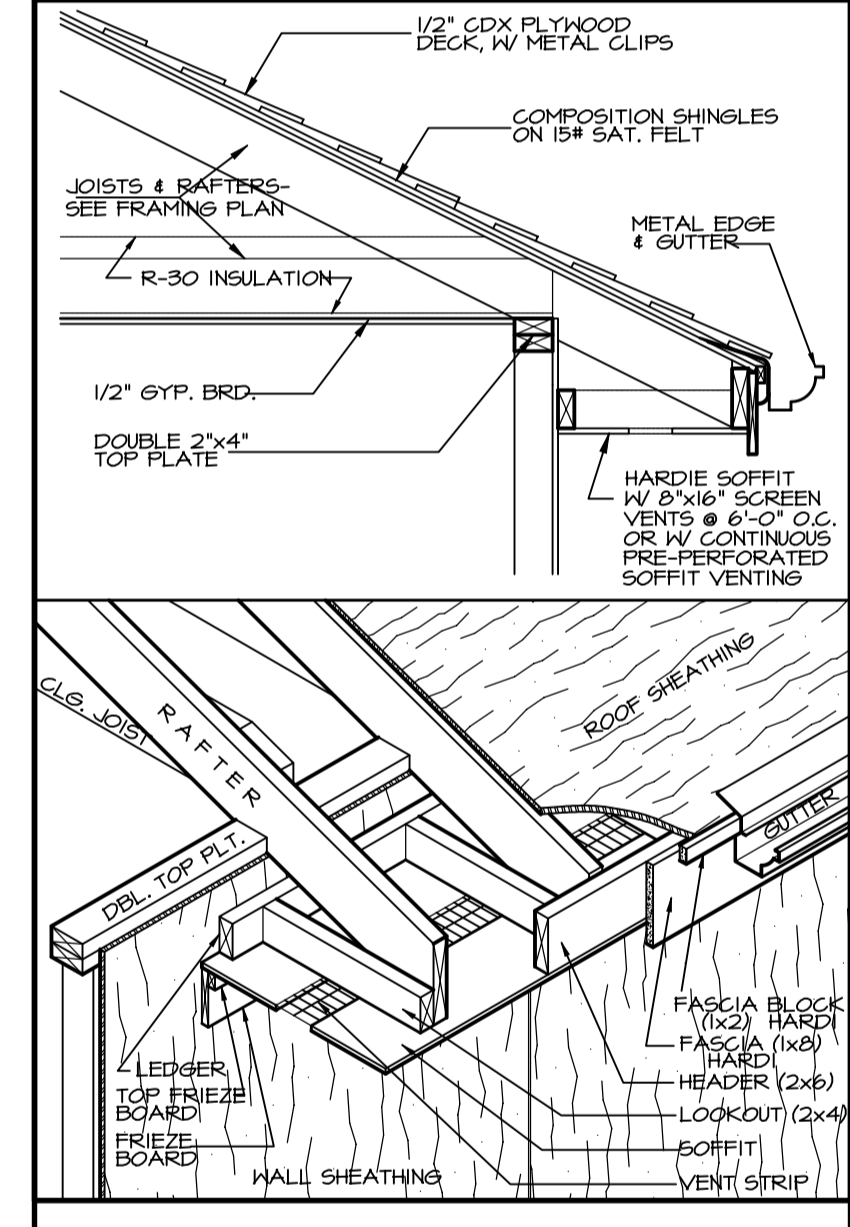
**FOUNDATION OUTLINE**

SCALE: 1/4" = 1'-0"  
DIMENSION OF DROPS AND LABELING OF SLOPES TAKES PRECEDENCE ON THIS PAGE.  
DROP VALUES (I.O.N.):  
3 1/2" FOR PORCHES, TIRE STOPS, SHOWER STALLS.  
1 1/2" FOR OVERHEAD DOORS.  
12" FOR ELEVATOR PITS.

**RAISED PLATE DETAIL**



**SOFFIT DETAILS**

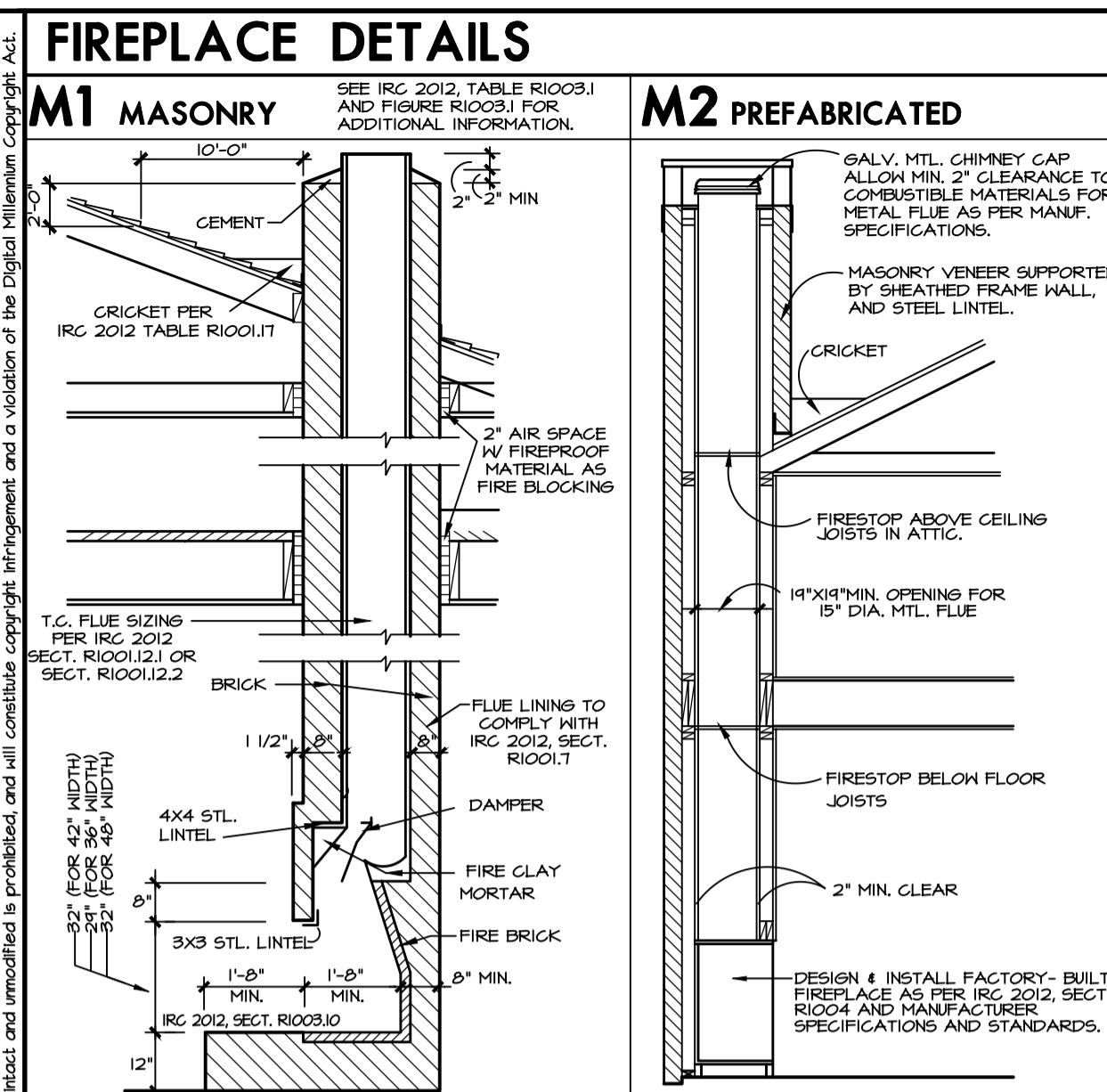


**SQUARE FOOTAGES**

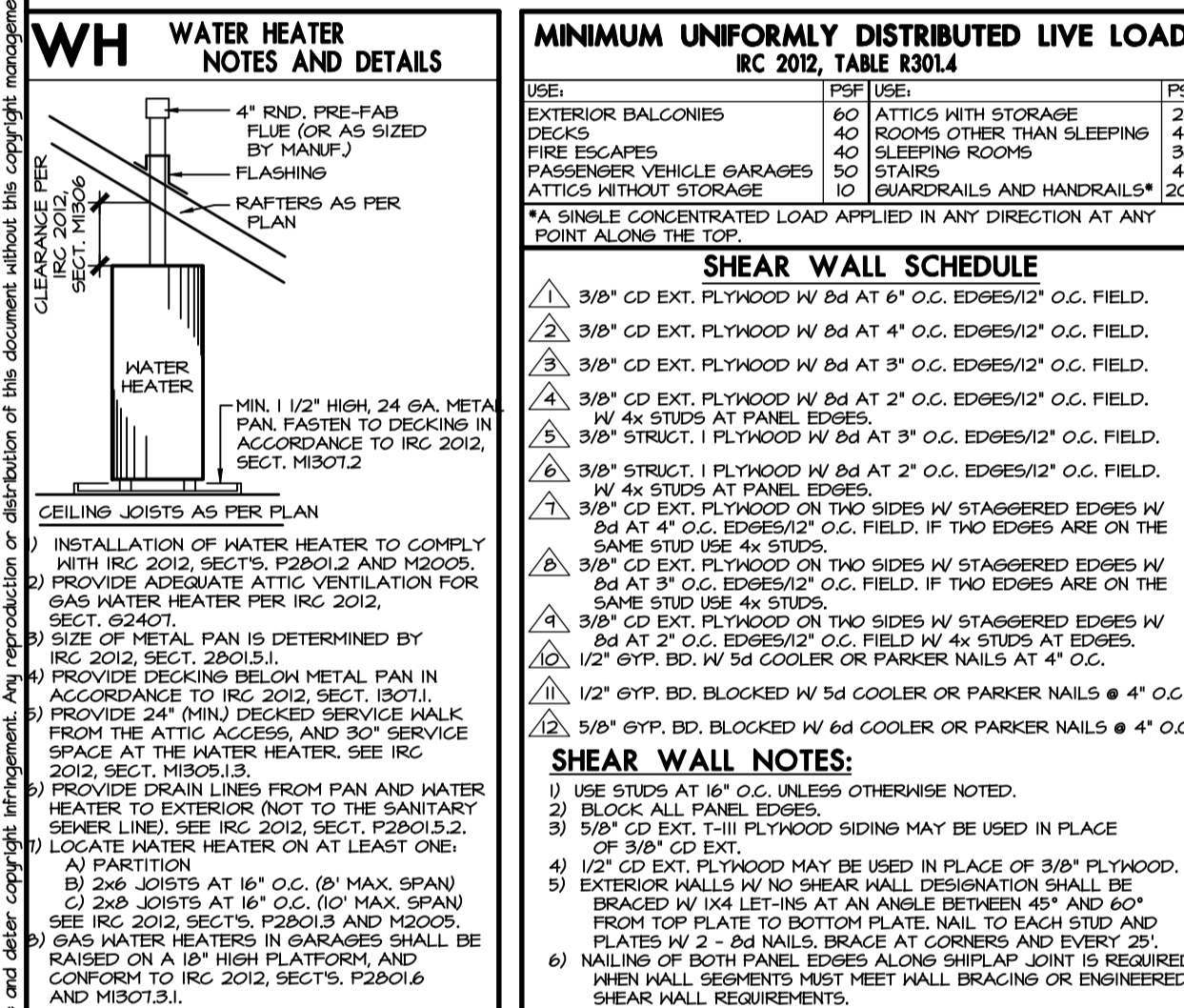
|                |      |
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| TOTAL COVER:   | 2487 |

**PSM BUILDERS LLC**  
PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
3107B SAINT CHARLES HOUSTON, TX 77004

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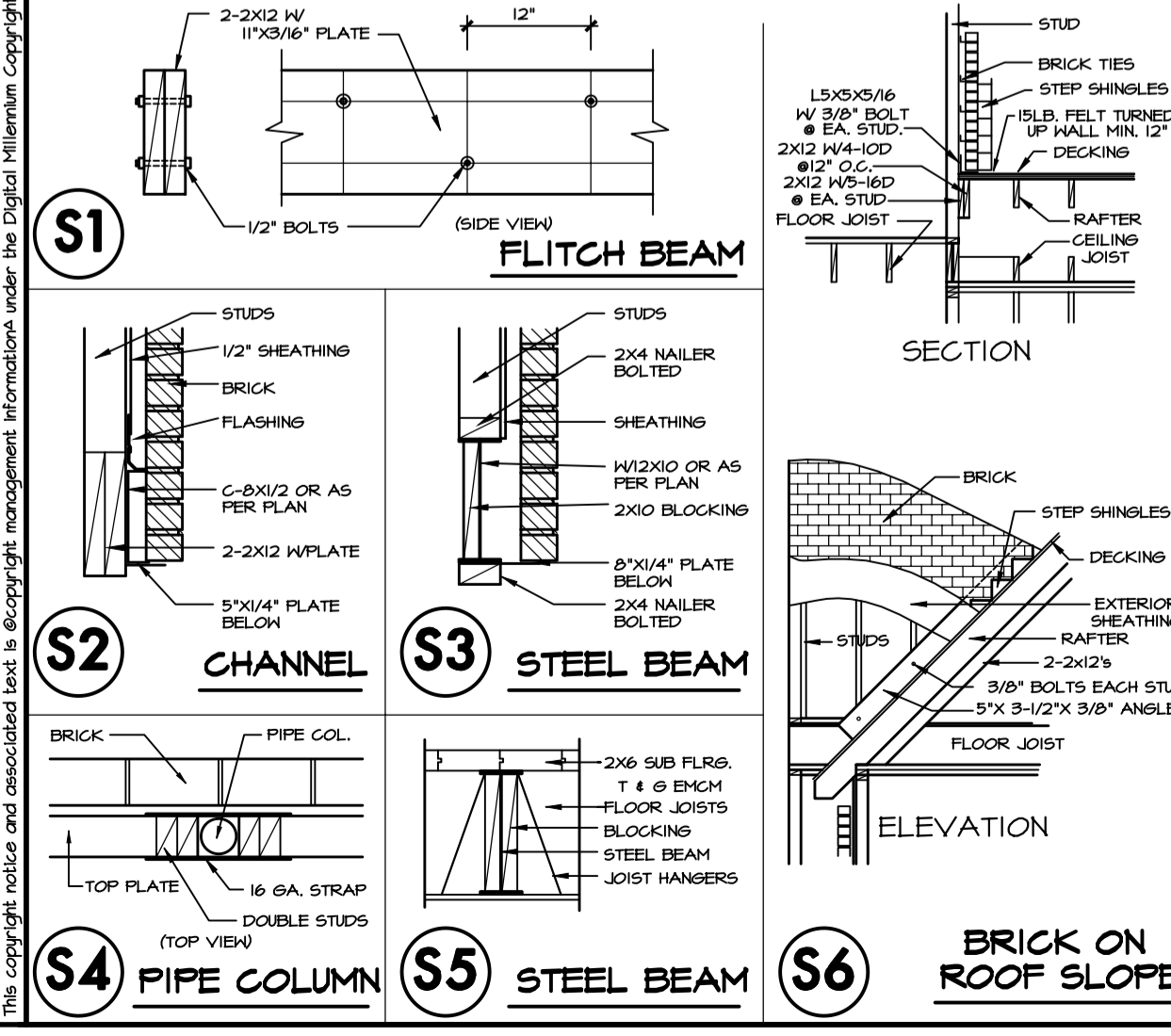


FIREPLACE NOTES: 1) ALL BRICK FIREPLACES TO BE BUILT AND INSTALLED AS SHOWN IN IRC 2012, SECT. R301 AND TABLE R301.1. 2) FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE TO IRC 2012, SECT. R301.4, AND TESTED IN ACCORDANCE WITH UL 127. A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON REQUEST.



WH WATER HEATER NOTES AND DETAILS: 1) INSTALLATION OF WATER HEATER TO COMPLY WITH IRC 2012, SECT. F202.1 AND M2005. 2) PROVIDE ADEQUATE ATTIC VENTILATION FOR GAS WATER HEATER PER IRC 2012, SECT. G2401.

STEEL NOTES AND DETAILS: SEE IRC 2012, CHAPTER 22 FOR ADDITIONAL INFORMATION. STRUCTURAL STEEL NOTES: 1) ALL MISCELLANEOUS STRUCTURAL STEEL PLATES AND SECTIONS SHALL CONFORM TO ASTM A-36.



FASTENING SCHEDULE: CONNECTION LOCATION: FASTENING (1) JOIST TO SILL OR GIRDER, TOENAIL 3-8d

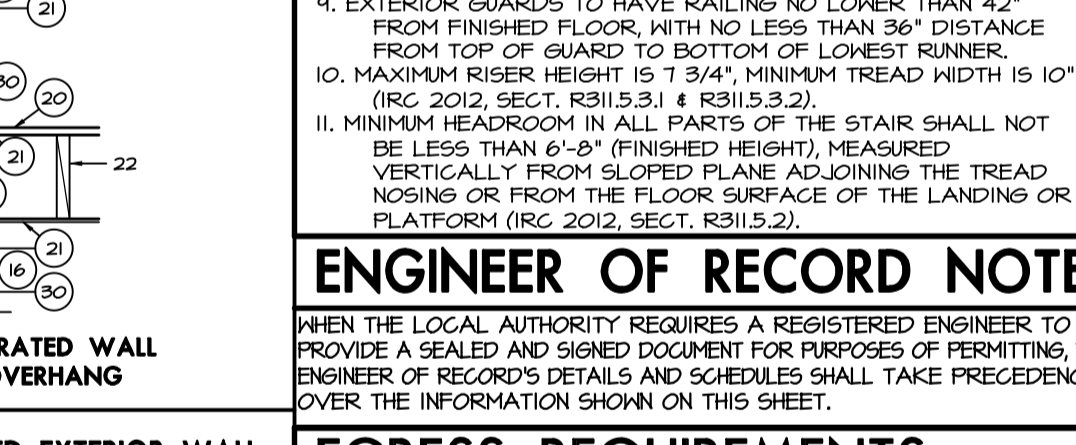
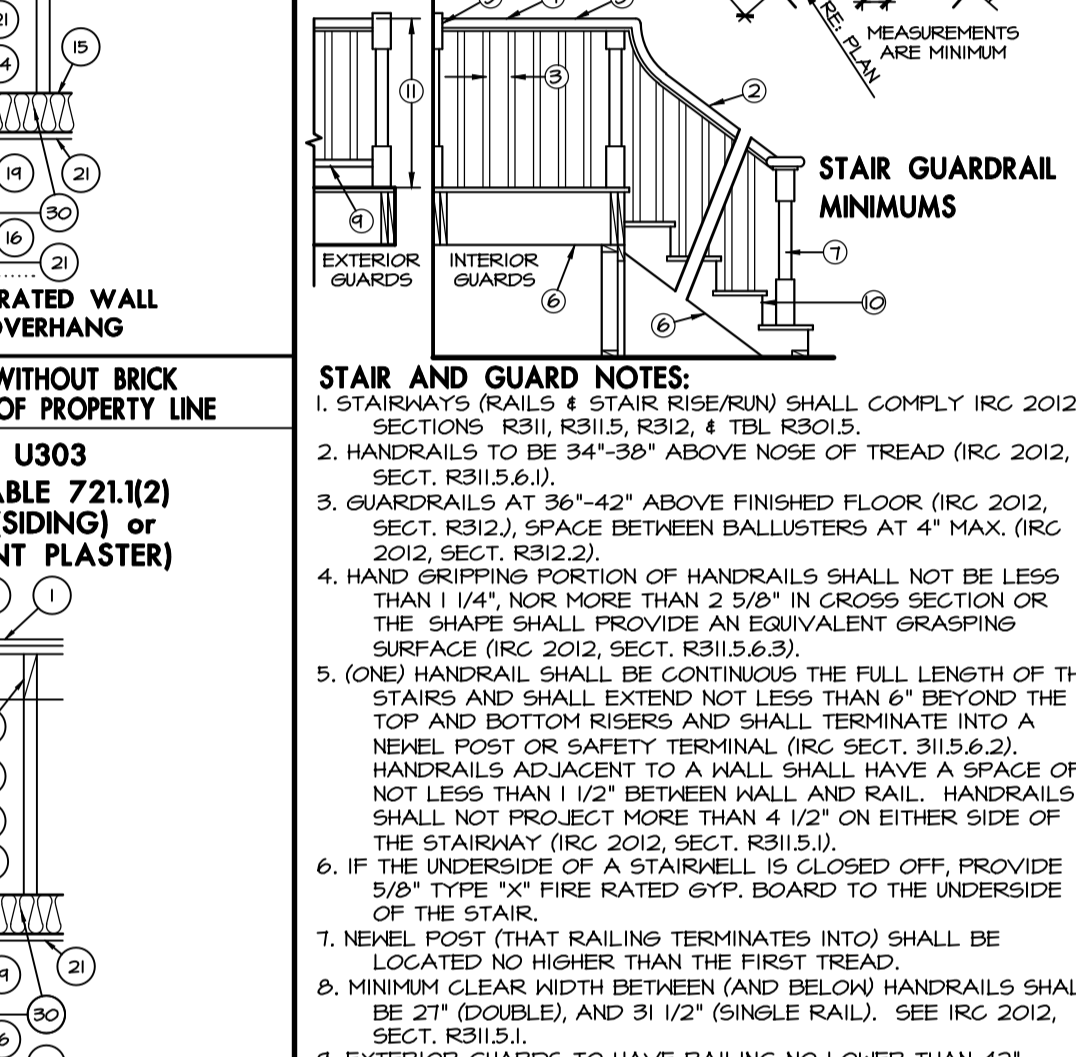
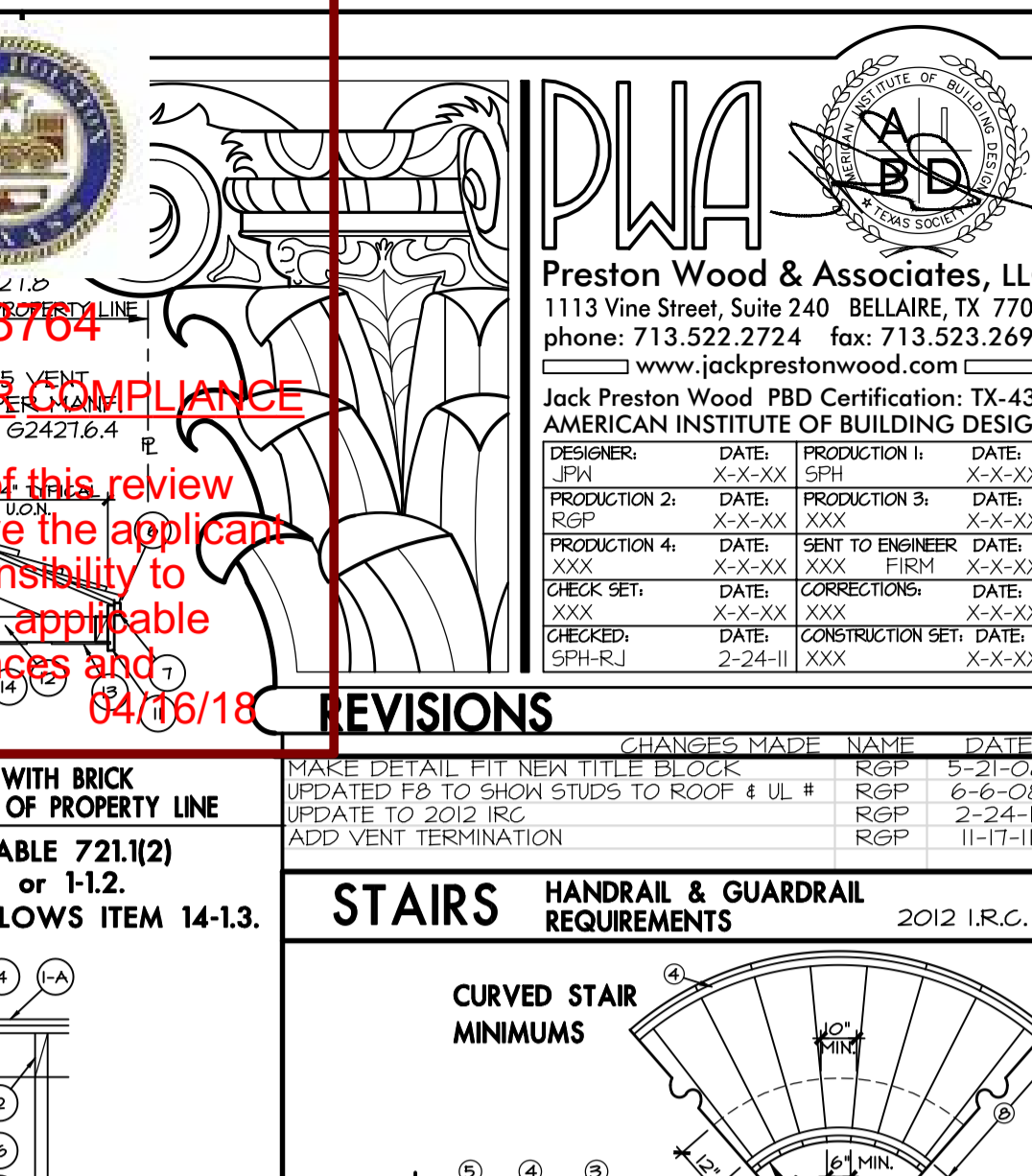
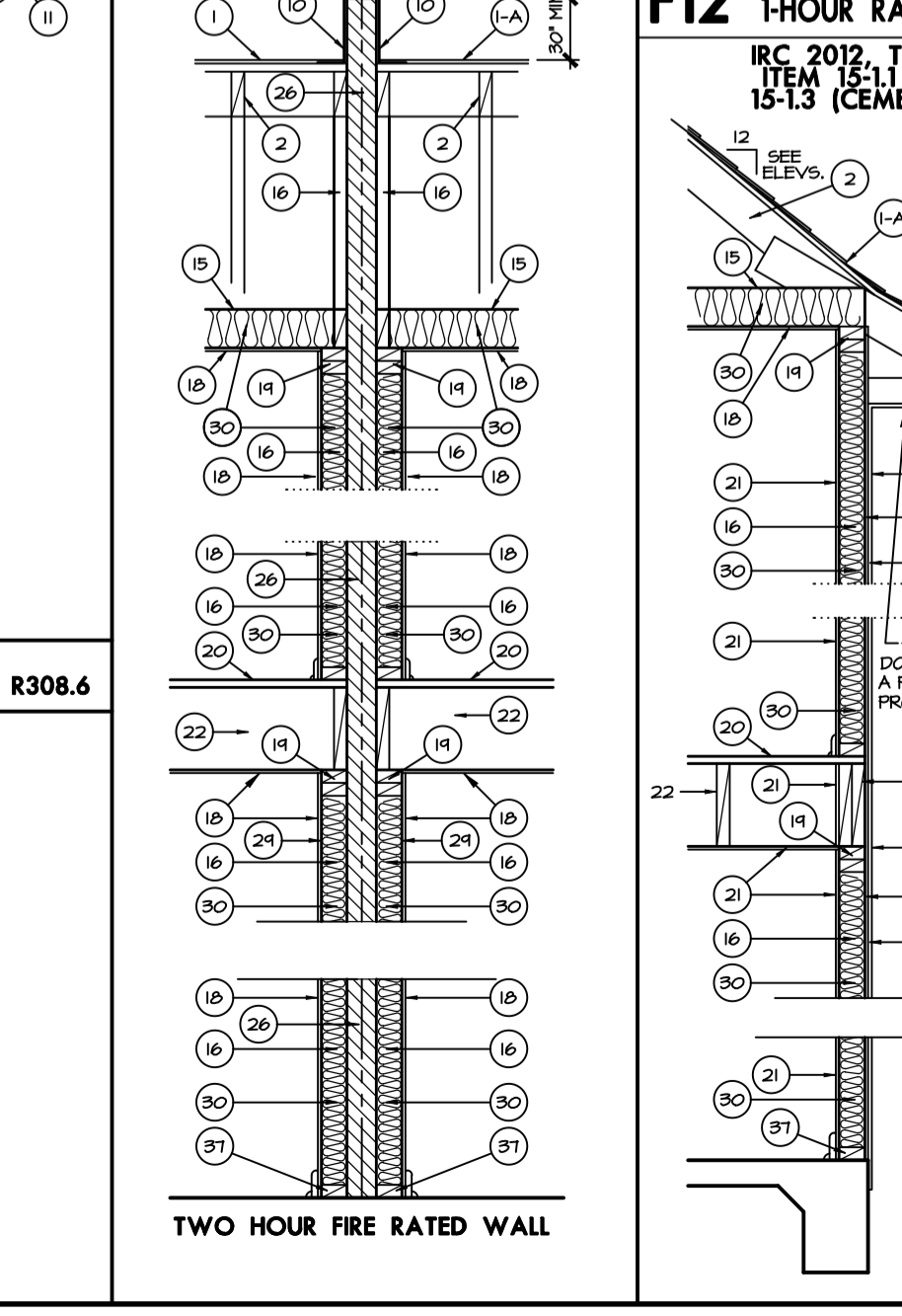
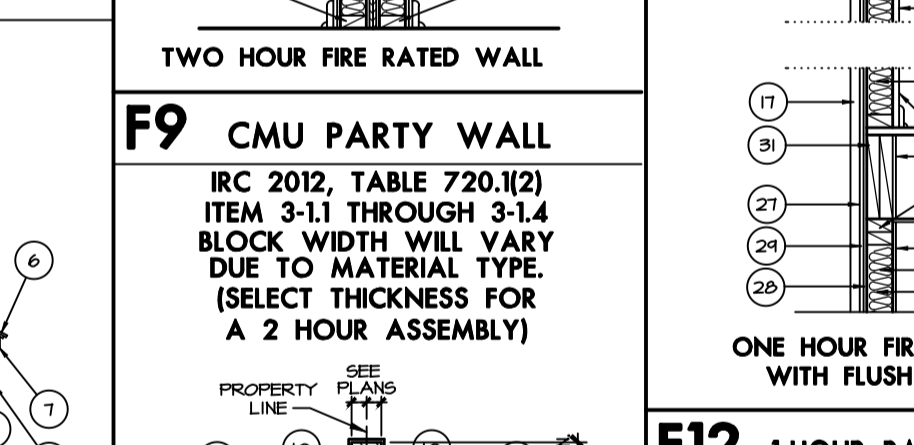
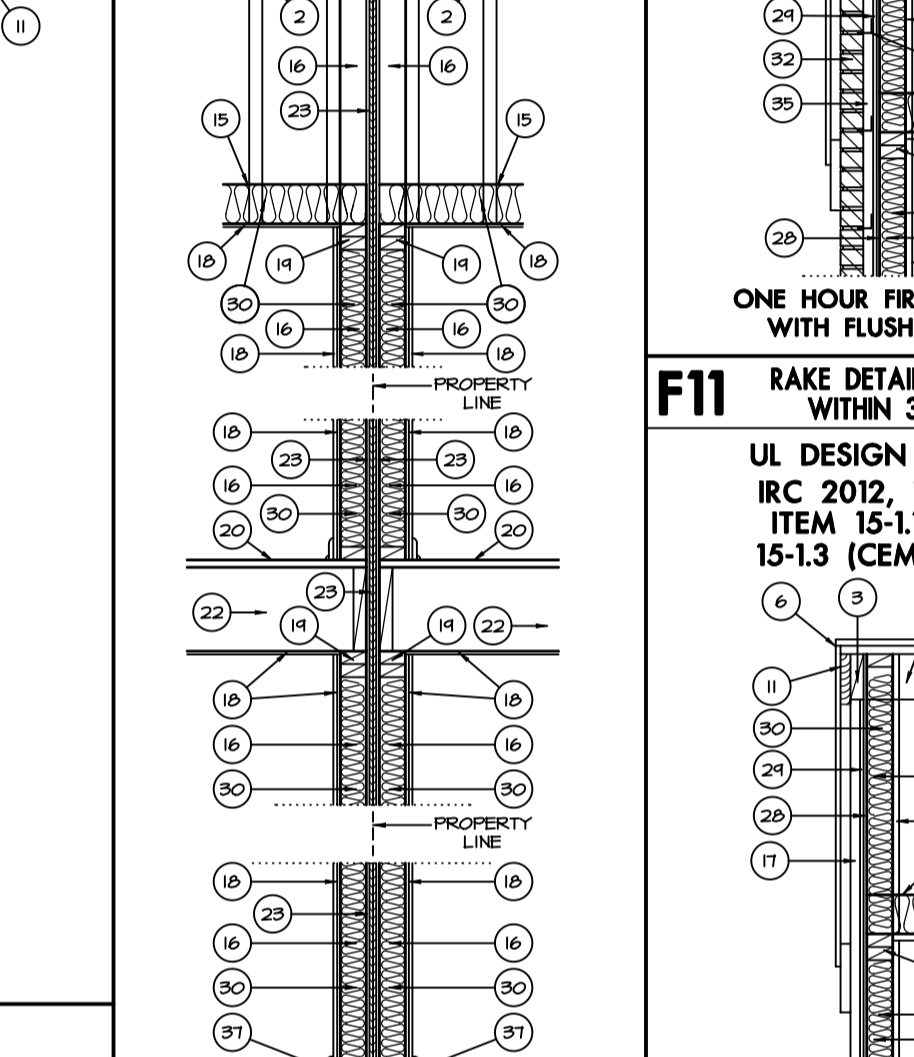
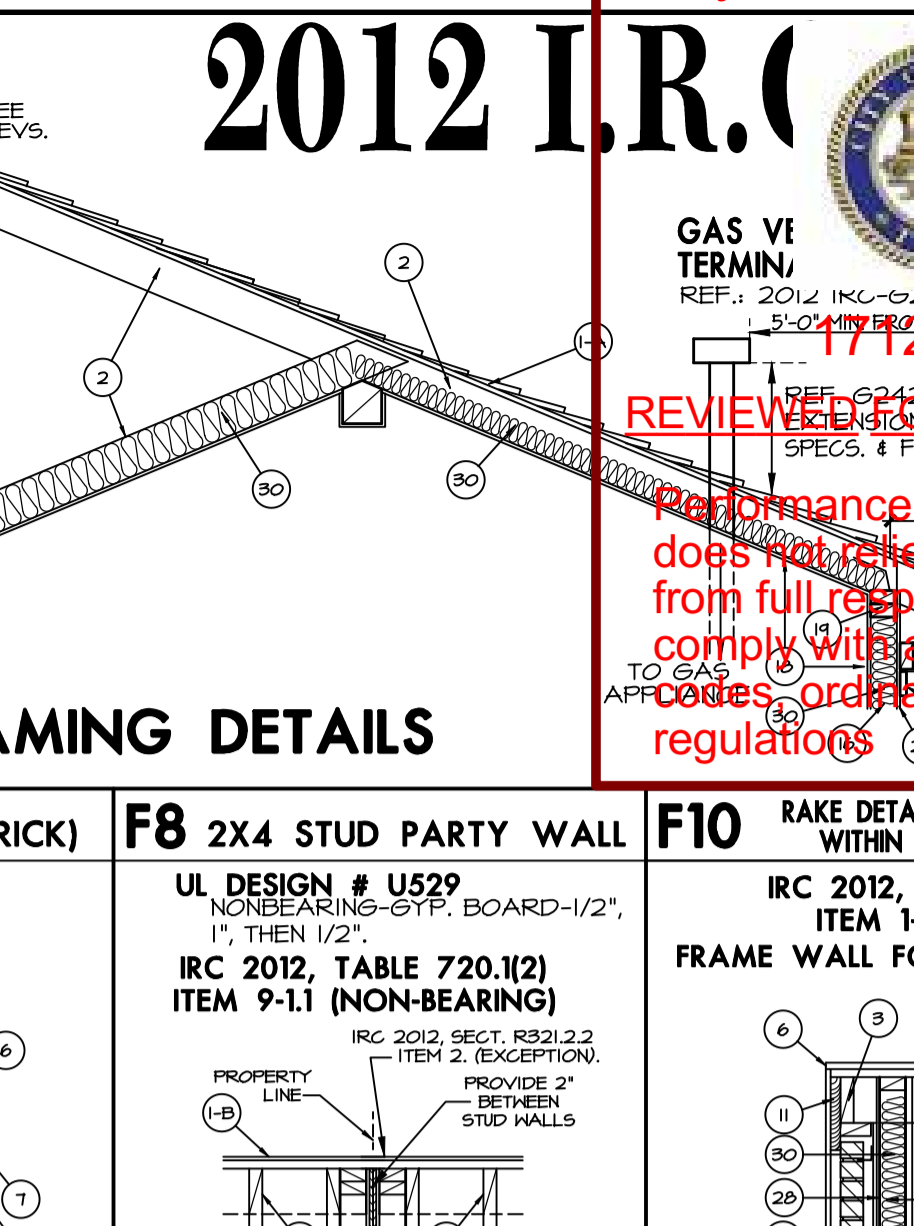
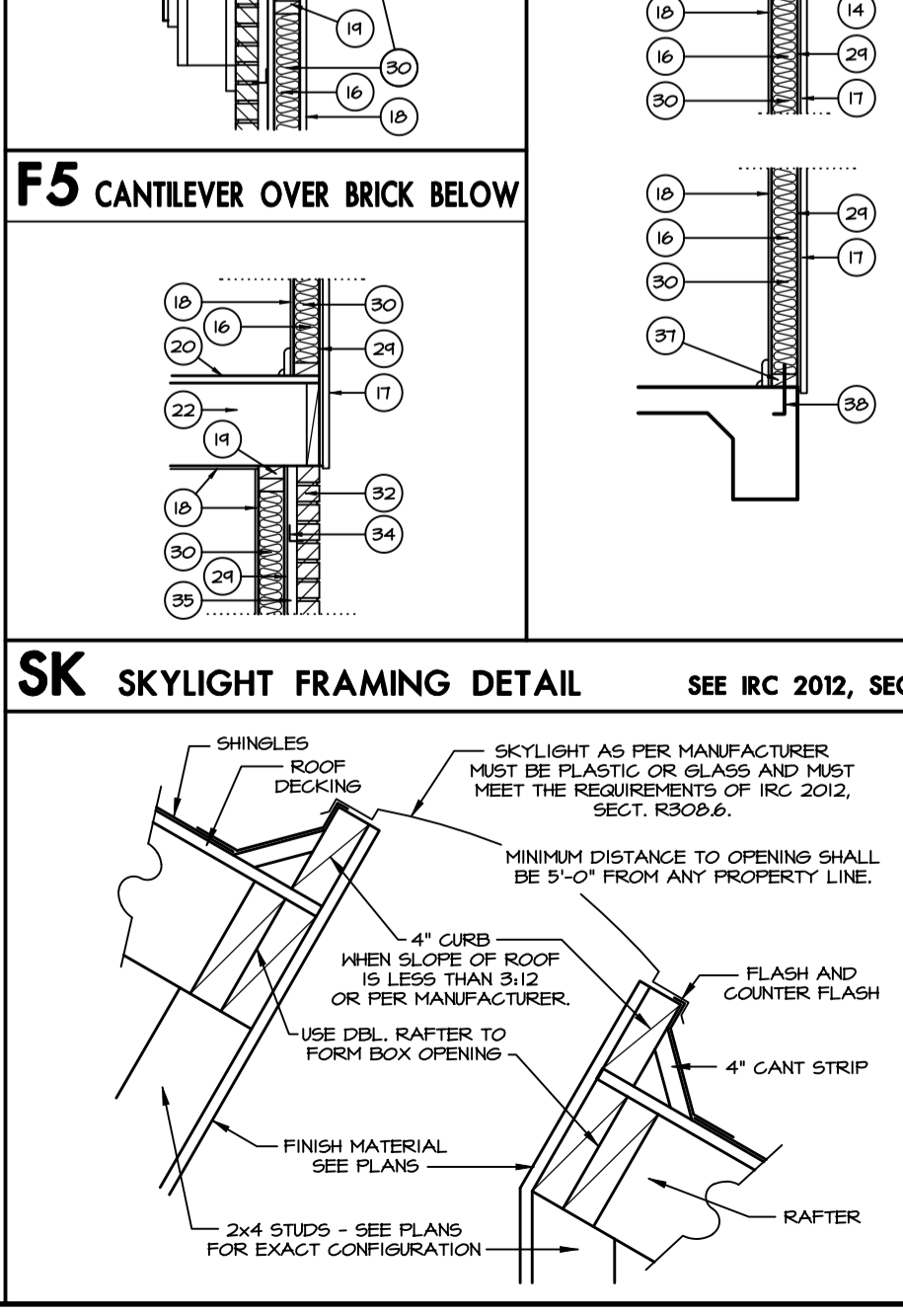
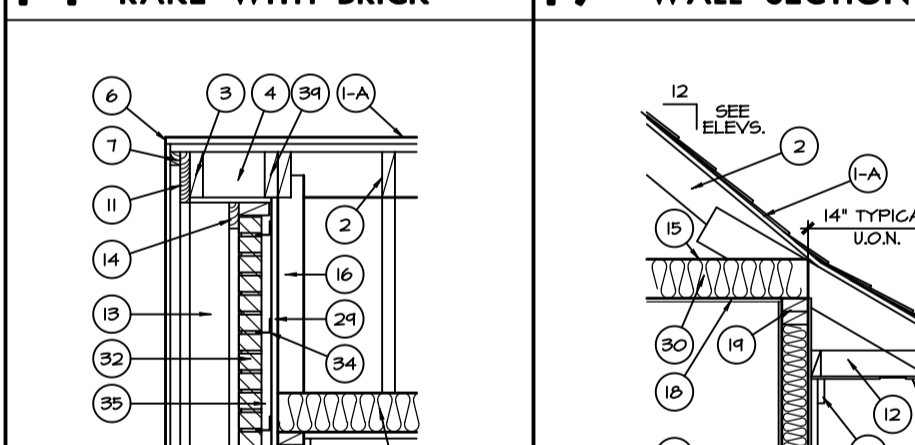
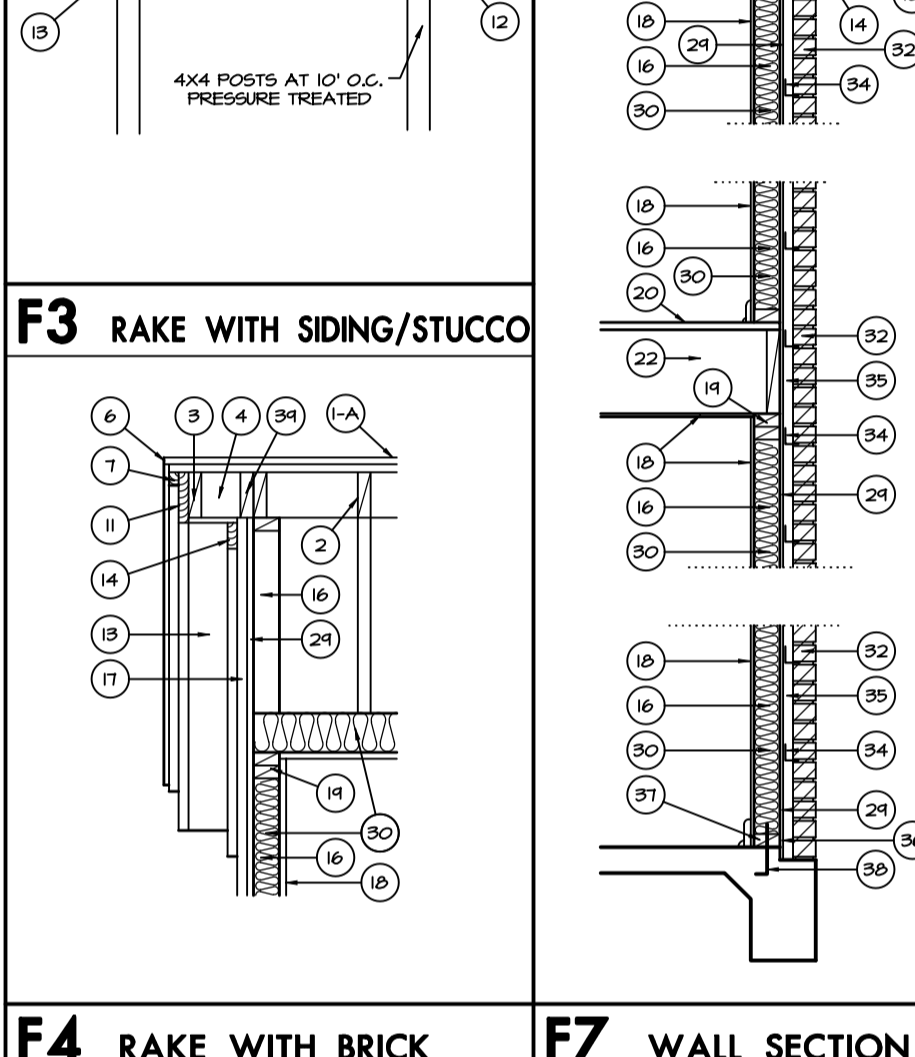
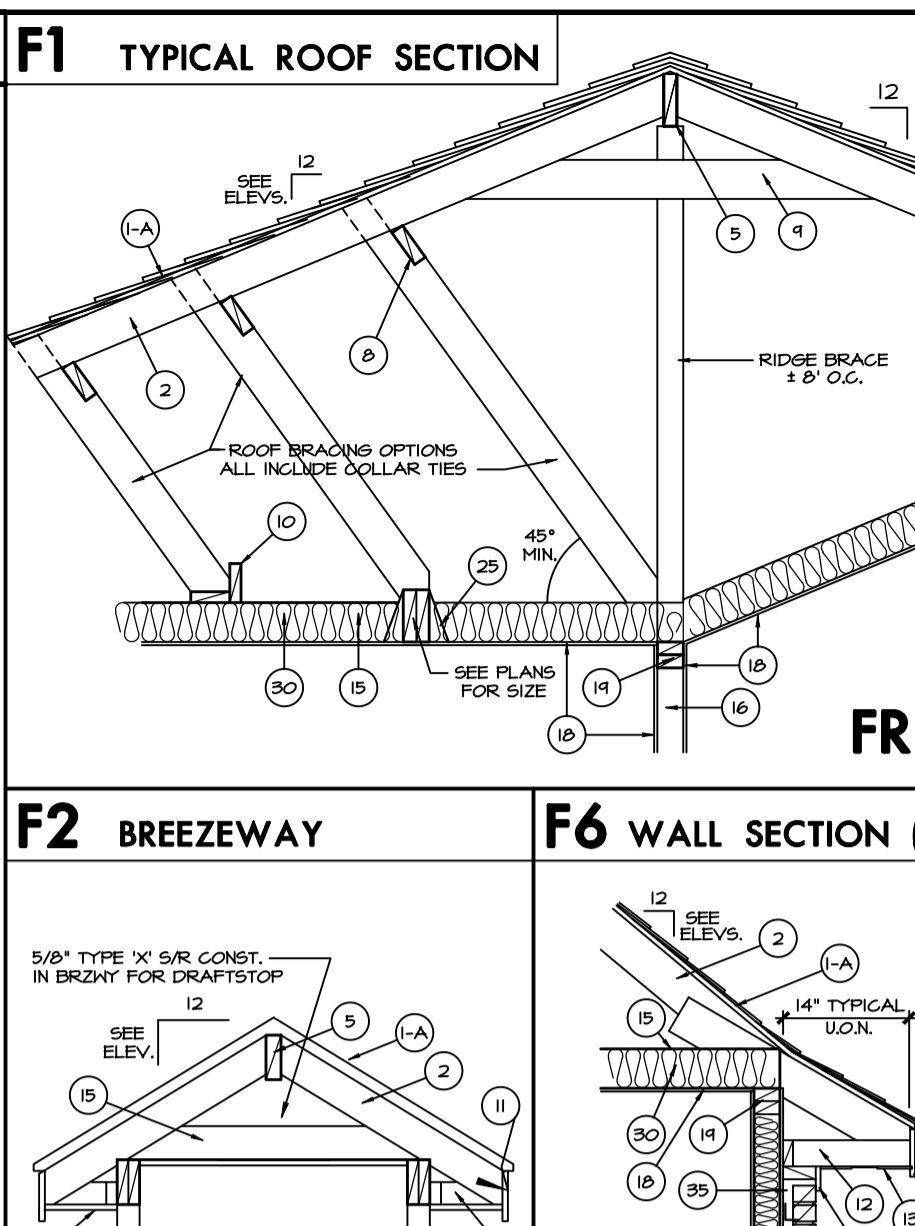
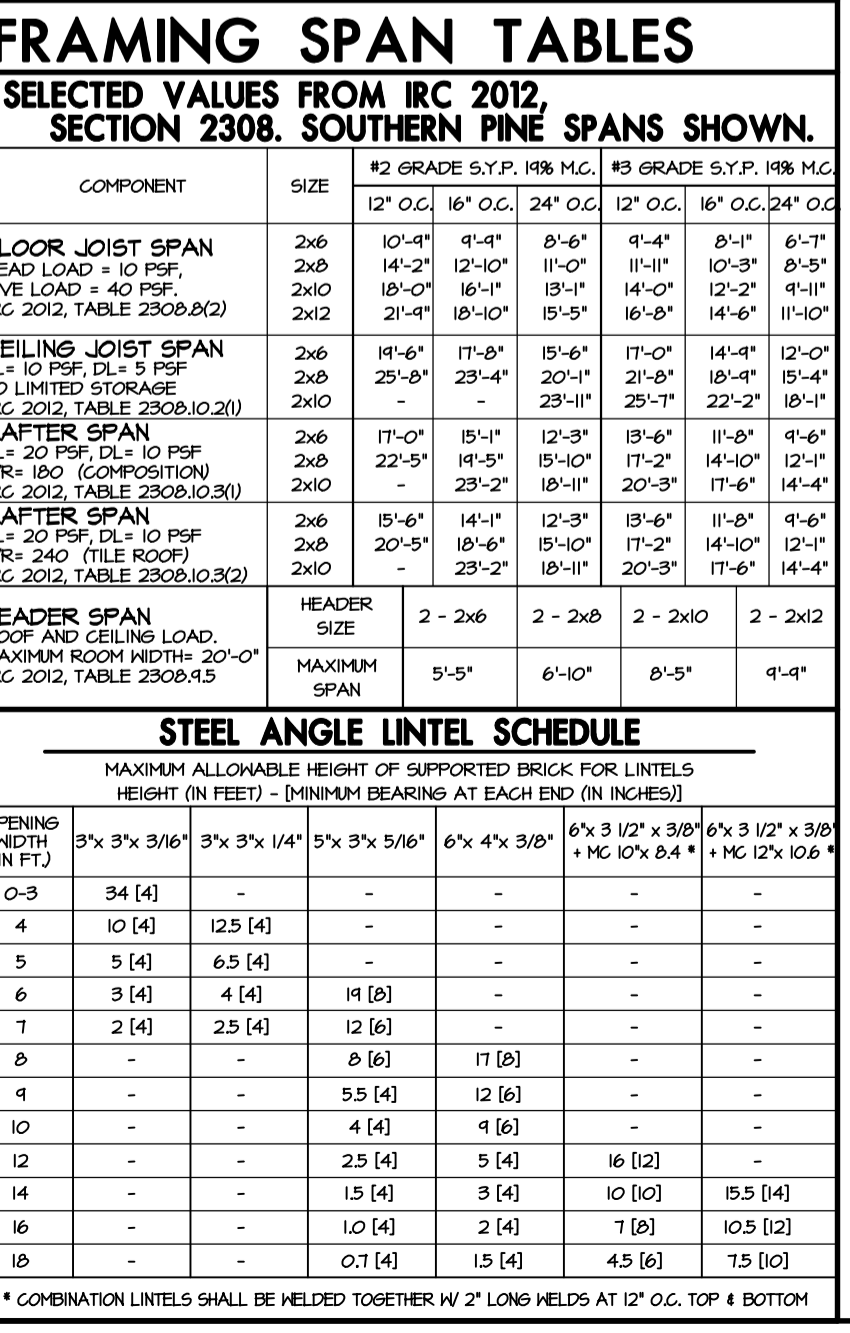
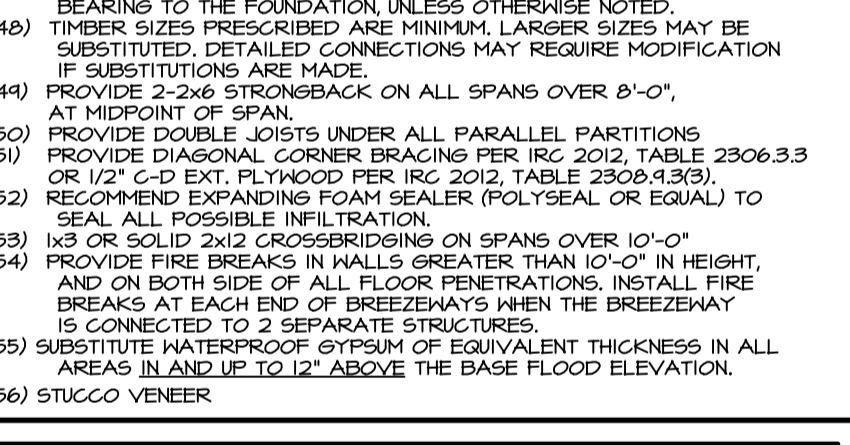
GENERAL CONSTRUCTION NOTES: ATTIC ACCESS NOTES: 1) ATTIC ACCESS IS PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT AND LIGHTED LIFT STORAGE BUT NOT TO EACH STUD AND ANGLE EXCEED 500 SQ. FT.

FRAMING SPAN TABLES: SELECTED VALUES FROM IRC 2012, SECTION 2308. SOUTHERN PINE SPANS SHOWN. COMPONENT SIZE: 12" O.C. 16" O.C. 24" O.C. 32" O.C.

STEEL ANGLE LINTEL SCHEDULE: MAXIMUM ALLOWABLE HEIGHT OF SUPPORTED BRICK FOR LINTELS (HEIGHT IN FEET) - (MINIMUM BEARING AT EACH END IN INCHES)

FRAMING NOTES: BUBBLE NOTES ON DETAILS: 1) ROOF COVERING MIN 24" O.C. MAX 36" O.C. OVER 1/2" FELT (CHOOSE ONE): a) CLASS B ROOF COVERING WITH 5/8" OR 1/2" GYP. PL. W/ 2x4 BRACING

GENERAL FRAMING NOTES: 40) ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR UNLESS OTHERWISE NOTED AND SIGNED ON PLAN. STUDS AND ANGLES MAY BE CONSTRUCTION GRADE MATERIAL.



2012 I.R.C.

REVIEWED FOR COMPLIANCE: Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations.

REVISIONS table with columns for CHANGE NO., DATE, NAME, and DATE.

STAIRS HANDRAIL & GUARDRAIL REQUIREMENTS table with columns for MINIMUMS and MAXIMUMS.

STAIR AND GUARD NOTES: 1. STAIRS (RISERS) SHALL COMPLY WITH IRC 2012, SECTIONS R311, R315, R312, & TBL R301.5.

ENGINEER OF RECORD NOTE: WHEN THE LOCAL AUTHORITY REQUIRES A REGISTERED ENGINEER TO PROVIDE A SEALED AND SIGNED DOCUMENT FOR PURPOSES OF PERMITTING, THE ENGINEER OF RECORD'S DETAILS AND SCHEDULES SHALL TAKE PRECEDENCE OVER THE INFORMATION SHOWN ON THIS SHEET.



17128764

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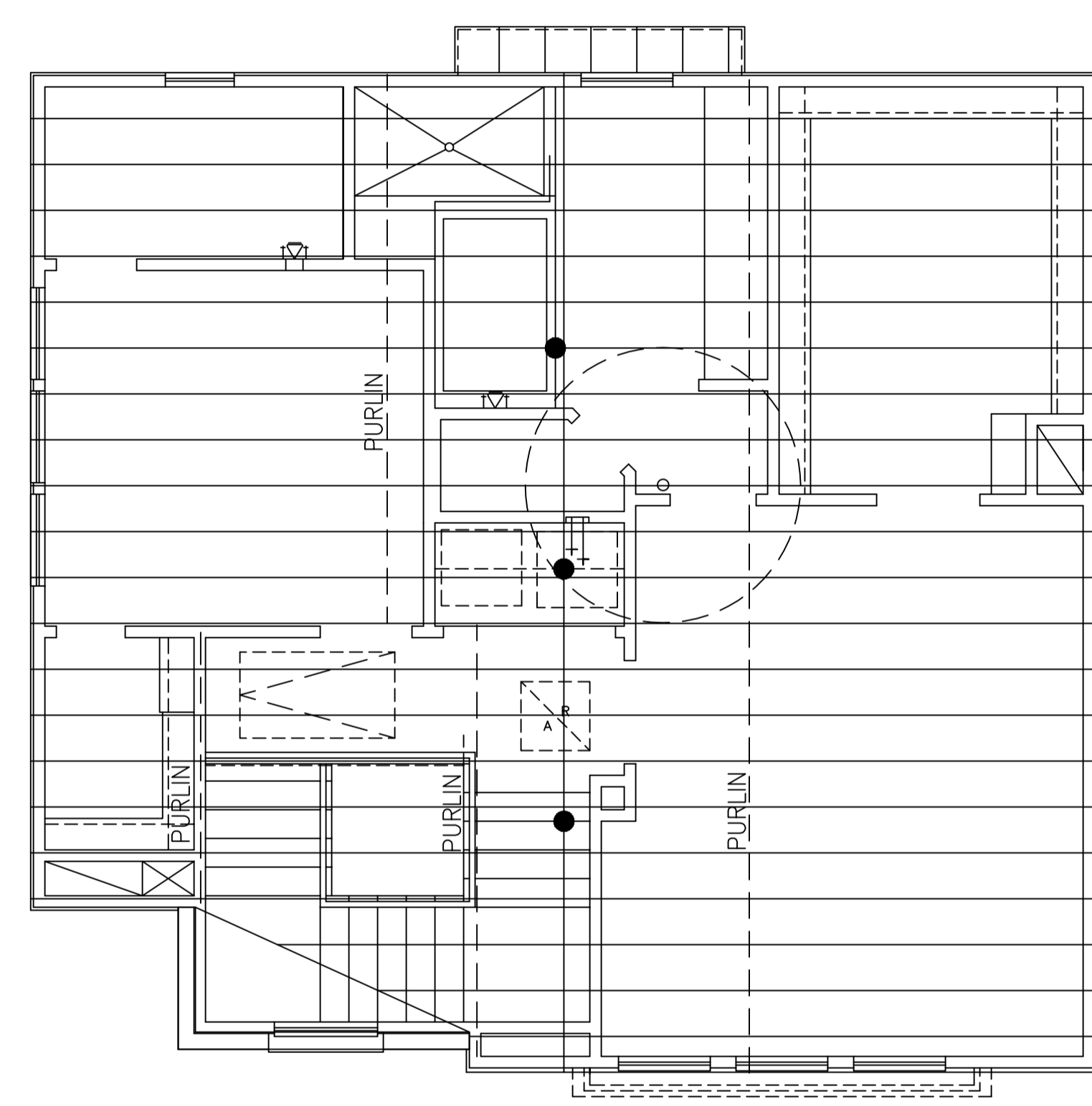
**ROOF PURLIN NOTES:**  
 - - - - - TYPICAL INDICATION FOR CONT. PURLIN W/ 2x4 BRACES @ 48" O.C. TO BEAM OR WALL BELOW.

**ROOF FRAMING NOTES**  
 1. RAFTERS - SYP #2  
 2. TYP. RAFTER - 2x6 @ 16" O.C. (U.N.O.)  
 3. TYP. SHEATHING - 1/2" CDX 32/16 APA RATED W/ 8d @ 6" EDGES - 12" FIELD.  
 4. ALL HIPS, RIDGES, AND VALLEYS SHALL BE ONE SIZE LARGER THAN RAFTER SIZE (U.N.O.)  
 5. DL = 10 PSF LL = 20 PSF  
 6. DBL. = 2-2x8, U.N.O.

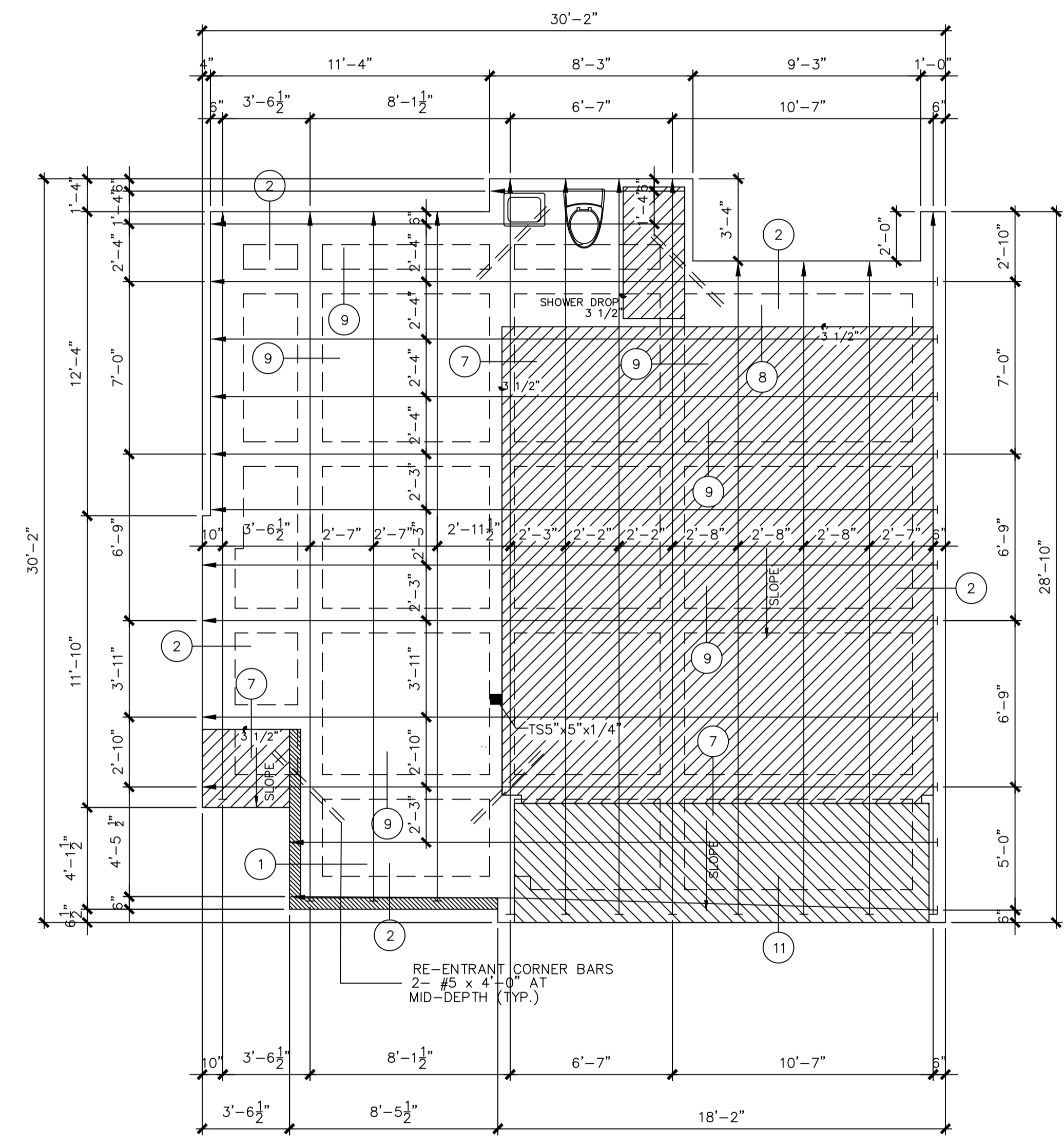
PROVIDE SIMPSON H2.5 HURRICANE CLIPS EVERY OTHER RAFTER TYP.

**VALLEY BRACE NOTES**  
 TYPICAL INDICATION FOR VALLEY BRACE TO BEAM OR WALL BELOW

**OVERLAY FRAMING NOTES**  
 TYPICAL INDICATION FOR OVERLAY FRAMING BRACE RAFTERS TO OVERLAY FRAMING BELOW WITH 2x4 STRUTS AT 32" O.C. EACH WAY.



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

USE ARCHITECTURAL DRAWINGS TO SET FORMS

NOTES:  
 PROVIDE # 5 CORNER BARS AT 2 TOP & 2 BOTT. AT ALL GRADE BEAM DEAD-END IN CORNERS AND CORNERS.  
 TYPICAL EXTERIOR GRADE BEAM PROVIDE 16"x 34" GRADE BEAM  
 TYPICAL INTERIOR GRADE BEAM PROVIDE 12"x30" GRADE BEAM  
 NOTE: SEE DETAILS FOR DEPTH OF GRADE BEAM AND ADDITIONAL INFORMATION.

**site drainage note**  
 THE FOUNDATION IS A LOAD CARRYING SYSTEM FOR STRUCTURAL PURPOSES ONLY AND IS NOT INTENDED TO SUPPLEMENT DRAINAGE OR WATER MOVEMENT SYSTEMS ON THE SITE. DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THE STRUCTURAL ENGINEER OF RECORD. THE FOUNDATION DESIGN IS PREDICATED ON PROPER FINAL GRADING BY OTHERS TO ENSURE ADEQUATE DRAINAGE AND CONFORMANCE WITH THE STRUCTURAL FOUNDATION DETAILS.

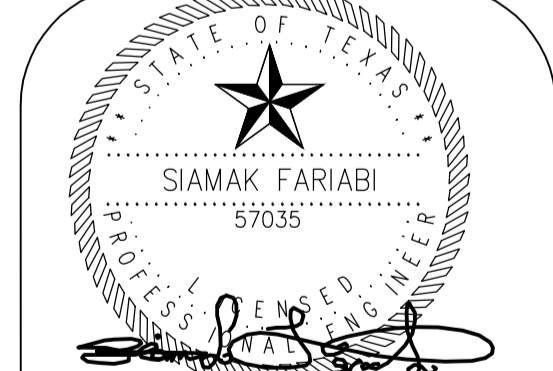
**FOUNDATION DESIGN NOTES**  
 LOCATE BOTTOM OF FOOTINGS @ 2'-10" BELOW THE FINAL GRADE. THE DESIGN SOIL BEARING CAPACITY AT THIS DEPTH IS 3000 PSF TOTAL LOAD AND 2000 PSF NET SUSTAINED LOAD BASED ON SOILS INVESTIGATION REPORT NUMBER 17G4317 GEOSCIENCE ENGINEERING DATED AUGUST 2017 EXISTING GRADE IS GRADE ELEVATION PRIOR TO PLACEMENT OF FILL.  
 AND PROVIDE 3'-0" SELECTED FILL

**ADDITIONAL NOTES**  
 1. PRE-POUR, POUR, AND CABLE ELONGATION INSPECTIONS ARE TO BE PERFORMED BY MF ENGINEERING LLC  
 2. MF ENGINEERING RELIES ON INFORMATION CONTAINED IN THE PERTINENT GEOTECHNICAL REPORT. MF ENGINEERING DOES NOT TAKE ANY RESPONSIBILITY FOR THE ACCURACY OF SAID REPORT, OR ANY INFORMATION THAT WAS RELIED UPON WITHIN THE REPORT  
 3. FOR THE FOUNDATION TO PERFORM AS DESIGNED, THE OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED A CONSTANT LEVEL AT ALL TIMES, SOIL MUST NOT DRY OUT  
 4. BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE, AND RELAYS THAT INFORMATION TO OWNER

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 THIS DOCUMENT IS NOT TO BE COPIED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT OF MF ENGINEERING, LLC  
 THESE DOCUMENTS ARE PROTECTED UNDER "ARCHITECTURAL WORKS" 17 U.S.C. SEC. 102 (a) (8)  
 UNITED STATES COPYRIGHT ACT.

PSM BUILDERS LLC  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
 3107 SAINT CHARLES HOUSTON, TX 77004

**MF**  
 ENGINEERING, L.L.C.  
 MACK FARIABI, P. E.  
 F-6074  
 P.O. BOX 218182  
 HOUSTON, TX. 77218  
 M. 713.419.7994  
 F. 708.572.8036



|              |           |
|--------------|-----------|
| PROJECT:     |           |
| PROJECT NO.: | MFE17-217 |
| DATE:        |           |
| REVISION:    |           |
| REVISION:    |           |
| DRAWN:       | -         |
| SHEET NO.:   |           |



17128764

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with applicable codes, ordinances and regulations.

DESIGN: FOUNDATION BEAMS AND SLABS MUST ATTAIN A COMPRESSIVE STRENGTH AS NOTED IN THE DESIGN DATA AT 28 DAYS. AT THE TIME OF STRESSING, CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (ACI 318) TO INSURE QUALITY CONCRETE. 2. PLACE A 6 MIL VAPOR BARRIER OF POLYETHYLENE UNDER ALL CONCRETE SLABS. 3. PRESTRESSING TENDONS WILL CONSIST OF 270 K 7 STRAND WIRE LOW RELAXATION CABLE WITH PREVENTIVE LUBRICANT AND WRAPPED WITH PLASTIC SHEATHING CONFORMING TO ASTM A-416. END ANCHORAGE DEVICES WILL CONFORM TO P.T.I. DESIGN SPECIFICATIONS. ALL DEAD END ANCHORAGE MUST BE FACTORY SEATED OR POWER SEATED. 4. MILD STEEL REINFORCING (IF REQUIRED): REBAR - ASTM A-615-60. WELDED WIRE FABRIC - ASTM 185. 5. 4" (MAXIMUM) SAND CUSHION OVER FILL COMPACTED IN ACCORDANCE WITH GEOTECHNICAL REPORT SITE PREPARATION RECOMMENDATIONS. 6. FLYASH, IF USED, SHALL NOT BE MORE THAN 20% OF TOTAL CEMENT. 7. WATER/CEMENT RATIO SHALL NOT EXCEED .54. 8. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I. 9. CONCRETE ADMIXTURES SHALL CONFORM TO ASTM C494.

CONSTRUCTION: 1. BEAM DIMENSIONS ARE THE MINIMUM SIZE REQUIRED AND MAY NOT BE REDUCED OR ENLARGED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER. 2. PLACE FILL UNDER SLABS IN COMPLIANCE WITH GEOTECHNICAL ENGINEERS SITE PREPARATION RECOMMENDATIONS. 3. CONCRETE SHALL BE WELL CONSOLIDATED, PARTICULARLY IN THE VICINITY OF THE TENDON ANCHORAGE. 4. SUPPORT TENDONS AND BARS SECURELY TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE. 5. ALLOW 8" DIAMETER, CENTERED ON TENDON AXIS, BY 36" LENGTH FOR STRESSING EQUIPMENT CLEARANCE. 6. IF TENDON SHEATHING IS DAMAGED FOR 5" OR MORE IT MUST BE RESHEATHED TO PREVENT CONCRETE FROM BONDING TO THE CABLE. 7. THERE WILL BE NO PLUMBING LINES RUNNING PARALLEL TO AND WITHIN OR UNDER ANY FOUNDATION BEAM.

QUALIFICATION: POST-TENSION CONTRACTOR WILL, UPON REQUEST, FURNISH THE FOLLOWING: 1. LABORATORY TEST ON ANCHORAGE SYSTEM. 2. LATEST CALIBRATION DATE OF EQUIPMENT USED. 3. LABORATORY TEST COEFFICIENT OF FRICTION ON STRANDS. 4. MIL TEST CERTIFICATE ON STRANDS.

STRESSING: 1. 1/2" DIAMETER TENDONS SHALL BE ANCHORAGE AT 28.9 K PER STRAND, BUT MAY INITIALLY STRESSED TO ABOUT 11 KIPS 16 HOURS AFTER CONCRETE PLACEMENT OR AT APPROXIMATELY 1000 P.S.I. CONCRETE STRENGTH. LONG AND NARROW SLABS CAN BE STRESSED IN THE LONG DIRECTION ONLY. FINAL STRESSING SHOULD BE DONE AS RECOMMENDED IN THE ABOVE SPECIFICATIONS. 3. ELONGATION REPORT MUST BE PROVIDED BY A QUALIFIED ENGINEERING FIRM, OR OTHERS APPROVED BY MACK FARIABI ENGINEERING. REPORT MUST SHOW BUILDING SHAPE, TENDON LOCATION AND NUMBER, AND ACTUAL LENGTH OF ELONGATION. A REPORT SHALL ALSO BE PROVIDED TO MACK FARIABI ENG. CERTIFYING THAT THE CABLES ARE PROPERLY CUT AND GROUTED.

SPECIAL NOTES: 1. EXTERIOR BEAMS ARE TO EXTEND 12" INTO UNDISTURBED SOIL OR THE SLAB IS TO BE PLACED ON FILL IN ACCORDANCE WITH CONSTRUCTION NOTE #2. 2. DO NOT SCALE THESE PLANS.

\*\* NOTE \*\* COORDINATION: 1. BUILDING CONTRACTOR MUST VERIFY ALL FORM SETTING DIMENSIONS, DROPS, OFF-SETS, BRICK LEDGES AND BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST ON THESE PLANS PRIOR TO CONSTRUCTION. 2. THE BUILDING CONTRACTOR MUST COORDINATE STRUCTURAL PLANS WITH ARCHITECTURAL AND MECHANICAL PLANS FOR ALL OPENINGS, INSERTS AND OTHER RELATED ITEMS REQUIRED TO COMPLETE THE FOUNDATION.

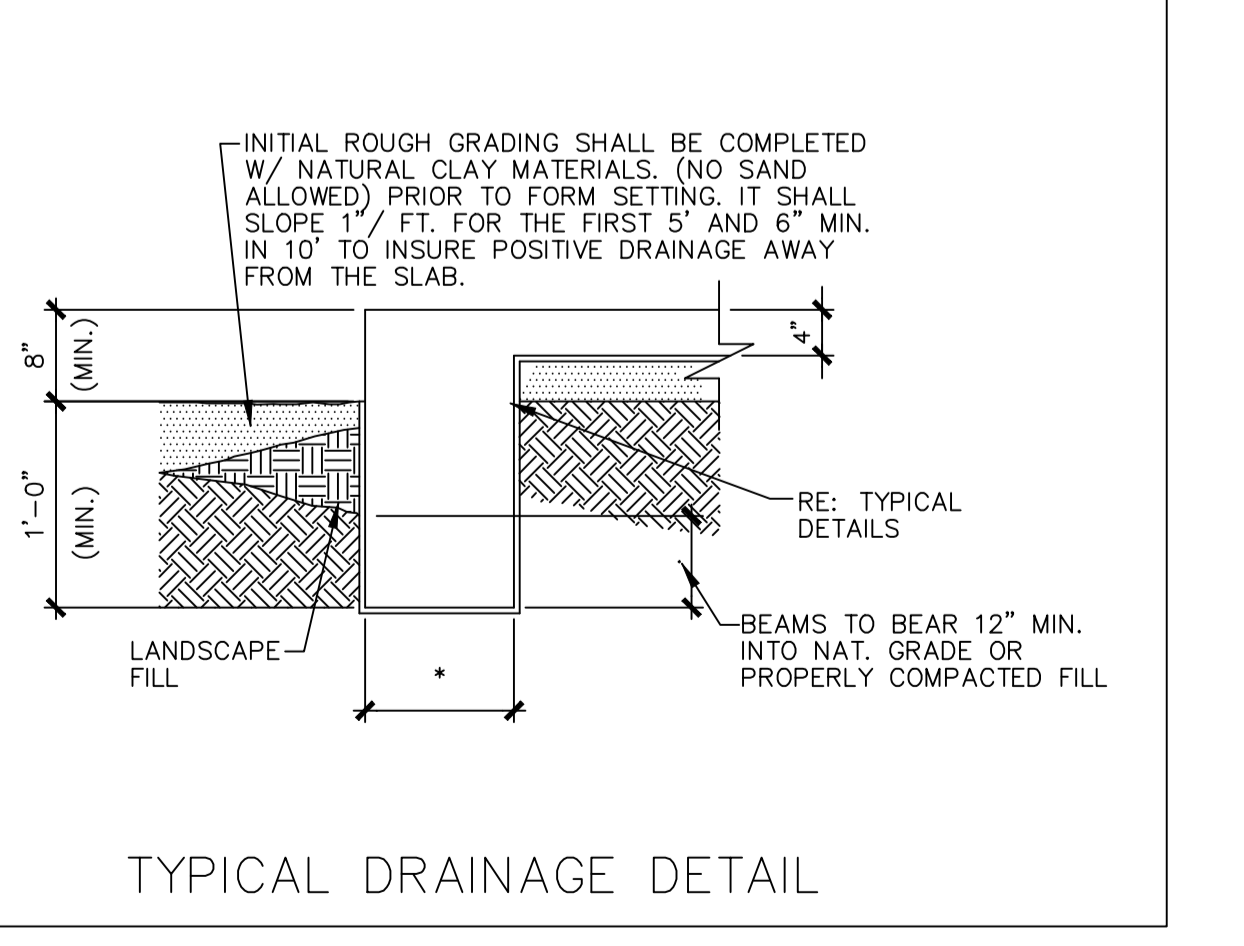
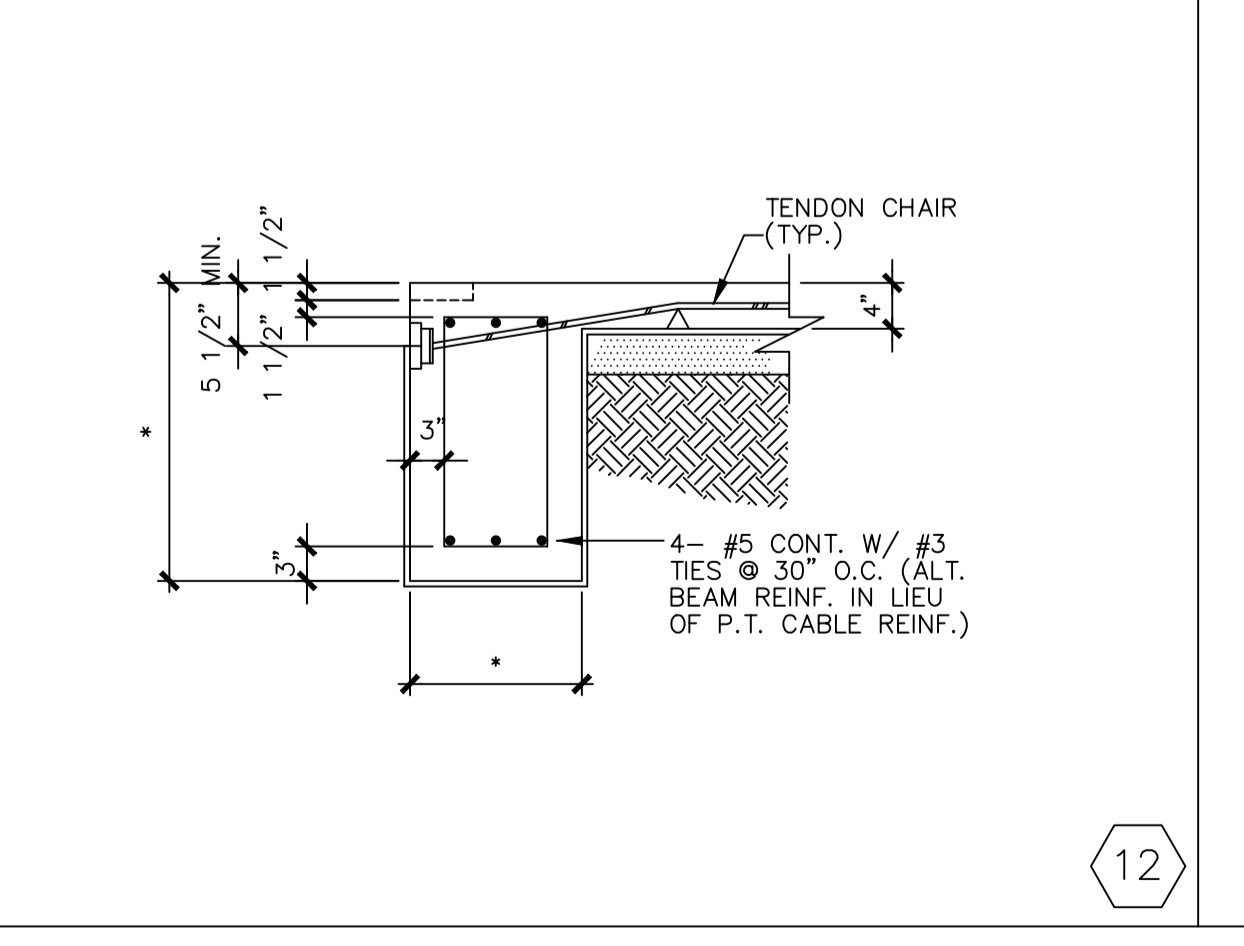
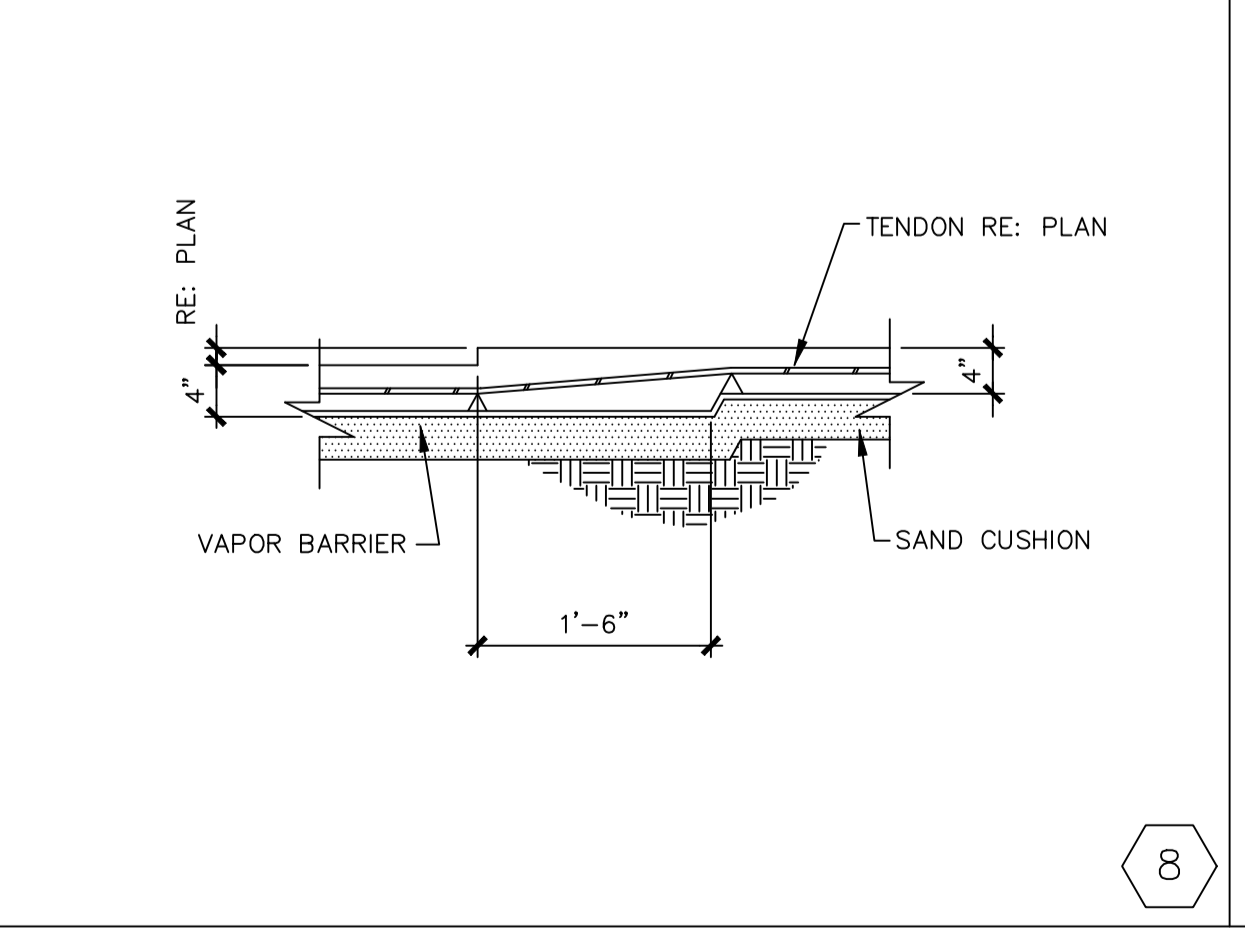
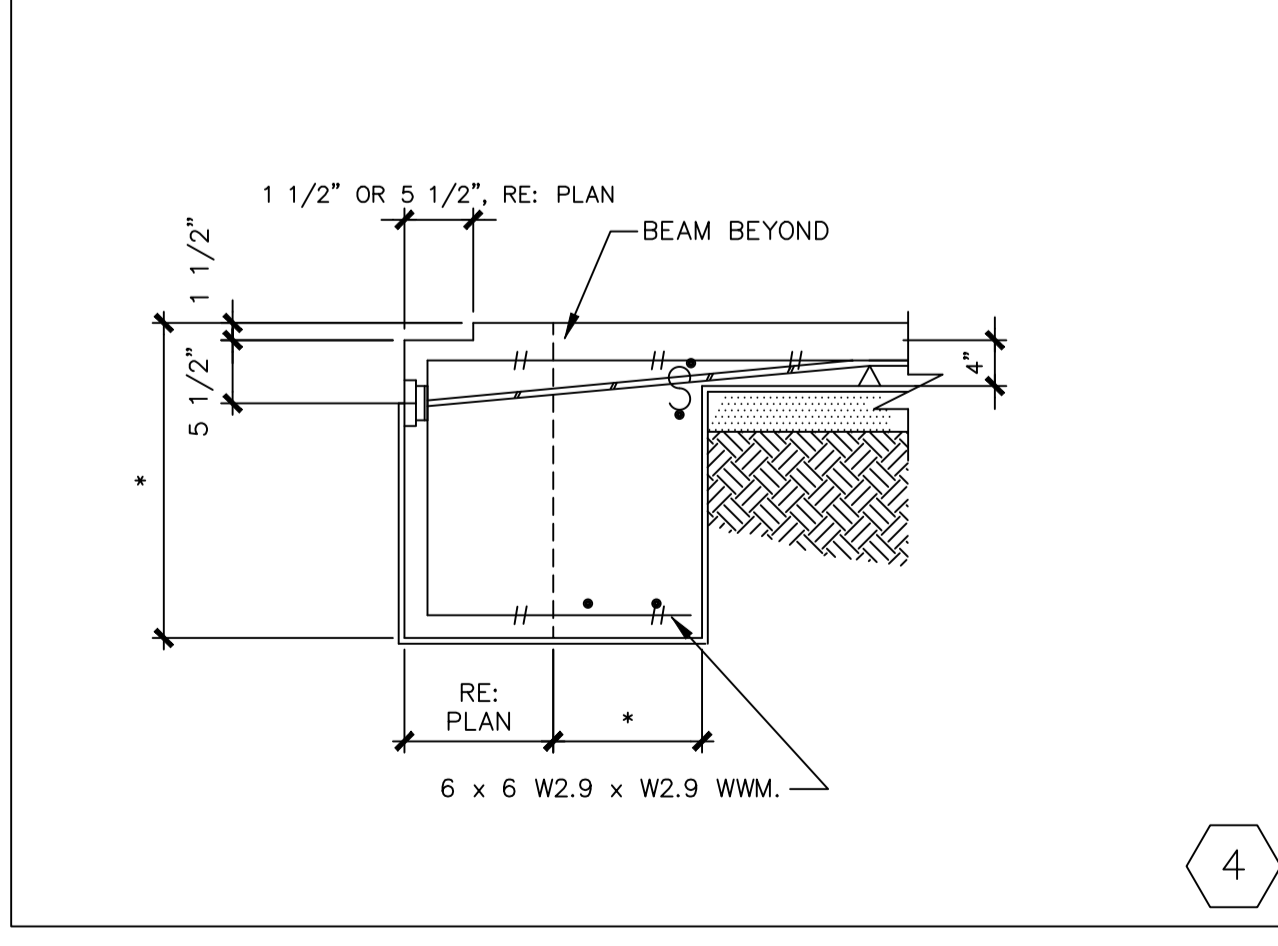
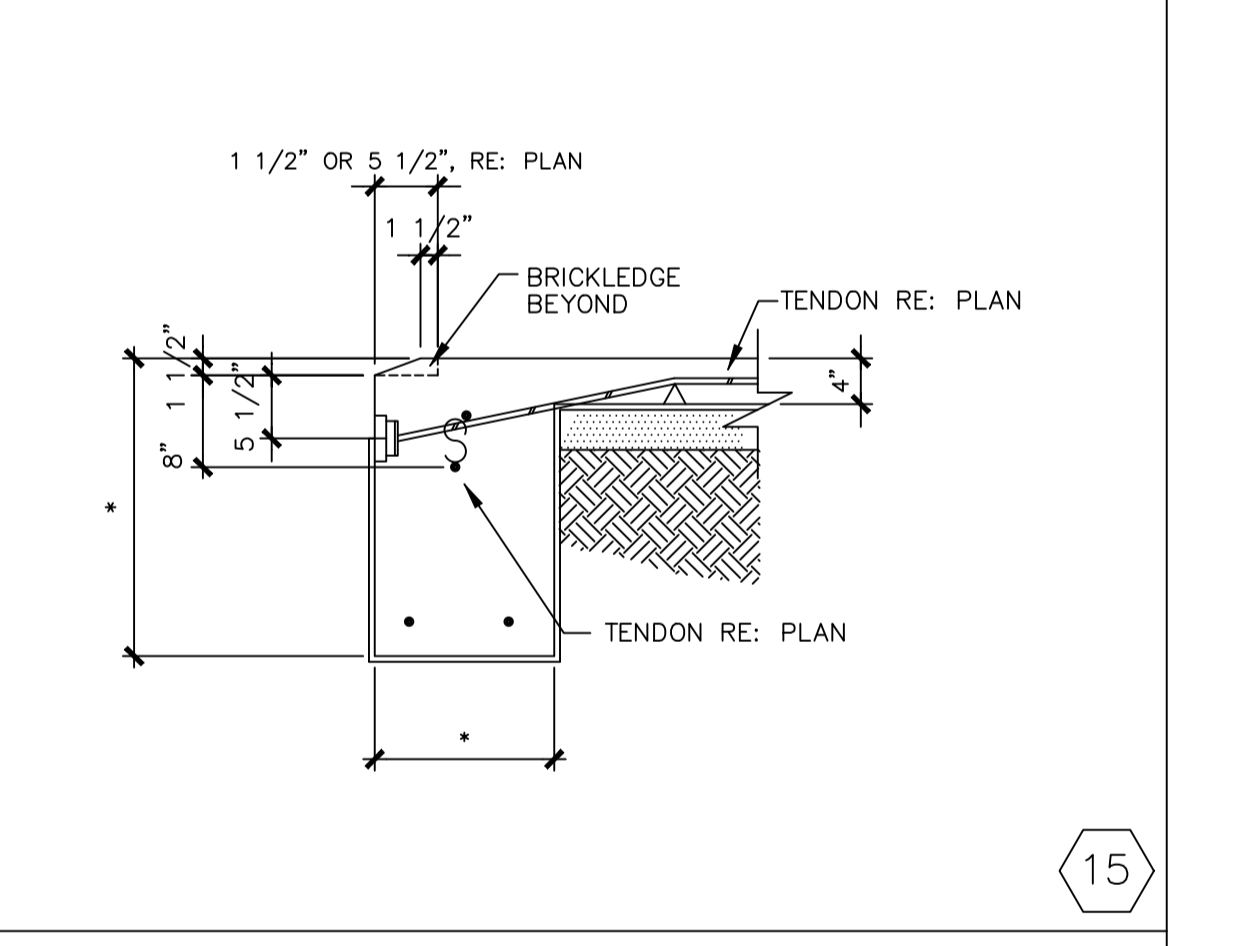
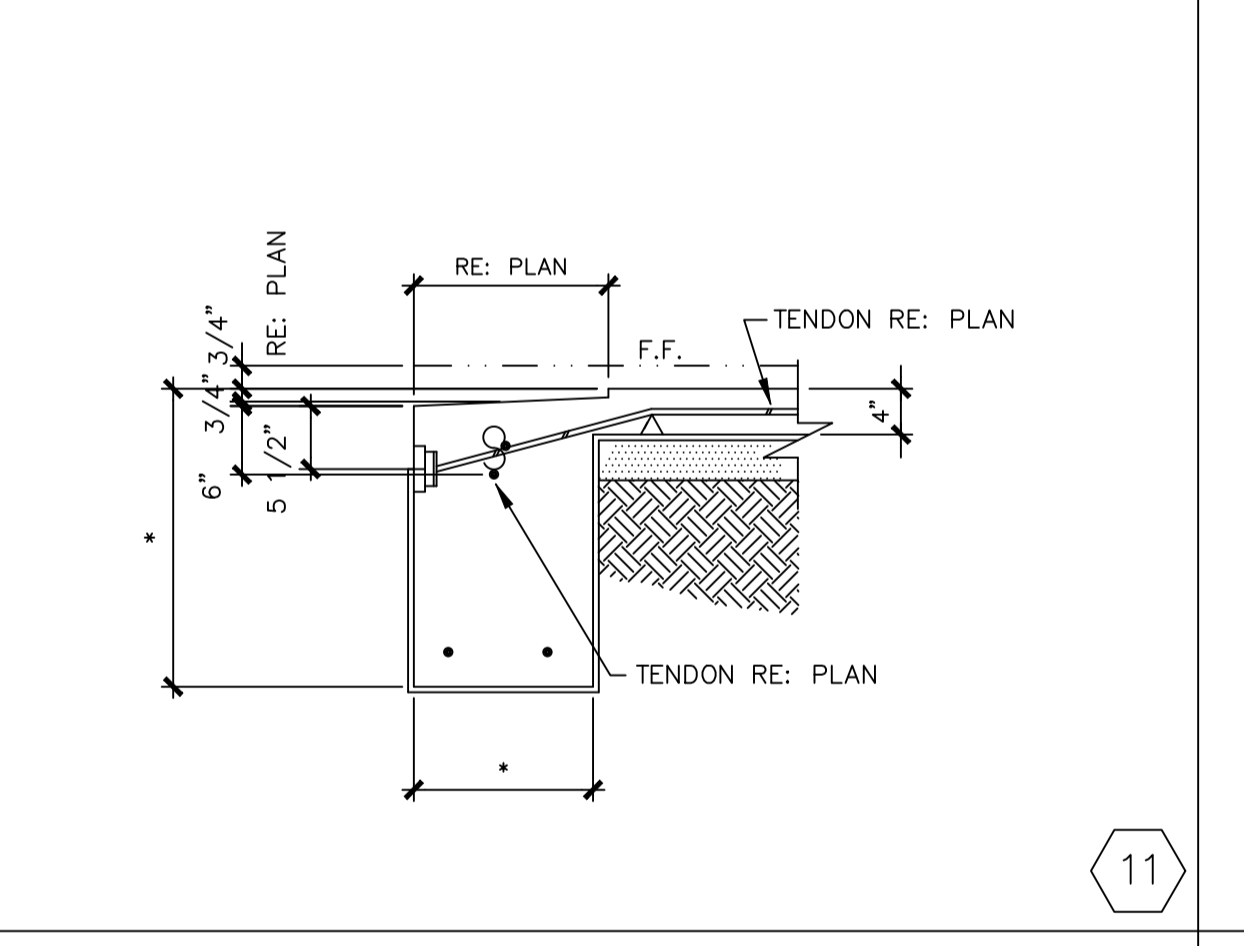
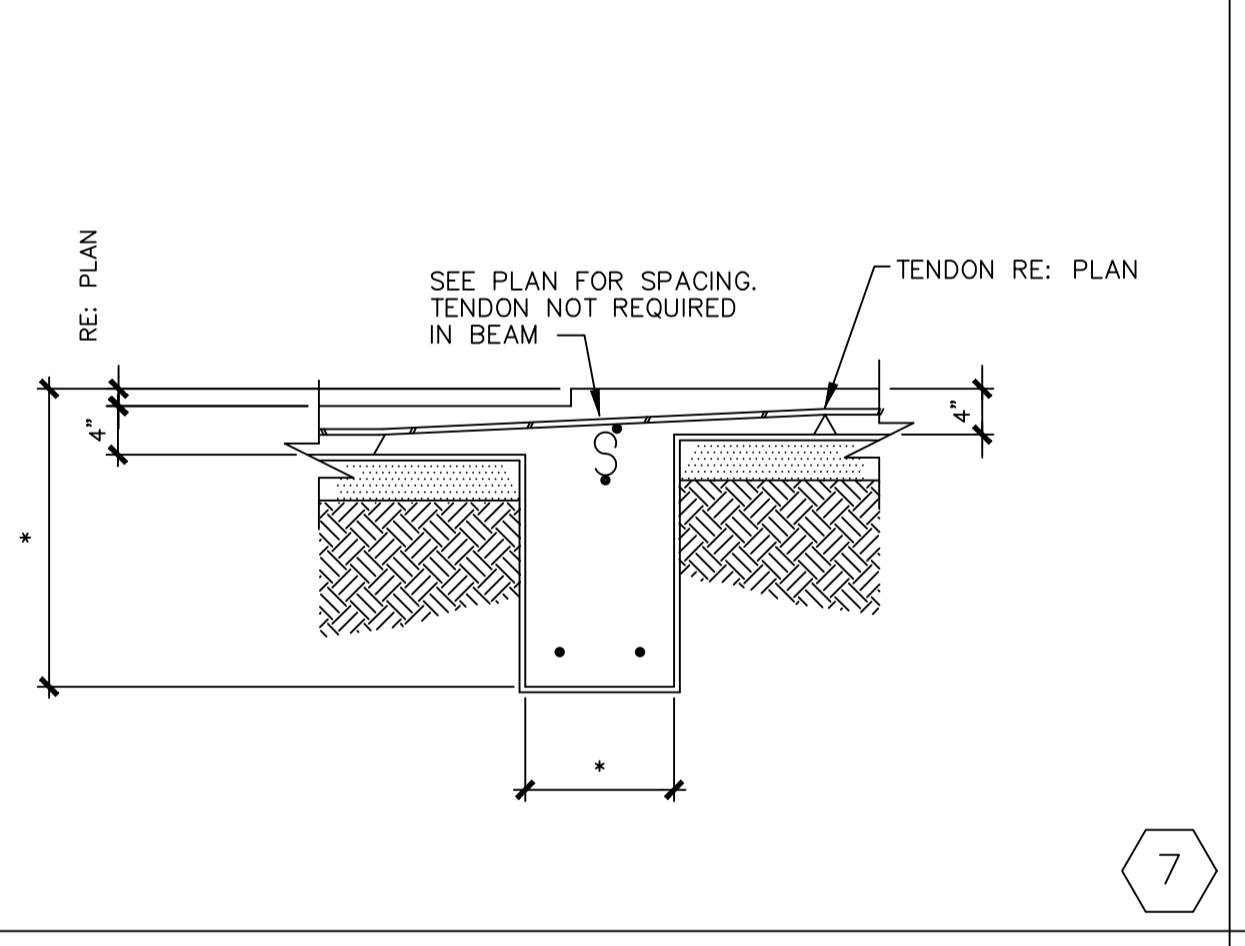
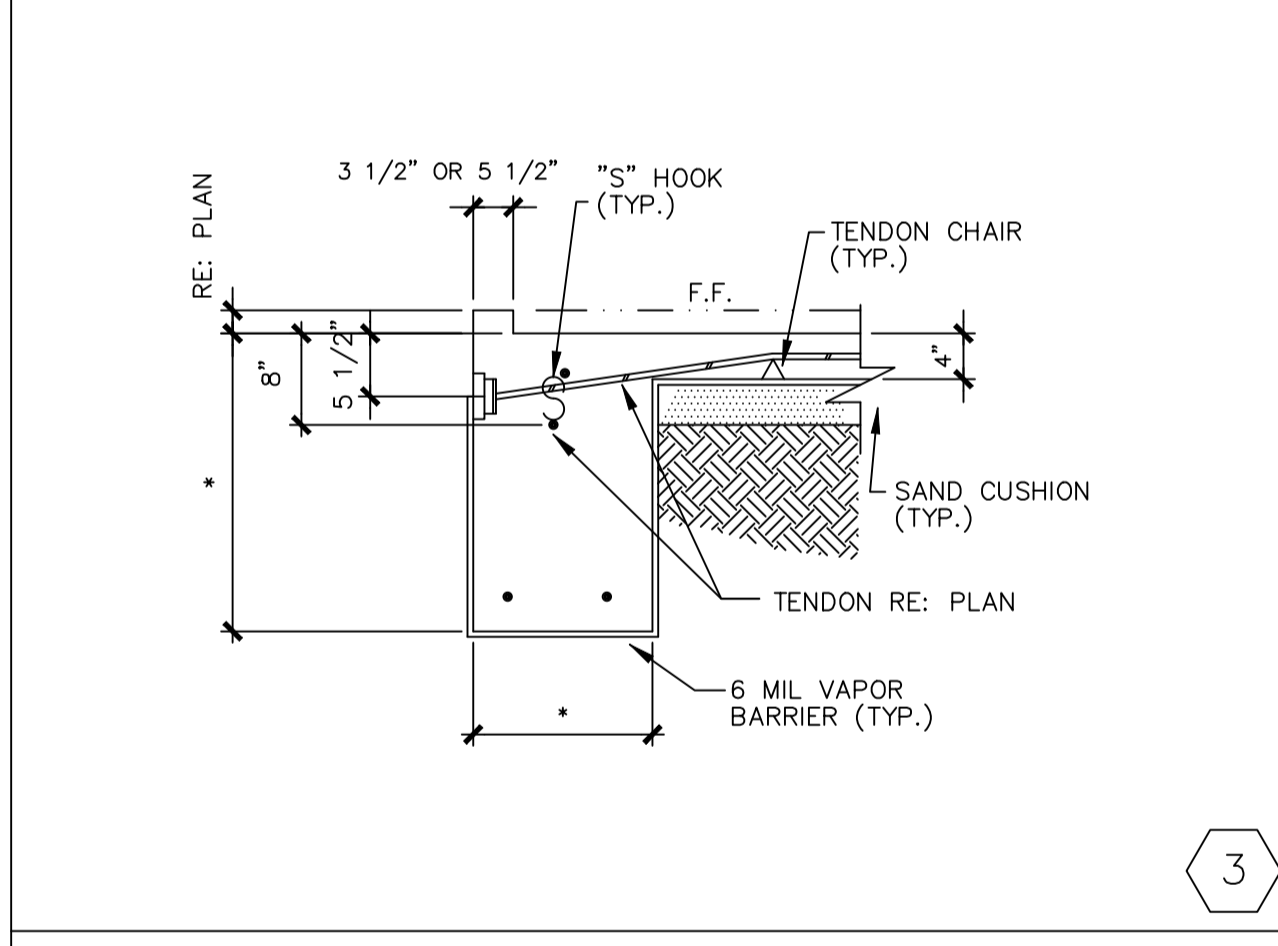
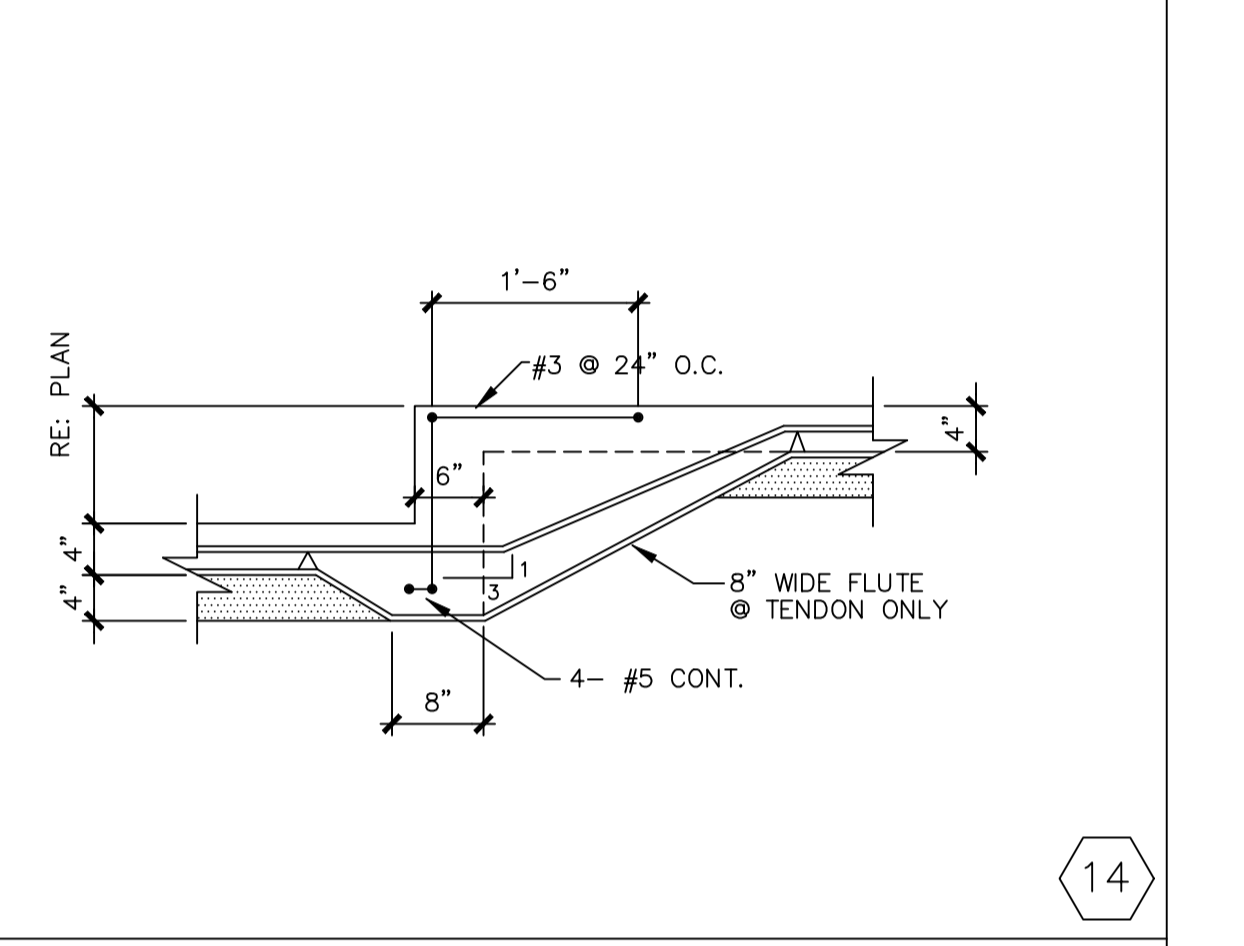
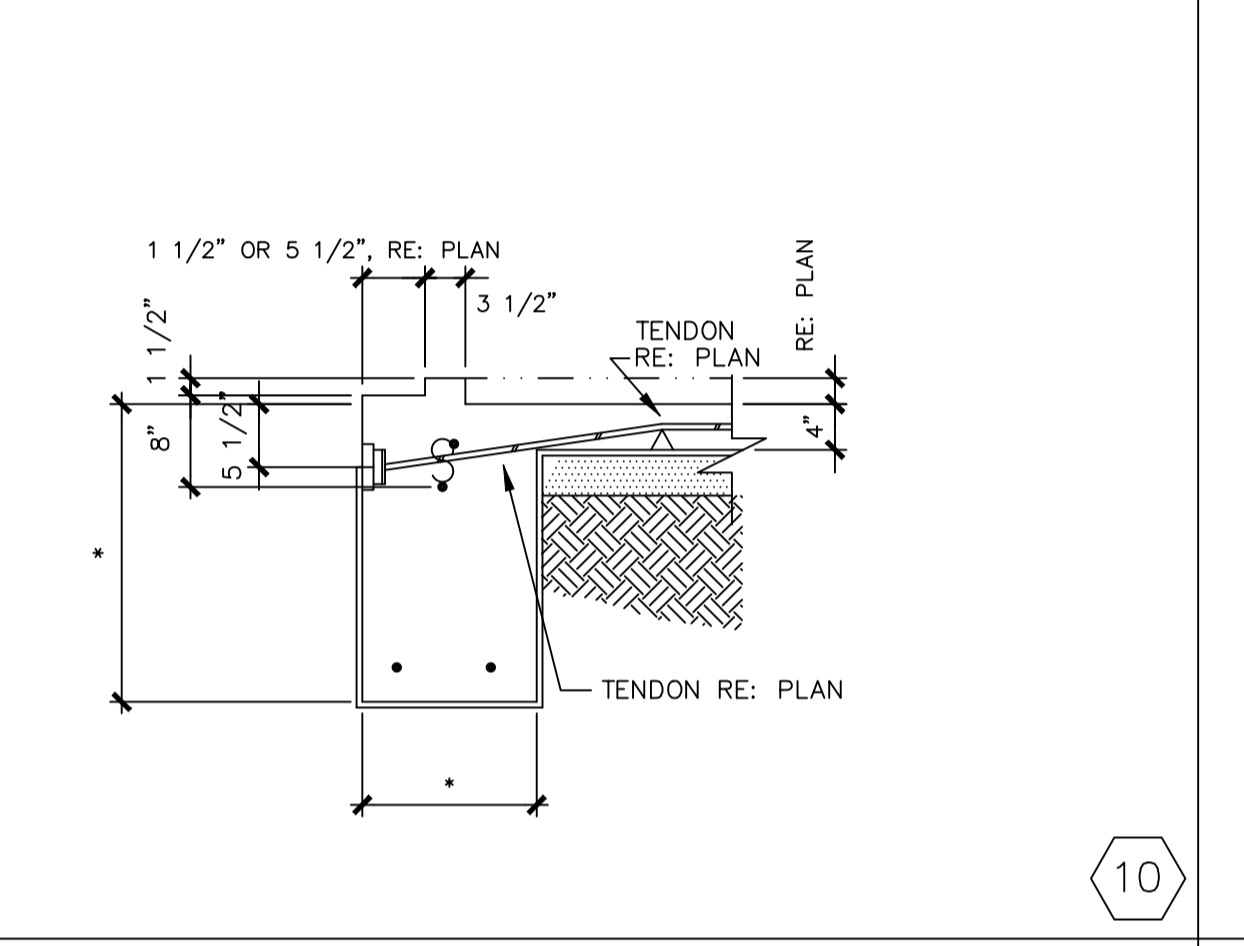
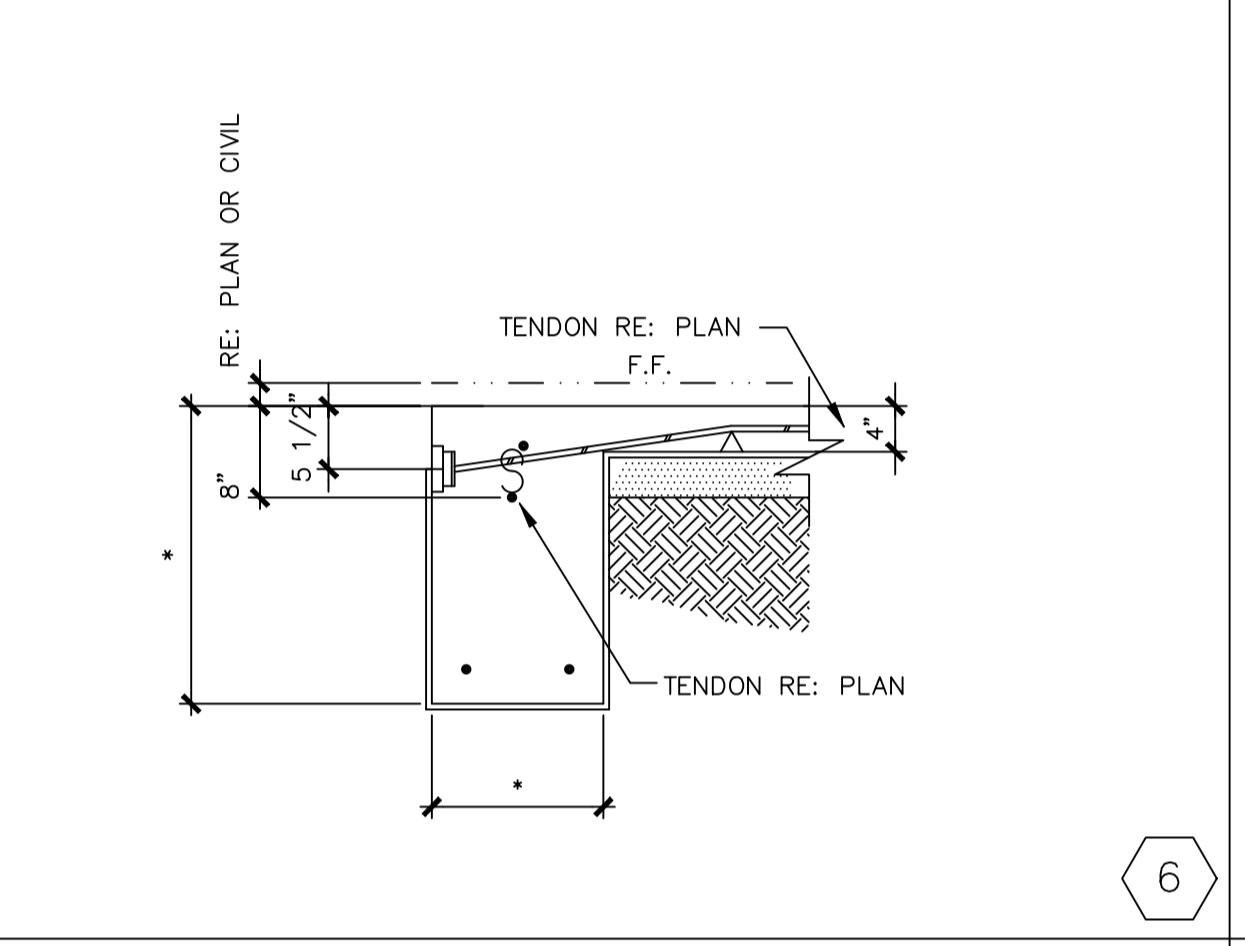
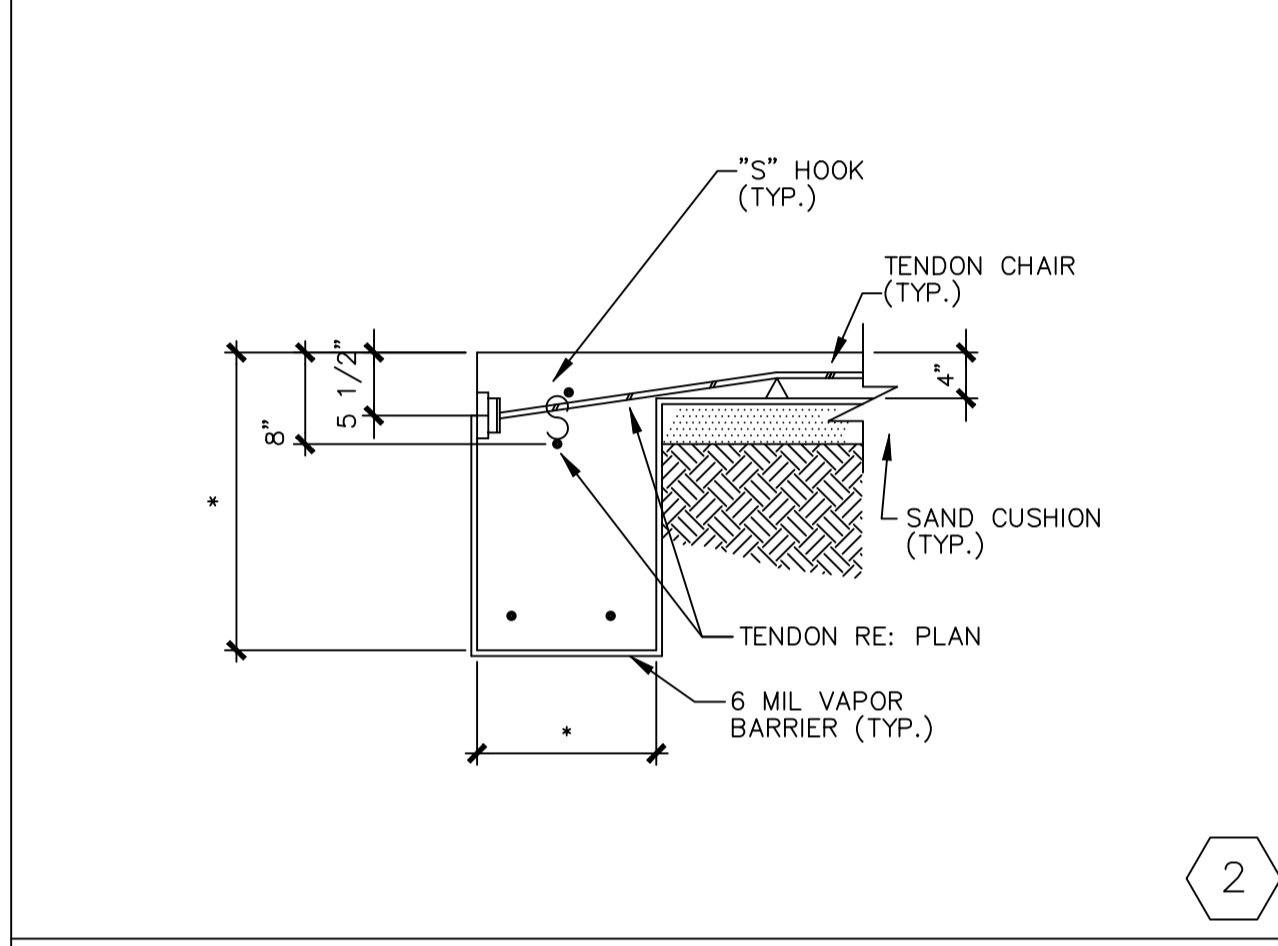
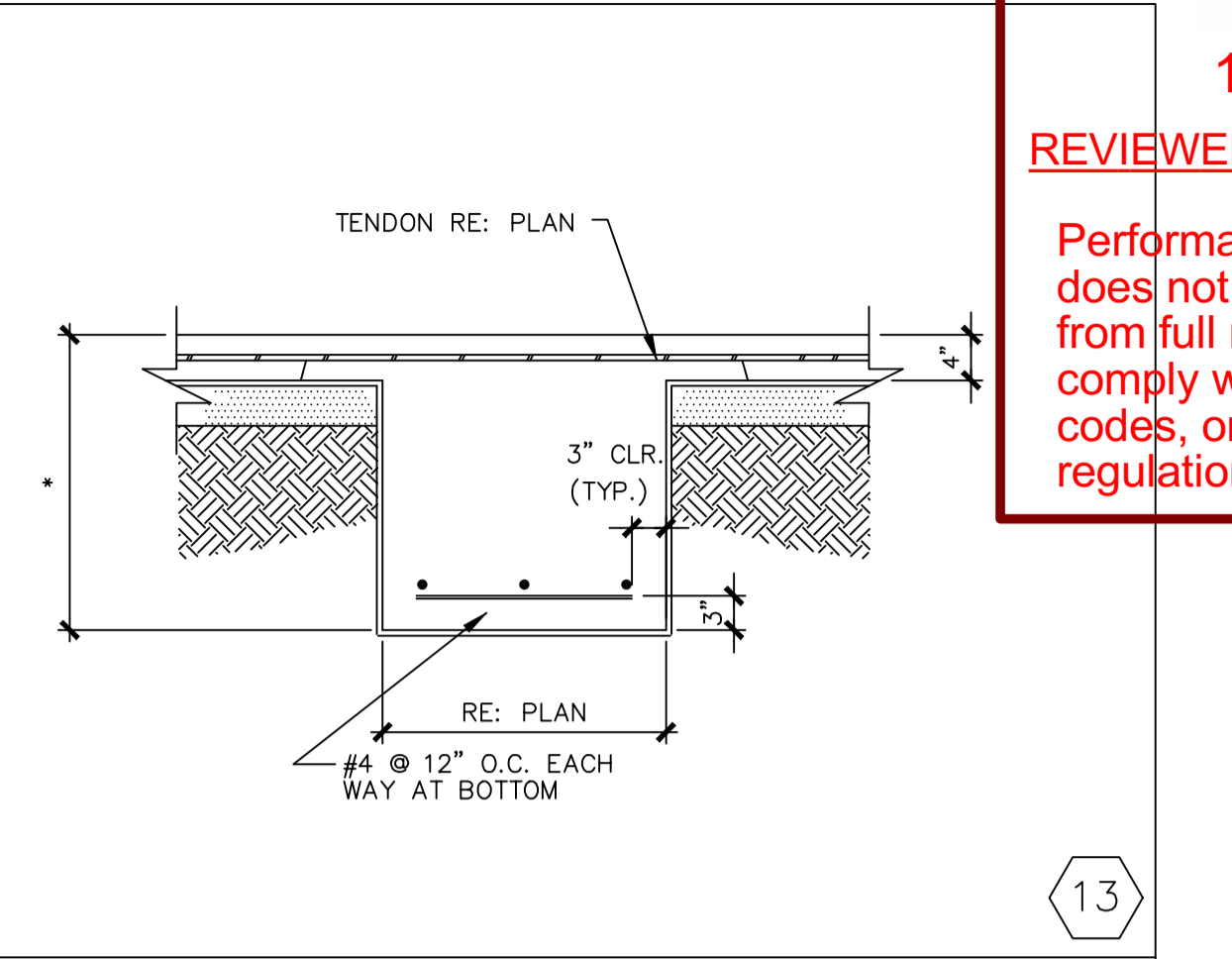
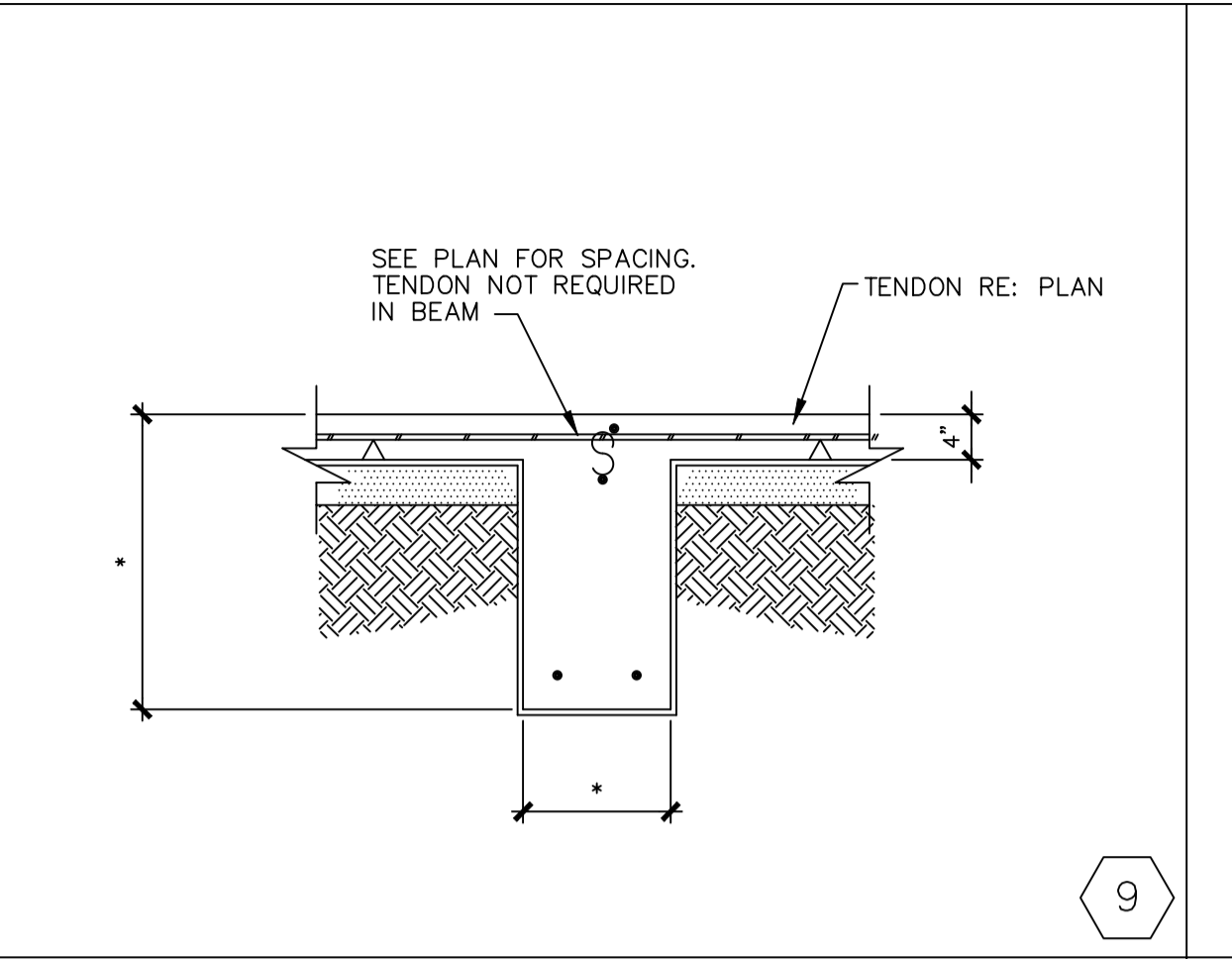
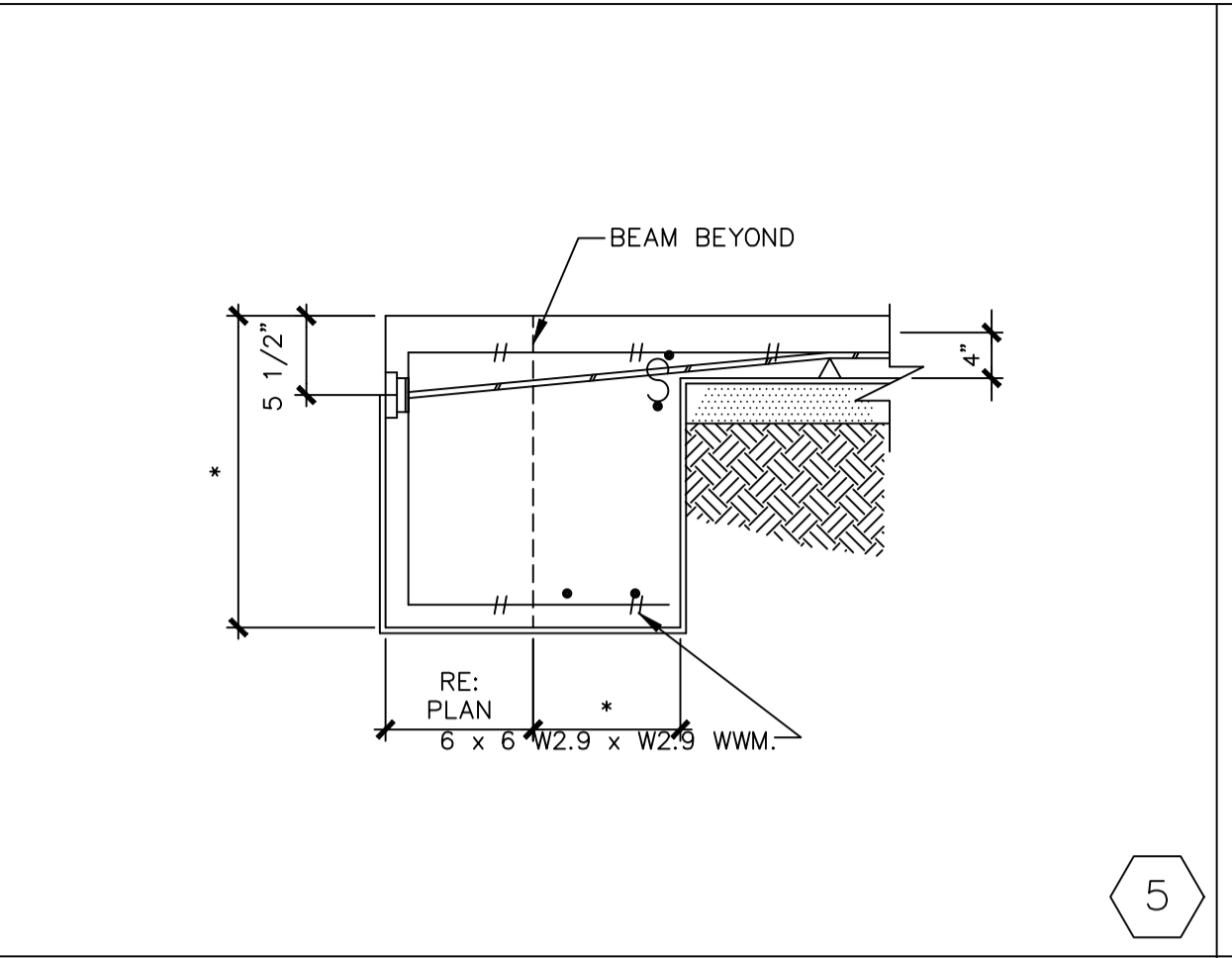
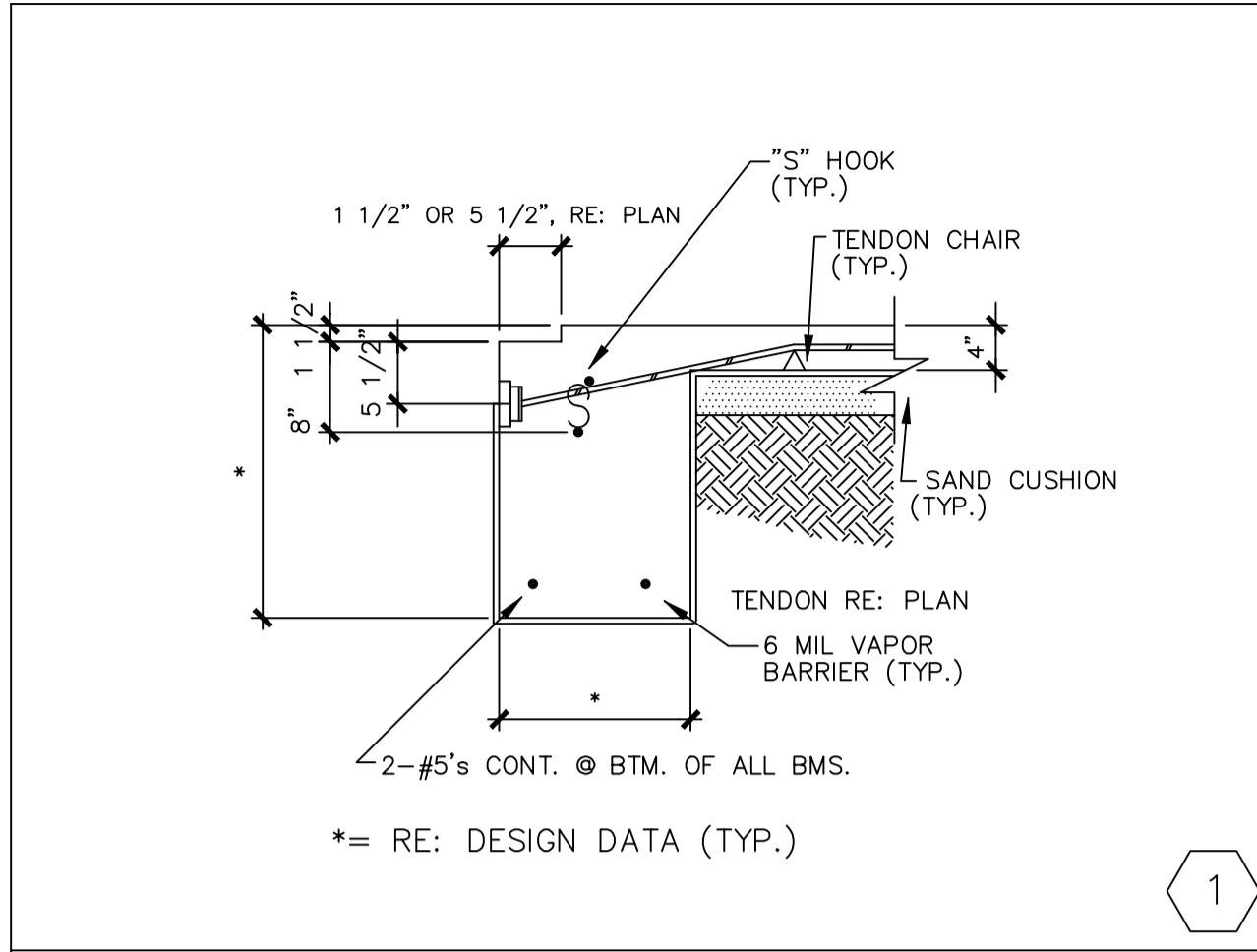
**MF**  
ENGINEERING  
LLC  
F-6074

Mack Fariabi, P. E.  
P.O. Box 218182  
Houston, Texas 77218  
Phone: (713) 419-7994  
Fax (708) 572-8036

SIAMAK FARIABI  
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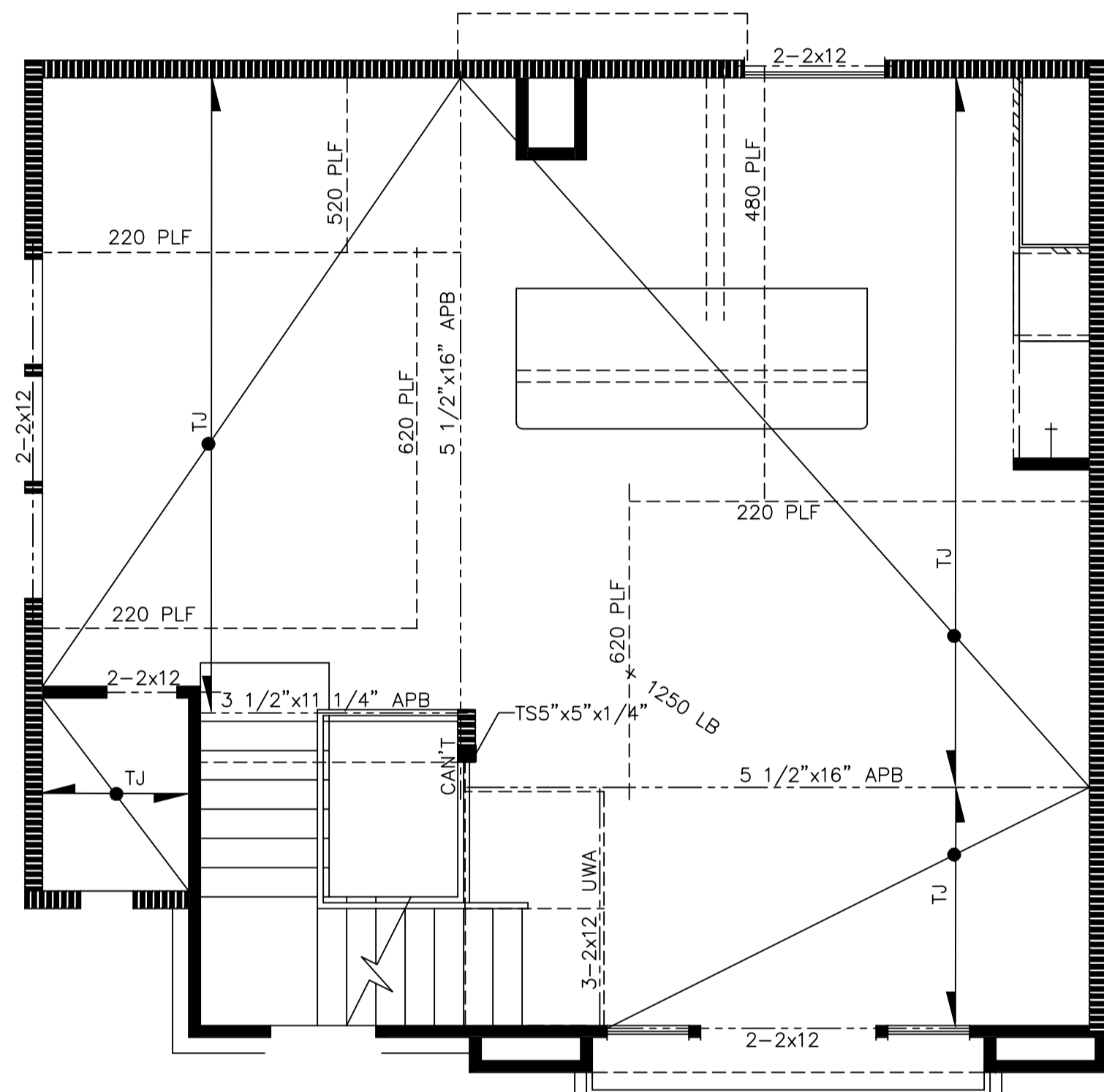
Foundation Details Sheet



**REVIEWED FOR COMPLIANCE**

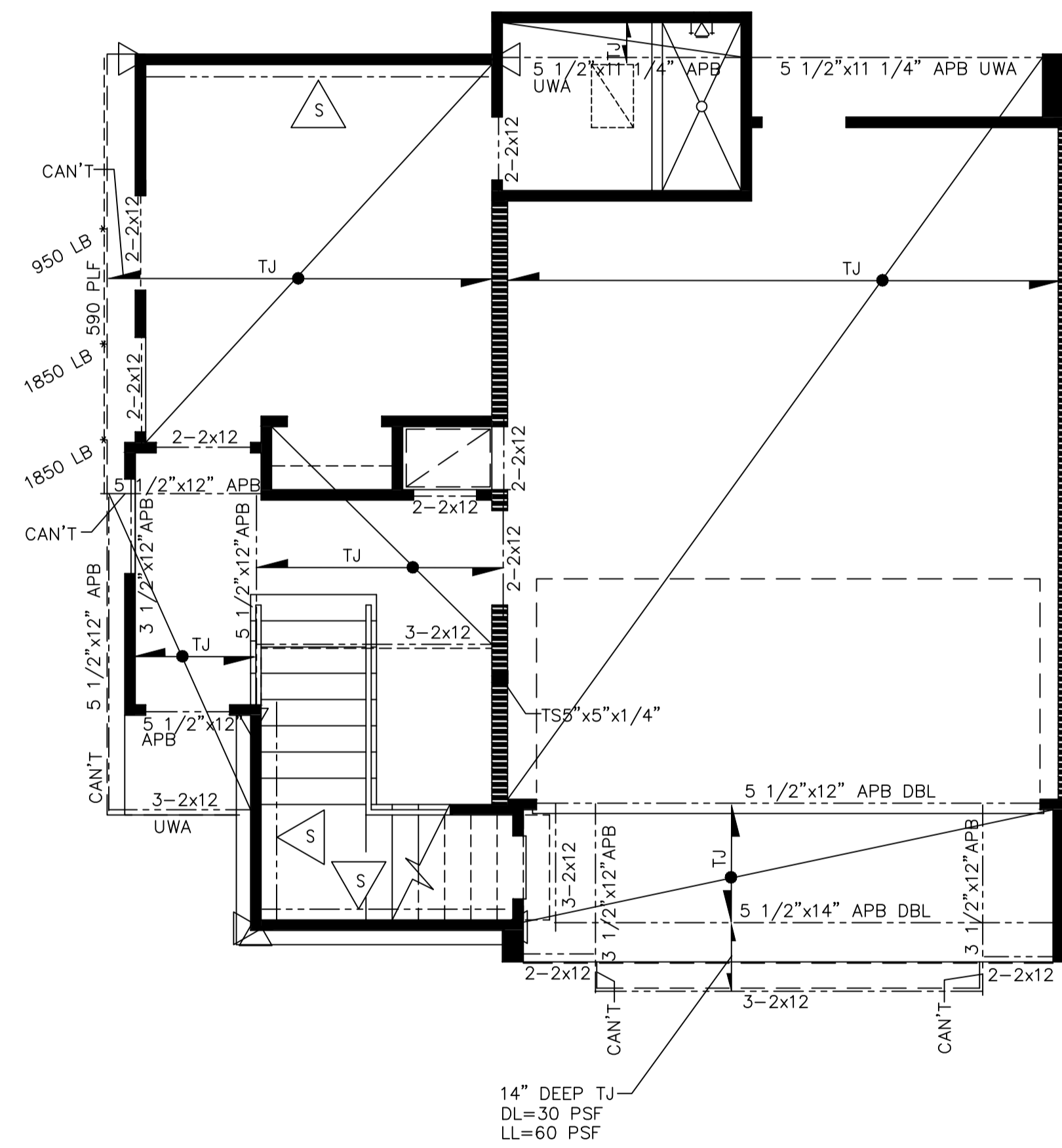
Performance of this review is not the responsibility to comply with all applicable codes, ordinances and other laws. 04/16/18

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| <p>SHEAR WALLS:</p> <ul style="list-style-type: none"> <li>- ALL EXTERIOR WALLS 1/2" STRUCTURAL PLYWOOD WITH 8d @ 4" O.C.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p>DETAILS REMAIN THE PROPERTY OF MF ENGINEERING, LLC THIS DOCUMENT IS NOT TO BE COPIED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT OF MF ENGINEERING, LLC THESE DOCUMENTS ARE PROTECTED UNDER "ARCHITECTURAL WORKS" 17 U.S.C. SEC. 102 (a) (8) UNITED STATES COPYRIGHT ACT.</p> |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| <p>WIND BRACING NOTES:</p> <ul style="list-style-type: none"> <li>1/2" STRUCTURAL PLYWOOD WITH 8d @ 4" O.C.</li> <li>-TYPICAL HOLD DOWN ON EACH OF SHEAR WALLS HD7B</li> <li>-TYPICAL INDICATION FOR SHEAR WALL TYPE. SEE WIND/FRAMING DETAIL SHEET FOR SHEAR WALL SCHEDULE.</li> <li>-SEE WIND/FRAMING DETAIL SHEET FOR TYPICAL SHEAR WALL PLACEMENT ELEVATION.</li> <li>-SEE WIND/FRAMING DETAIL SHEET FOR SHEAR WALL NAILING AROUND DOOR AND WINDOW OPENINGS.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                             |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| <p>FLUSH BEAM TO BEAM CONNECTION NOTES</p> <ol style="list-style-type: none"> <li>ALL FLUSH WOOD BEAM TO WOOD BEAM CONNECTIONS SHALL BE SIMPSON HGB OR HGLT HANGERS OR EQUAL (U.O.N.)</li> <li>ALL FLUSH STEEL BEAM TO STEEL BEAM CONNECTIONS SHALL BE 2 - 1/4"x4x1/4x0-9" W/ 3-3/4 DIA. AB THROUGH BOLTS IN EACH</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                             |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| <p>FLOOR FRAMING NOTES</p> <ol style="list-style-type: none"> <li>FLOOR JOISTS - 18" DEEP OPEN WEB MANUFACTURED WOOD TRUSSES ENGINEERED BY OTHERS AT 19.2' O.C.</li> <li>TYP. SHEATHING - 3/4" 48/24 APA RATED T &amp; G GLUED &amp; NAILED W/ 8d @ 6" EDGES &amp; 10" FIELD (FOR 1/8" SHEATHING USE 10d NAILS)</li> <li>ALTERNATE SHEATHING - 2" x 6" 1/2" S/DIAG. DECKING W/2 - 16d EA. SUPPORT</li> <li>ALL BEAMS AND HEADERS SHALL BE SYP #2</li> <li>PROVIDE 2 - 2x12 HEADERS AT ALL FIRST LEVEL OPENINGS U.N.O.</li> <li>ALL BEAMS ARE FLUSH BEAMS U.N.O.</li> <li>PROVIDE FULL BEARING UNDER ALL BEAMS CONTINUOUSLY TO FOUNDATION.</li> <li>DL = 10 PSF LL = 40 PSF DEFLECTION CRITERIA: LIVE LOAD L/360 TOTAL LOAD L/240</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                             |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| <p>TRUSS LOAD NOTES</p> <ul style="list-style-type: none"> <li>- TYPICAL INDICATION FOR LOAD TO TRUSS FROM WALL ABOVE &amp; POUNDS PER LINEAR FOOT. LOADS SHOWN DO NOT INCLUDE FLOOR LOADS</li> <li>* TYPICAL INDICATION FOR POINT LOAD TO TRUSS FROM WALL ABOVE IN POUNDS. LOADS SHOWN DO NOT INCLUDE FLOOR LOAD.</li> </ul> <ol style="list-style-type: none"> <li>USE 120 PLF WALL LOAD TO TRUSSES FROM NON LOAD-BEARING WALLS ABOVE. LOADS SHOWN DO NOT INCLUDE FLOOR LOAD.</li> <li>ALL FLUSH BEAM - TO - BEAM CONNECTIONS SHALL BE SIMPSON HGB OR HGLT (U.N.O.)</li> <li>ALL FLUSH STEEL BEAM TO STEEL BEAM CONNECTIONS SHALL BE 2 - 1/4"x4x1/4x0-9" W/3 - 3/4" A307 BOLTS IN EA. LEG.</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                             |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| <p>STRUCTURAL ABBREVIATIONS</p> <table border="0"> <tr> <td>ARCH.</td> <td>ARCHITECTURAL</td> </tr> <tr> <td>ASI</td> <td>ALPHA STRUCTURES INCORPORATED</td> </tr> <tr> <td>APB</td> <td>ANTHONY POWER BEAM</td> </tr> <tr> <td>BLDG.</td> <td>BUILDING</td> </tr> <tr> <td>BOTT.</td> <td>BOTTOM</td> </tr> <tr> <td>C.J.</td> <td>CEILING JOIST</td> </tr> <tr> <td>CANTLRD.</td> <td>CANTILEVERED</td> </tr> <tr> <td>CONT.</td> <td>CONTINUOUS</td> </tr> <tr> <td>D.J.</td> <td>DECK JOIST</td> </tr> <tr> <td>DIAG.</td> <td>DIAGONAL</td> </tr> <tr> <td>DWG.</td> <td>DRAWING</td> </tr> <tr> <td>D.B.</td> <td>DROP BEAM</td> </tr> <tr> <td>EA.</td> <td>EACH</td> </tr> <tr> <td>F.B.</td> <td>FLUSH BEAM</td> </tr> <tr> <td>F.J.</td> <td>FLOOR JOIST</td> </tr> <tr> <td>G &amp; N</td> <td>GLUED AND NAILED</td> </tr> <tr> <td>GL.</td> <td>GLULAM</td> </tr> <tr> <td>HDR.</td> <td>HEADER</td> </tr> <tr> <td>HORIZ.</td> <td>HORIZONTAL</td> </tr> <tr> <td>LLV.</td> <td>LONG LEG VERTICAL</td> </tr> <tr> <td>LVL.</td> <td>LAMINATED VENEER LUMBER (MICROLAM)</td> </tr> <tr> <td>MANUF.</td> <td>MANUFACTURED</td> </tr> <tr> <td>O.C.</td> <td>ON CENTER</td> </tr> <tr> <td>O.C.E.W.</td> <td>ON CENTER EACH WAY</td> </tr> <tr> <td>P.T.</td> <td>PRESSURE TREATED</td> </tr> <tr> <td>PLF</td> <td>POUNDS PER LINEAR FOOT</td> </tr> <tr> <td>PSL</td> <td>PARALLEL STRAND LUMBER (PARALLAM)</td> </tr> <tr> <td>RBS</td> <td>ROOF BRACING SUPPORT</td> </tr> <tr> <td>REF.</td> <td>REFER TO</td> </tr> <tr> <td>R.J.</td> <td>ROOF JOIST</td> </tr> <tr> <td>S.B.C.</td> <td>SOUTHERN BUILDING CODE</td> </tr> <tr> <td>STD.</td> <td>STANDARD</td> </tr> <tr> <td>STL.</td> <td>STEEL</td> </tr> <tr> <td>S.Y.P.</td> <td>SOUTHERN YELLOW PINE</td> </tr> <tr> <td>T &amp; B</td> <td>TOP &amp; BOTTOM</td> </tr> <tr> <td>T &amp; G</td> <td>TONGE AND GROOVED</td> </tr> <tr> <td>T.J.</td> <td>TRUSS JOIST</td> </tr> <tr> <td>T.J.I.</td> <td>TRUSS JOIST INTERNATIONAL</td> </tr> <tr> <td>U.W.A.</td> <td>UNDER WALL ABOVE</td> </tr> <tr> <td>U.N.O.</td> <td>UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>VERT.</td> <td>VERTICAL</td> </tr> <tr> <td>&amp;</td> <td>AND</td> </tr> <tr> <td>@</td> <td>AT</td> </tr> <tr> <td>Ø</td> <td>DIAMETER</td> </tr> <tr> <td>#</td> <td>NUMBER, POUNDS</td> </tr> <tr> <td>?</td> <td>PLATE</td> </tr> <tr> <td>W/</td> <td>WITH</td> </tr> </table> | ARCH.                                                                                                                                                                                                                                                                                                       | ARCHITECTURAL | ASI | ALPHA STRUCTURES INCORPORATED | APB | ANTHONY POWER BEAM | BLDG. | BUILDING | BOTT. | BOTTOM | C.J. | CEILING JOIST | CANTLRD. | CANTILEVERED | CONT. | CONTINUOUS | D.J. | DECK JOIST | DIAG. | DIAGONAL | DWG. | DRAWING | D.B. | DROP BEAM | EA. | EACH | F.B. | FLUSH BEAM | F.J. | FLOOR JOIST | G & N | GLUED AND NAILED | GL. | GLULAM | HDR. | HEADER | HORIZ. | HORIZONTAL | LLV. | LONG LEG VERTICAL | LVL. | LAMINATED VENEER LUMBER (MICROLAM) | MANUF. | MANUFACTURED | O.C. | ON CENTER | O.C.E.W. | ON CENTER EACH WAY | P.T. | PRESSURE TREATED | PLF | POUNDS PER LINEAR FOOT | PSL | PARALLEL STRAND LUMBER (PARALLAM) | RBS | ROOF BRACING SUPPORT | REF. | REFER TO | R.J. | ROOF JOIST | S.B.C. | SOUTHERN BUILDING CODE | STD. | STANDARD | STL. | STEEL | S.Y.P. | SOUTHERN YELLOW PINE | T & B | TOP & BOTTOM | T & G | TONGE AND GROOVED | T.J. | TRUSS JOIST | T.J.I. | TRUSS JOIST INTERNATIONAL | U.W.A. | UNDER WALL ABOVE | U.N.O. | UNLESS NOTED OTHERWISE | VERT. | VERTICAL | & | AND | @ | AT | Ø | DIAMETER | # | NUMBER, POUNDS | ? | PLATE | W/ | WITH |
| ARCH.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | ARCHITECTURAL                                                                                                                                                                                                                                                                                               |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| ASI                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | ALPHA STRUCTURES INCORPORATED                                                                                                                                                                                                                                                                               |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| APB                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | ANTHONY POWER BEAM                                                                                                                                                                                                                                                                                          |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| BLDG.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | BUILDING                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| BOTT.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | BOTTOM                                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| C.J.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | CEILING JOIST                                                                                                                                                                                                                                                                                               |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| CANTLRD.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | CANTILEVERED                                                                                                                                                                                                                                                                                                |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| CONT.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | CONTINUOUS                                                                                                                                                                                                                                                                                                  |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| D.J.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | DECK JOIST                                                                                                                                                                                                                                                                                                  |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| DIAG.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | DIAGONAL                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| DWG.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | DRAWING                                                                                                                                                                                                                                                                                                     |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| D.B.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | DROP BEAM                                                                                                                                                                                                                                                                                                   |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| EA.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | EACH                                                                                                                                                                                                                                                                                                        |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| F.B.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | FLUSH BEAM                                                                                                                                                                                                                                                                                                  |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| F.J.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | FLOOR JOIST                                                                                                                                                                                                                                                                                                 |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| G & N                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | GLUED AND NAILED                                                                                                                                                                                                                                                                                            |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| GL.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | GLULAM                                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| HDR.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | HEADER                                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| HORIZ.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | HORIZONTAL                                                                                                                                                                                                                                                                                                  |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| LLV.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | LONG LEG VERTICAL                                                                                                                                                                                                                                                                                           |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| LVL.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | LAMINATED VENEER LUMBER (MICROLAM)                                                                                                                                                                                                                                                                          |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| MANUF.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | MANUFACTURED                                                                                                                                                                                                                                                                                                |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| O.C.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | ON CENTER                                                                                                                                                                                                                                                                                                   |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| O.C.E.W.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | ON CENTER EACH WAY                                                                                                                                                                                                                                                                                          |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| P.T.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | PRESSURE TREATED                                                                                                                                                                                                                                                                                            |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| PLF                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | POUNDS PER LINEAR FOOT                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| PSL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | PARALLEL STRAND LUMBER (PARALLAM)                                                                                                                                                                                                                                                                           |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| RBS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | ROOF BRACING SUPPORT                                                                                                                                                                                                                                                                                        |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| REF.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | REFER TO                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| R.J.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | ROOF JOIST                                                                                                                                                                                                                                                                                                  |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| S.B.C.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | SOUTHERN BUILDING CODE                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| STD.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | STANDARD                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| STL.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | STEEL                                                                                                                                                                                                                                                                                                       |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| S.Y.P.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | SOUTHERN YELLOW PINE                                                                                                                                                                                                                                                                                        |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| T & B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | TOP & BOTTOM                                                                                                                                                                                                                                                                                                |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| T & G                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | TONGE AND GROOVED                                                                                                                                                                                                                                                                                           |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| T.J.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | TRUSS JOIST                                                                                                                                                                                                                                                                                                 |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| T.J.I.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | TRUSS JOIST INTERNATIONAL                                                                                                                                                                                                                                                                                   |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| U.W.A.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | UNDER WALL ABOVE                                                                                                                                                                                                                                                                                            |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| U.N.O.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | UNLESS NOTED OTHERWISE                                                                                                                                                                                                                                                                                      |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| VERT.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | VERTICAL                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| &                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | AND                                                                                                                                                                                                                                                                                                         |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
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| Ø                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | DIAMETER                                                                                                                                                                                                                                                                                                    |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
| #                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | NUMBER, POUNDS                                                                                                                                                                                                                                                                                              |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |
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| W/                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | WITH                                                                                                                                                                                                                                                                                                        |               |     |                               |     |                    |       |          |       |        |      |               |          |              |       |            |      |            |       |          |      |         |      |           |     |      |      |            |      |             |       |                  |     |        |      |        |        |            |      |                   |      |                                    |        |              |      |           |          |                    |      |                  |     |                        |     |                                   |     |                      |      |          |      |            |        |                        |      |          |      |       |        |                      |       |              |       |                   |      |             |        |                           |        |                  |        |                        |       |          |   |     |   |    |   |          |   |                |   |       |    |      |



SECOND FLOOR FRAMING PLAN

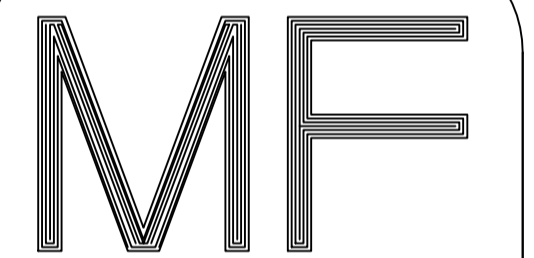
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FIRST FLOOR FRAMING PLAN

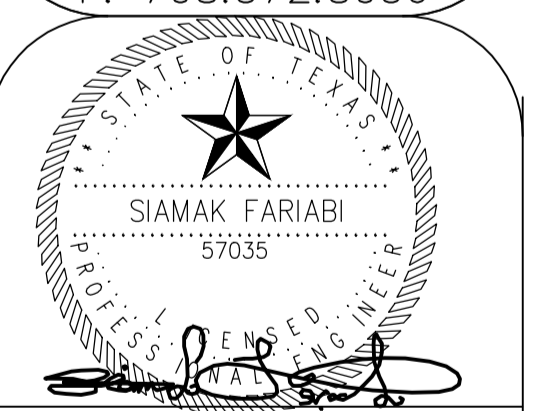
SCALE: 1/4" = 1'-0"

PSM BUILDERS LLC  
PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
3107 SAINT CHARLES HOUSTON, TX 77004



ENGINEERING, L.L.C.  
MACK FARIABI, P. E.  
F-6074

P.O. BOX 218182  
HOUSTON, TX. 77218  
M. 713.419.7994  
F. 708.572.8036



|              |           |
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| PROJECT:     |           |
| PROJECT NO.: | MFE17-217 |
| DATE:        |           |
| REVISION:    |           |
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| DRAWN:       | -         |
| SHEET NO.:   |           |





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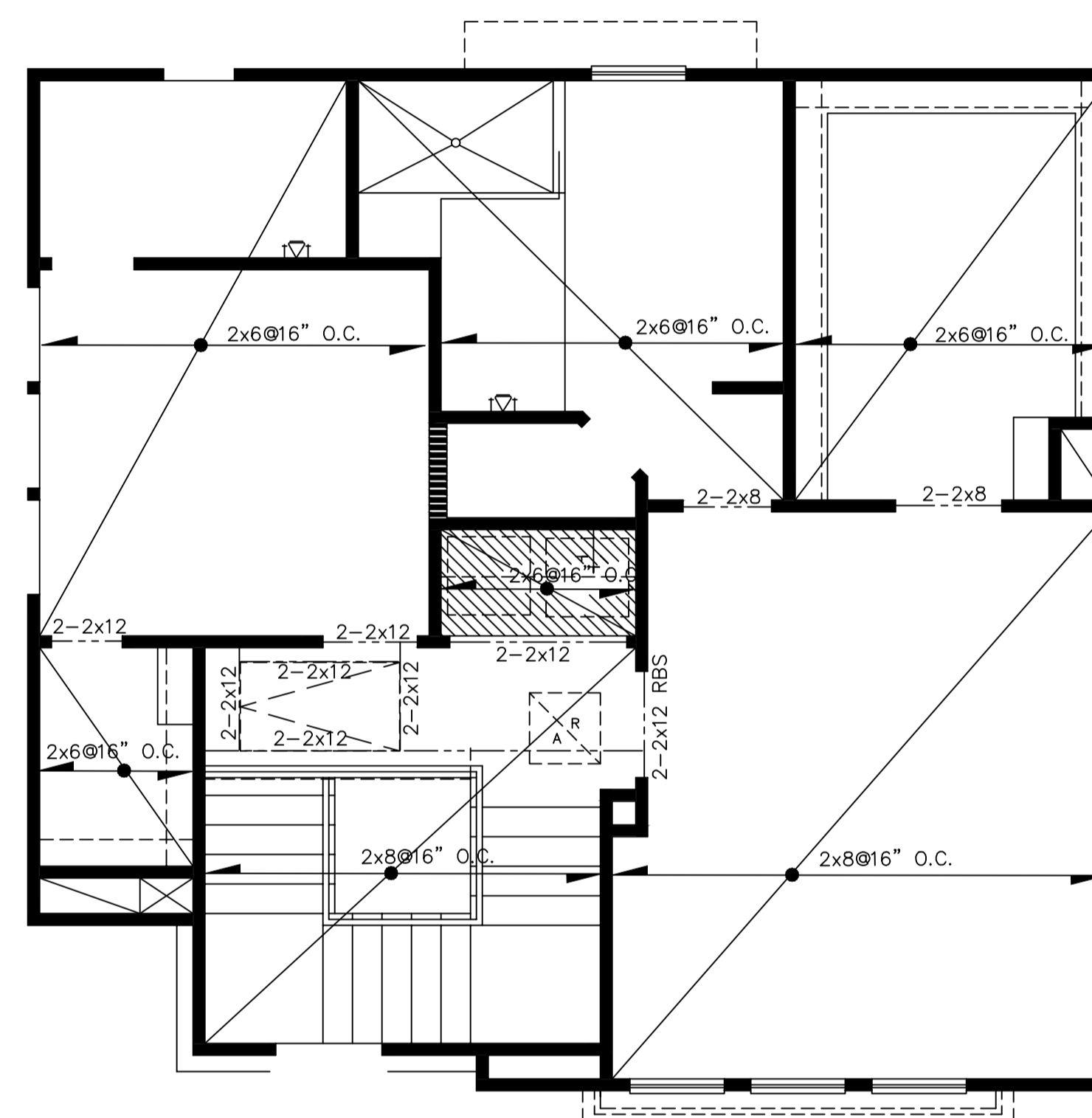
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**FLUSH BEAM TO BEAM CONNECTION NOTES**  
 1. ALL FLUSH WOOD BEAM TO WOOD BEAM CONNECTIONS SHALL BE SIMPSON HGB OR HGLT HANGERS OR EQUAL (U.N.O.)  
 2. ALL FLUSH STEEL BEAM TO STEEL BEAM CONNECTIONS SHALL BE 2- L 4x4x1/4x0-9" W/3-3/4 DIA. AB THROUGH BOLTS IN EACH

**CEILING FRAMING NOTES**  
 1. CEILING JOISTS - SYP #2  
 2. TYP. CEILING JOIST - 2x6 @ 16" O.C. U.N.O.  
 3. ALL BEAMS AND HEADERS SHALL BE SYP #2  
 4. HEADER SCHEDULE:

| SPAN          | HEADER   |
|---------------|----------|
| 2'-6" OR LESS | 2 - 2x4  |
| 4'-6" OR LESS | 2 - 2x6  |
| 6'-0" OR LESS | 2 - 2x8  |
| 7'-6" OR LESS | 2 - 2x10 |

5. ALL FLUSH BEAM - TO - BEAM CONNECTIONS SHALL BE SIMPSON HGB OR HGLT (U.N.O.)  
 6. ALL BEAMS ARE FLUSH BEAMS U.N.O.  
 7. PROVIDE FULL BEARING UNDER ALL BEAMS CONTINUOUSLY TO FOUNDATION.  
 8. DL = 5 PSF LL = 10 PSF



THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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PSM BUILDERS LLC  
 PLAZA VIEWS AT ST. CHARLES LOT 2 BLK 1  
 3107 SAINT CHARLES HOUSTON, TX 77004



ENGINEERING, L.L.C.  
 MACK FARIABI, P. E.  
 F-6074

P.O. BOX 218182  
 HOUSTON, TX. 77218  
 M. 713.419.7994  
 F. 708.572.8036



PROJECT:

PROJECT NO.: MFE17-217

DATE:

REVISION:

REVISION:

DRAWN:

SHEET NO.:

S-4



THIS STRUCTURE IS DESIGNED TO WITHSTAND A SUSTAINED 110 MPH WIND GUST FOR A 3 SECOND DURATION.  
RISK CATEGORY- CATEGORY II BUILDINGS EXPOSURE - B

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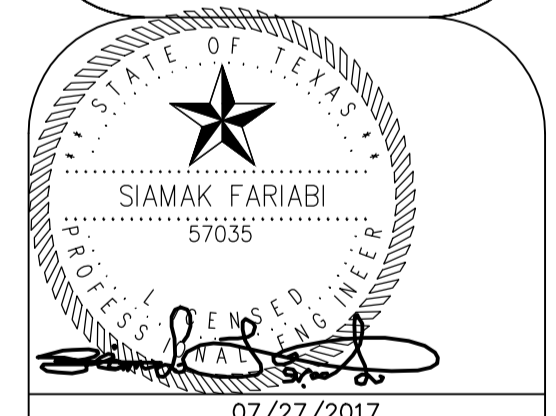
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| <p>PROVIDE 2 BOLTS OVER SUPPORT<br/>2x12 S.Y.P. #2 SEE PLAN<br/>CONTINUOUS STEEL PLATE SEE PLAN<br/>OR<br/>2-2x12 S.Y.P. #2 3-2x12 S.Y.P. #2<br/>BEARING WALL OR COL. SUPPT.<br/>1/2" A307 MACHINE BOLTS @ 24" O.C. TOP &amp; BOTTOM (STAGGERED) W/ NUTS &amp; WASHERS</p> | <p>BASE PLATE TO FOLLOW PROFILE OF WALLS AS REQUIRED<br/>1/4"<br/>CL COL. &amp; PLATE<br/>1/2" PLATE W/ HOLES FOR 2- 1/2" x 0'-10" LG. ANCH. BOLTS<br/>CL COL. &amp; PLATE</p>                                                                                                                                    | <p>1/4"<br/>CL COL. &amp; PLATE<br/>1/2" PLATE W/ HOLES FOR 2- 1" A307 BOLTS<br/>CL COL. &amp; PLATE</p>                                                                                                                                                                                                                                                                                                                                                                  | <p>STEEL BEAM SEE PLAN FOR SIZE<br/>CAP PLATE SEE PLAN FOR SIZE<br/>STEEL PIPE COLUMN SEE PLAN FOR SIZE<br/>1/2" x 0'-10" LG. ANCHOR BOLTS- DRILL &amp; SET INTO EXISTING CONCRETE W/ "HILTI" C-100<br/>BASE PLATE SEE DETAIL 5</p>                                                                                                                                                                                                                                                         |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|---------------|----------------|---------------|---------------|---------------|----------------|-------|----------|----------------|---------------|----------------|---------------|---------------|
| <p>TYPICAL STEEL FLITCH BEAM 1</p>                                                                                                                                                                                                                                         | <p>BASE PLATE 5</p>                                                                                                                                                                                                                                                                                               | <p>CAP PLATE 9</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                        | <p>PIPE COLUMN DETAIL 11</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>2x NAILERS AS REQUIRED ATTACH NAILERS W/ 145# POWDER ACTUATED FASTENERS @ 8" O.C. TOP &amp; BOT. STAGGERED OR 1/2" BOLTS @ 24" O.C. TOP AND BOTTOM STAGGERED<br/>STEEL BEAM SEE PLAN FOR SIZE</p>                                                                       | <p>L4x4x0'-9" AT EA. SIDE OF BM. WEB W/ (3)- s-p BOLTS<br/>STEEL BEAM SEE PLAN FOR SIZE</p>                                                                                                                                                                                                                       | <p>SHEATHING<br/>BRICK VENEER<br/>WEEP HOLES @ 33" O.C.<br/>FLASHING &amp; COUNTER FLASHING<br/>ROOFING<br/>RAFTER<br/>2-2x12 LEDGER W/ 4- 10d NAILS AT EA. STUD<br/>STUD WALL<br/>L5x5x5/16 W/ 3/8" BOLTS AT EA. STUD. COUNTER SINK AS REQ'D.</p>                                                                                                                                                                                                                        | <p>ROOF RAFTERS SEE PLAN FOR SIZE<br/>2x BRACE AT EVERY OTHER CEILING JOIST (32" O.C. MAX.)<br/>STUD WALL<br/>STEEL BM. SEE PLAN FOR SIZE<br/>JOIST- SEE PLAN FOR SIZE<br/>MASONRY<br/>2x NAILER - ATTACH W/ 145# POWDER ACTUATED FASTENERS @ 8" O.C. STAGGERED, OR 1/2" BOLTS @ 24" O.C. STAGGERED<br/>2- L6x4x3/8 VERT. HANGERS @ 24" O.C. LEGS BACK TO BACK<br/>BOTH ANGLES 1/4"<br/>1/4"<br/>BRICK PAVER SOFFIT- ATTACH WITH EPOXY<br/>L6x4x5/16 CONT (LLH) ROLLED TO SHAPE OF ARCH</p> |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>TYPICAL WOOD NAILER AT STL. BM 2</p>                                                                                                                                                                                                                                    | <p>STRUCTURAL STEEL BM TO BM CON. 6</p>                                                                                                                                                                                                                                                                           | <p>LEDGER BEAM BRICK SUPPORT 10</p>                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p>STEEL BM LINTEL @ ROLLED ANGLE 12</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>ROOF RAFTERS SEE PLAN FOR SIZE<br/>CEILING JOISTS SEE PLAN FOR SIZE<br/>MASONRY<br/>1/4" 3/16" x 1/4" @ 12"<br/>CONT. 1/4"x5" PLATE<br/>WOODEN HEADER SEE PLAN FOR SIZE<br/>STEEL CHANNEL SEE PLAN FOR SIZE PROVIDE 6" BEARING AT EACH END INTO BRICK</p>               | <p>STUD WALL<br/>SHEATHING<br/>FLOOR JOISTS - SEE PLAN FOR SIZE<br/>MASONRY<br/>PONY WALL AS REQUIRED<br/>STUD WALL<br/>WOOD HEADER SEE PLAN FOR SIZE<br/>SEE BRICK LINTEL SCHED FOR ANGLE SIZE. PROVIDE 6" BEARING INTO BRICK AT EACH END</p>                                                                    | <p>Steel Lintel Angle Schedule (provide 4" min. bearing- each end)</p> <table border="1"> <thead> <tr> <th>span</th> <th>5'-0" or less</th> <th>6'-0" or less</th> <th>7'-0" or less</th> <th>8'-0" or less</th> <th>9'-0" or less</th> <th>10'-0" or less</th> </tr> </thead> <tbody> <tr> <td>angle</td> <td>L3x3x3/8</td> <td>L4x3x3/8 (LLV)</td> <td>L4x3x3/8(LLV)</td> <td>L5x3x3/8 (LLV)</td> <td>L5x3x3/8(LLV)</td> <td>L6x3x3/8(LLV)</td> </tr> </tbody> </table> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | span           | 5'-0" or less | 6'-0" or less  | 7'-0" or less | 8'-0" or less | 9'-0" or less | 10'-0" or less | angle | L3x3x3/8 | L4x3x3/8 (LLV) | L4x3x3/8(LLV) | L5x3x3/8 (LLV) | L5x3x3/8(LLV) | L6x3x3/8(LLV) |
| span                                                                                                                                                                                                                                                                       | 5'-0" or less                                                                                                                                                                                                                                                                                                     | 6'-0" or less                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 7'-0" or less                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 8'-0" or less  | 9'-0" or less | 10'-0" or less |               |               |               |                |       |          |                |               |                |               |               |
| angle                                                                                                                                                                                                                                                                      | L3x3x3/8                                                                                                                                                                                                                                                                                                          | L4x3x3/8 (LLV)                                                                                                                                                                                                                                                                                                                                                                                                                                                            | L4x3x3/8(LLV)                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | L5x3x3/8 (LLV) | L5x3x3/8(LLV) | L6x3x3/8(LLV)  |               |               |               |                |       |          |                |               |                |               |               |
| <p>STEEL CHANNEL BRICK LINTEL 3</p>                                                                                                                                                                                                                                        | <p>STEEL BRICK LINTEL AT OPENING 7</p>                                                                                                                                                                                                                                                                            | <p>DETAIL "X"</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>ROOF RAFTERS SEE PLAN FOR SIZE<br/>2x BRACE AT EVERY OTHER CEILING JOIST (32" O.C. MAX.)<br/>STUD WALL<br/>CEILING JOIST SEE PLAN FOR SIZE</p>                                                                                                                          | <p>FLUSH BEAM<br/>"SIMPSON" HSTA24 STRAP TIES @ EA. JOIST - STRAP FROM JST. TO JST.<br/>CANTILEVER DECKING<br/>BUILT-UP LAMINATED PLYWOOD BEAM-GLUED &amp; NAILED<br/>FLOOR JOIST- SEE PLAN FOR SIZE &amp; SPACING<br/>FLUSH BEAM -SEE PLAN FOR SIZE<br/>"SIMPSON" H210 JOIST HANGER @ EA. SIDE OF FLUSH BEAM</p> | <p>COVER PL 3/8x4x0'-8"<br/>L4x4x3/8" CENT.<br/>3/8" MIN. SPLICE PLATE (NS &amp; FS)<br/>1/4" TYP. AT NS &amp; FS<br/>1/4" TYP. AT EA. LEG</p>                                                                                                                                                                                                                                                                                                                            | <p>1-7"<br/>1 1/2" 3" 10" 3" 1 1/2"<br/>PL 5/8"x10x1'-7" W/ (4)-3/4" A-307 ANCH. BOLTS<br/>1/4"<br/>1/4" TYP. AT NS &amp; FS<br/>1/4" TYP. AT NS &amp; FS<br/>L4x4x3/8" CENT.<br/>3/8" MIN. SPLICE PLATE (NS &amp; FS)<br/>TS6x4x1/2<br/>TS6x4x1/2<br/>TS4x4x1/2<br/>TS4x4x1/2</p>                                                                                                                                                                                                          |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>BRACE AT RAISED PLATE 4</p>                                                                                                                                                                                                                                             | <p>CANTILEVERED BALCONY DETAIL 8</p>                                                                                                                                                                                                                                                                              | <p>TS BM TO COLUMN TOP CONN. 5</p>                                                                                                                                                                                                                                                                                                                                                                                                                                        | <p>TS COLUMN TO BASE PLATE 6<br/>TS BM TO COLUMN 7</p>                                                                                                                                                                                                                                                                                                                                                                                                                                      |                |               |                |               |               |               |                |       |          |                |               |                |               |               |
| <p>13</p>                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                |               |                |               |               |               |                |       |          |                |               |                |               |               |

**MF**  
ENGINEERING, L.L.C.  
MACK FARIABI, P. E.  
F-6074  
P.O. BOX 218182  
HOUSTON, TX. 77218  
O. 713.419.7994  
F. 708.572.8036



PROJECT: 07/27/2017  
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DATE: 9-14  
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REVISION:  
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SHEET NO.:

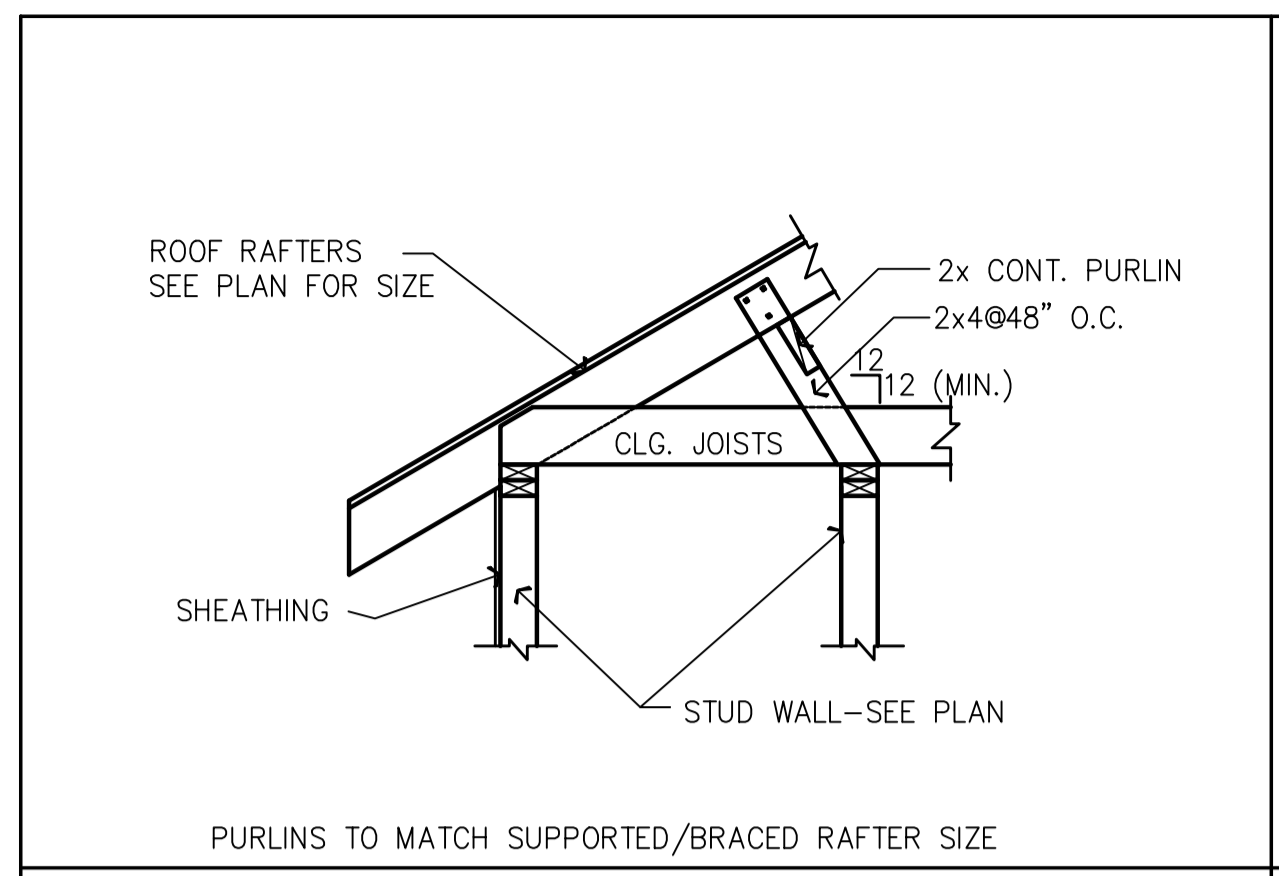
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City of Houston Texas

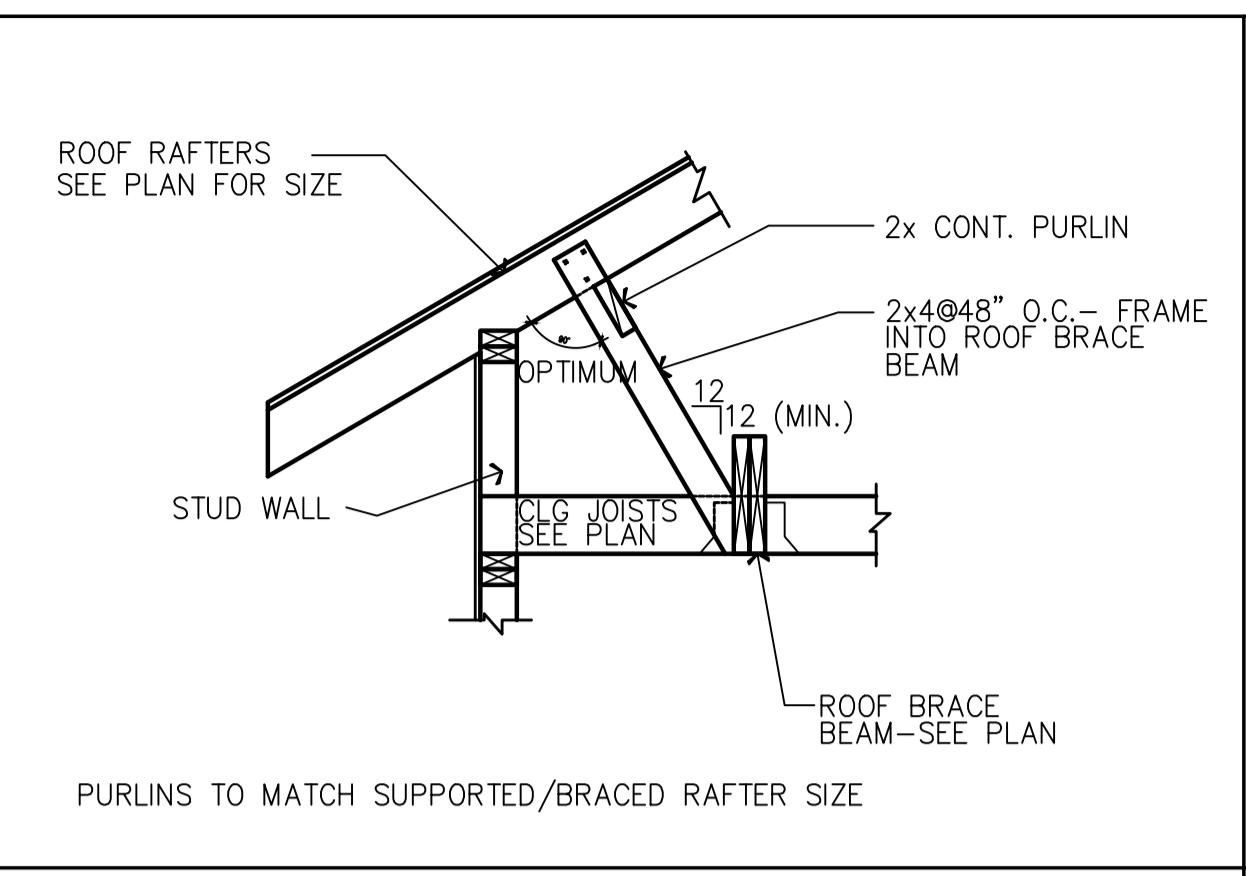


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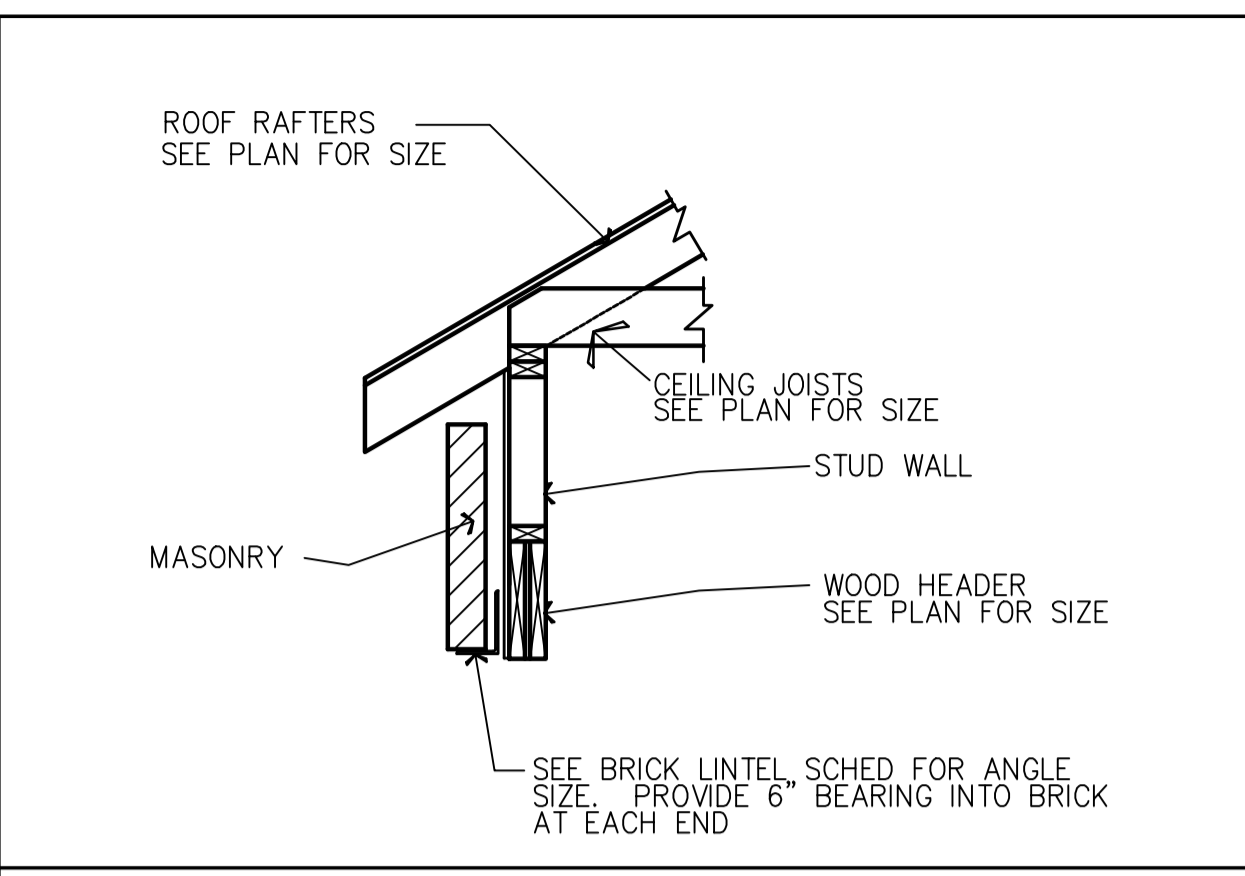
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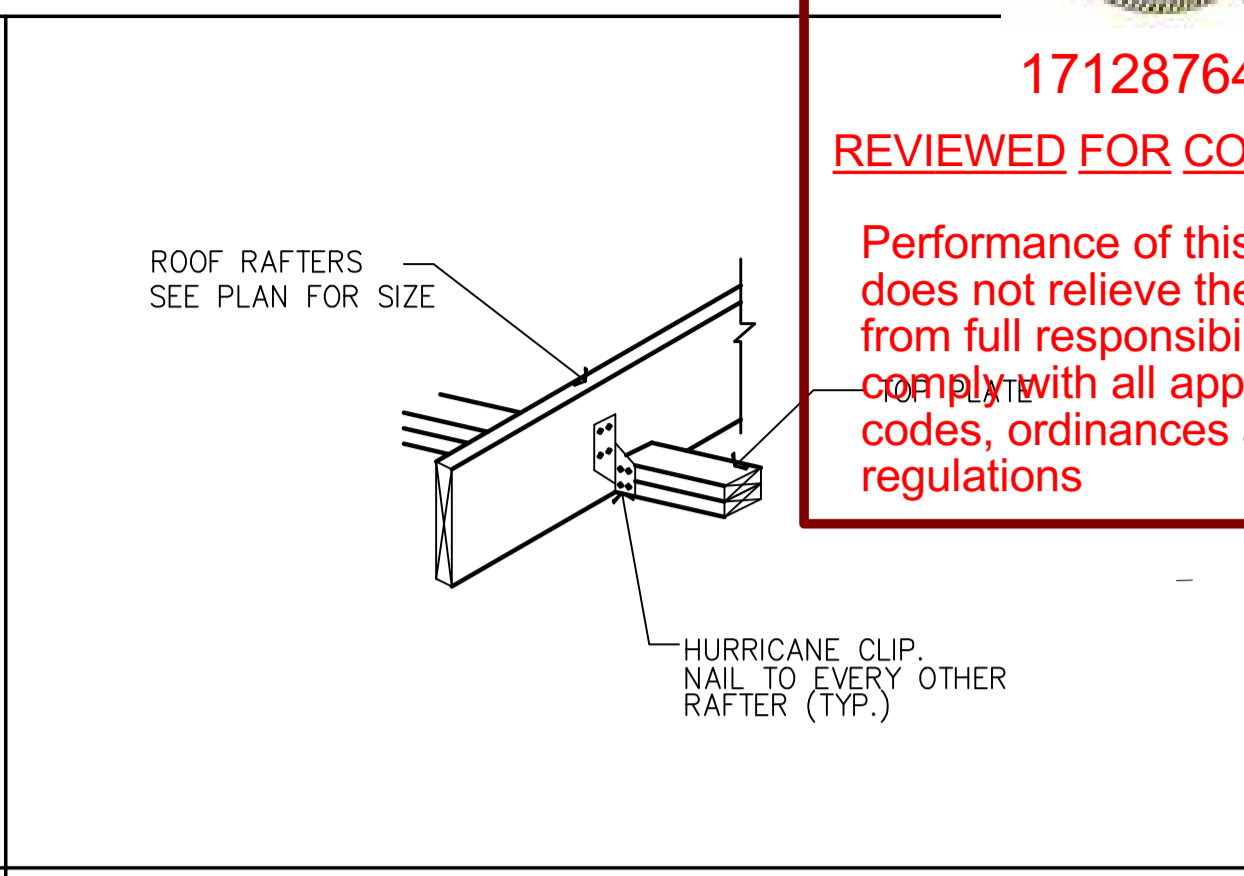
ROOF PURLIN AT WALL 1



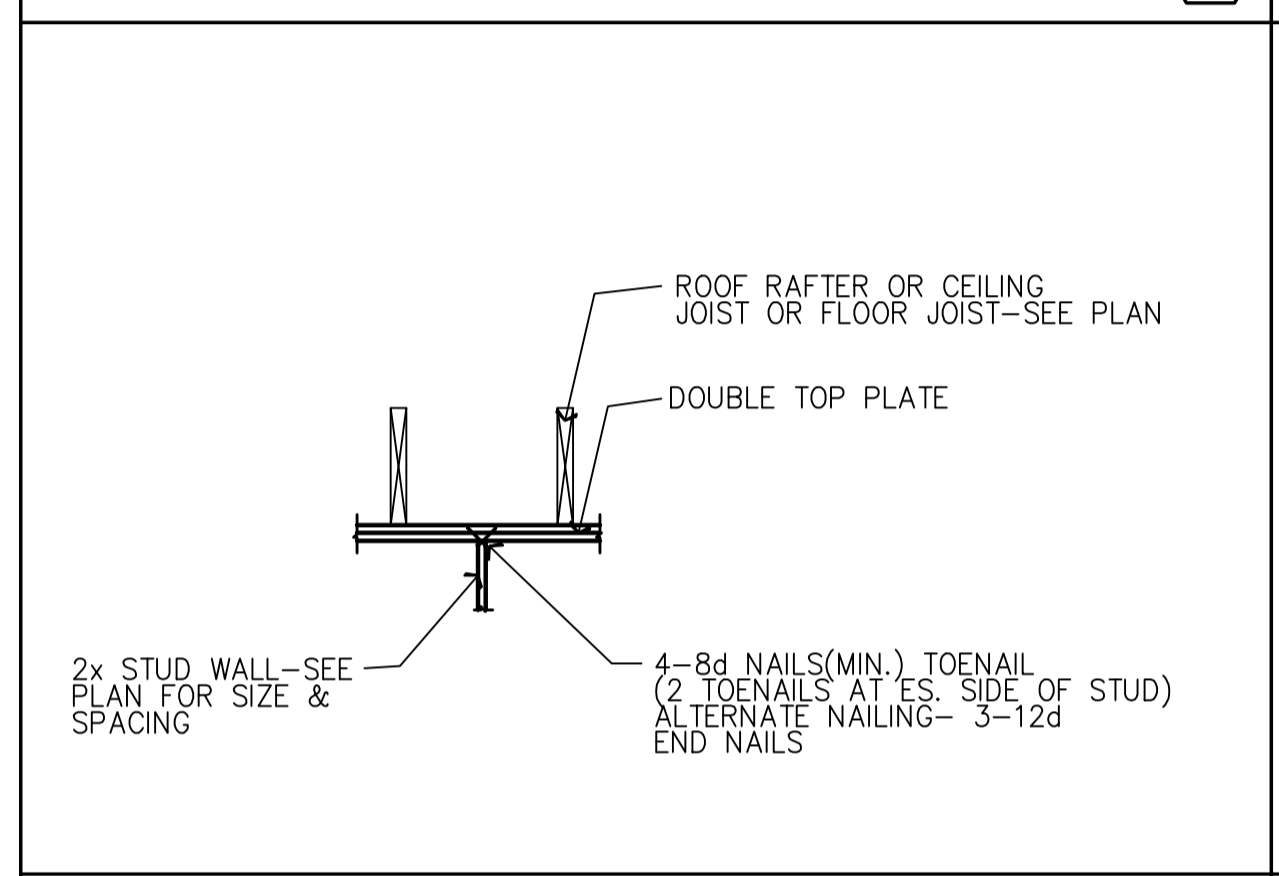
ROOF PURLIN BRACE AT BEAM AND RAISED PLATE 5



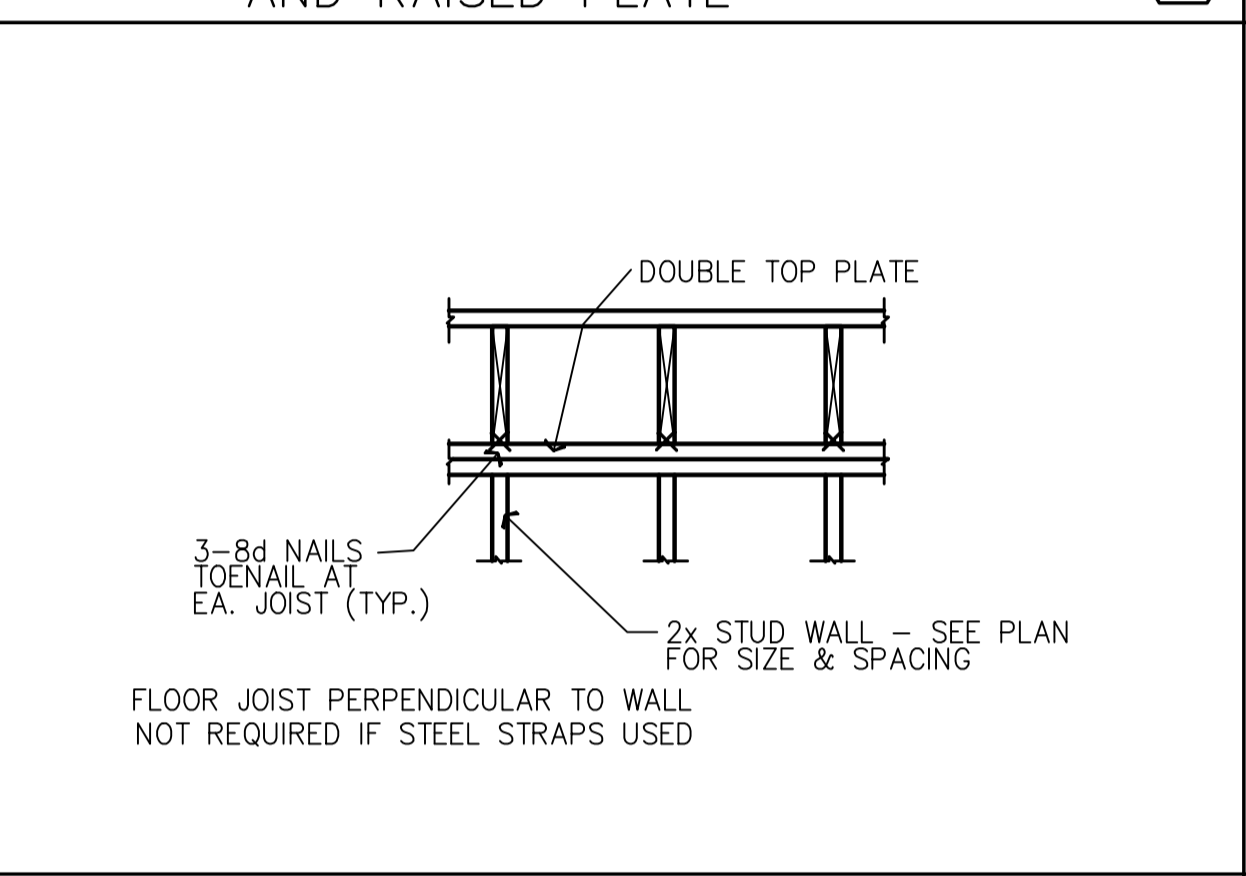
STEEL BRICK LINTEL AT OPENING 9



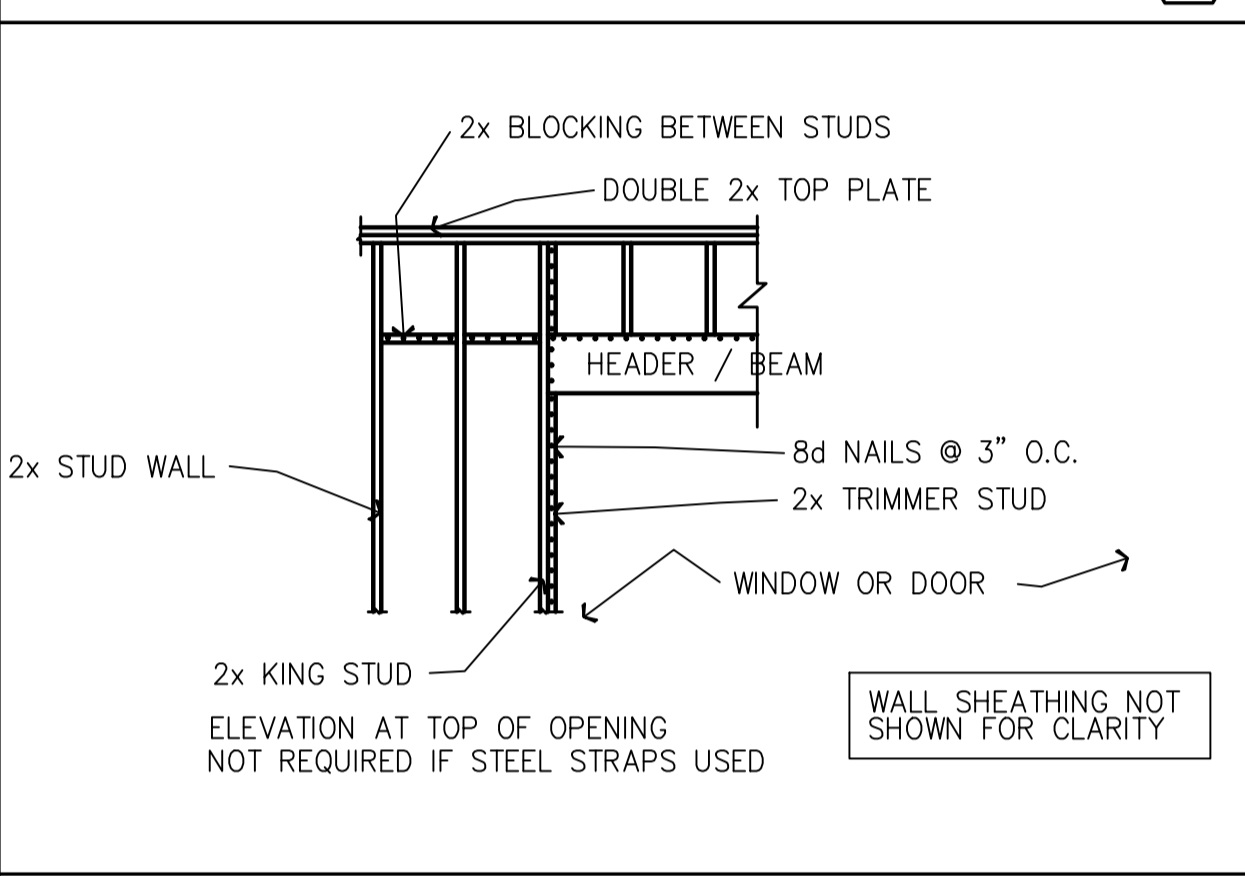
HURRICANE CLIP 12



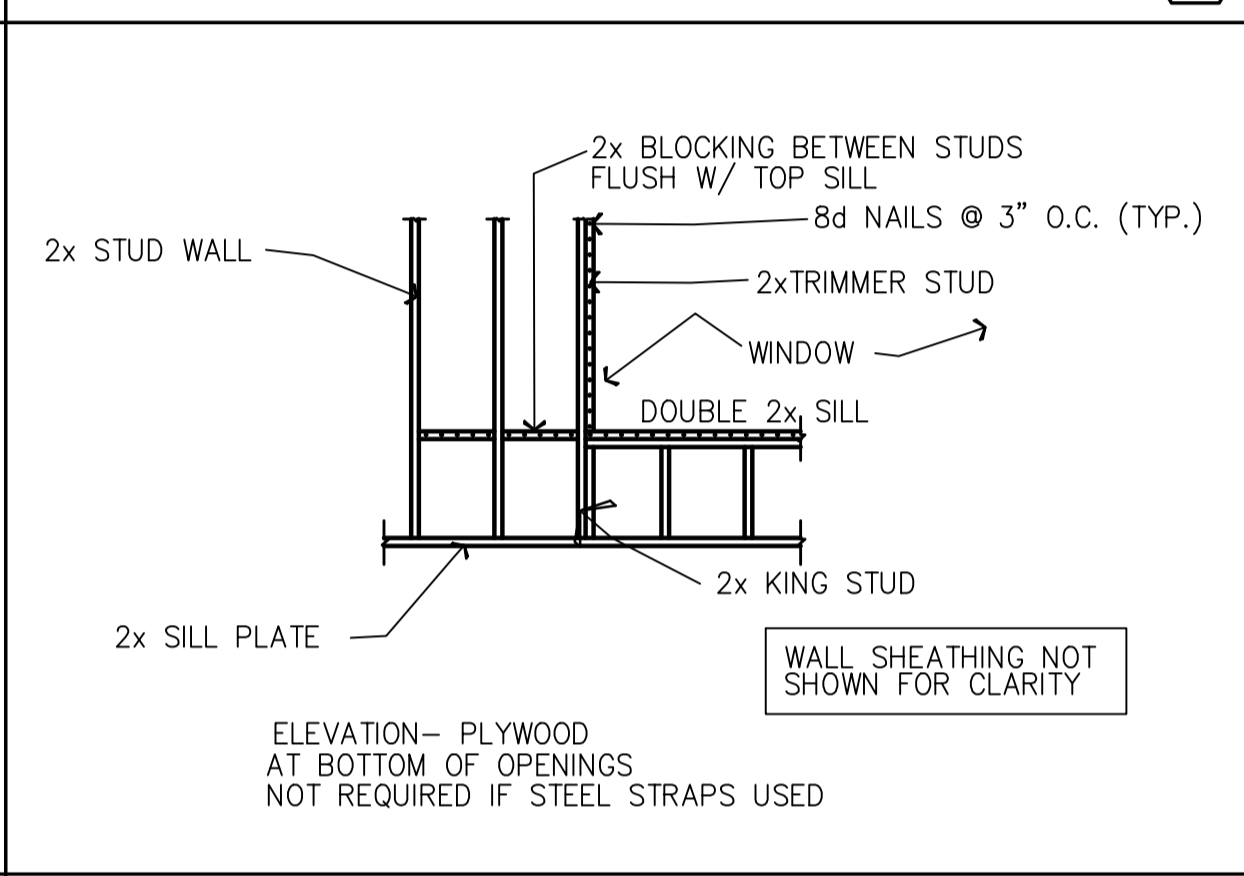
TOP PLATE TOE NAILING DETAIL 2



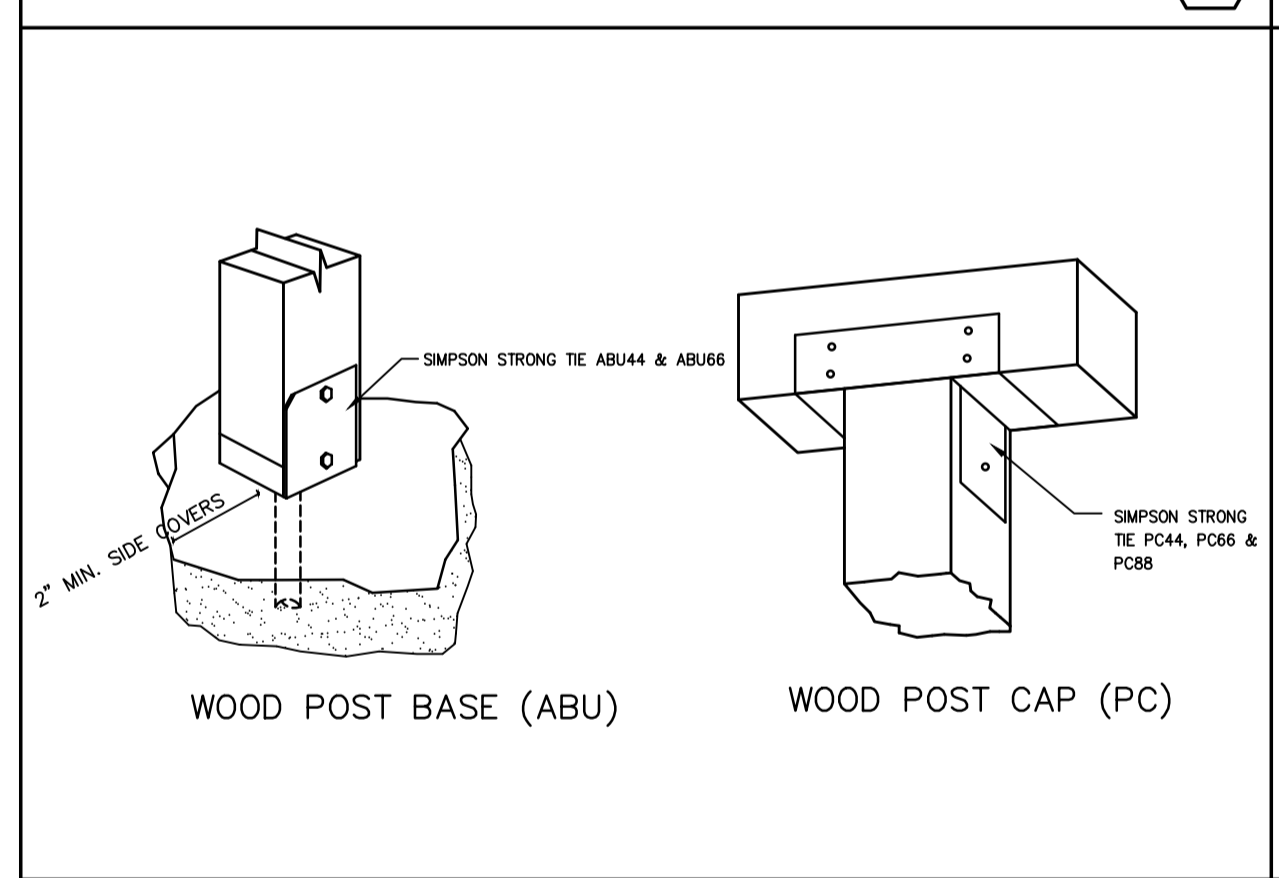
TOE NAILING DETAIL 6



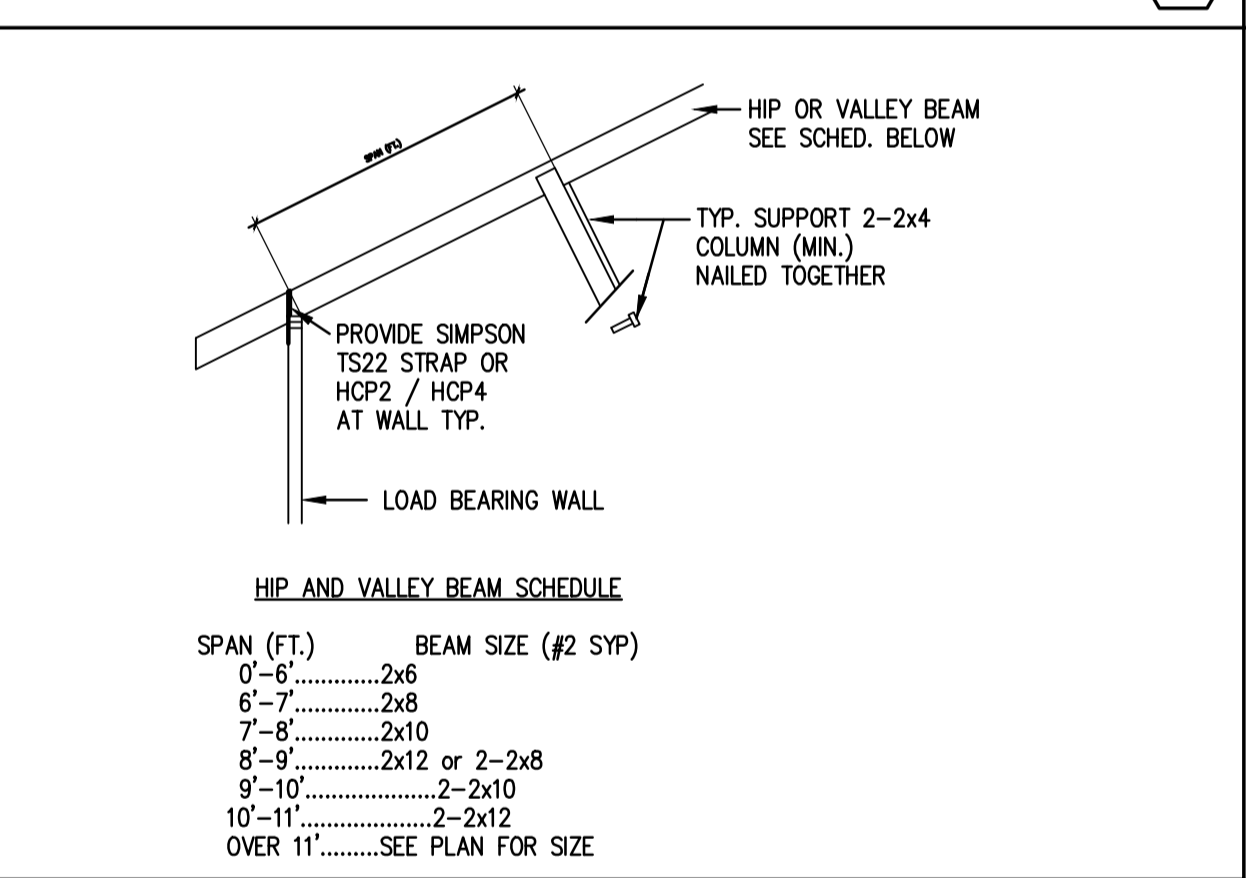
SHEARWALL NAILING PATTERN 10



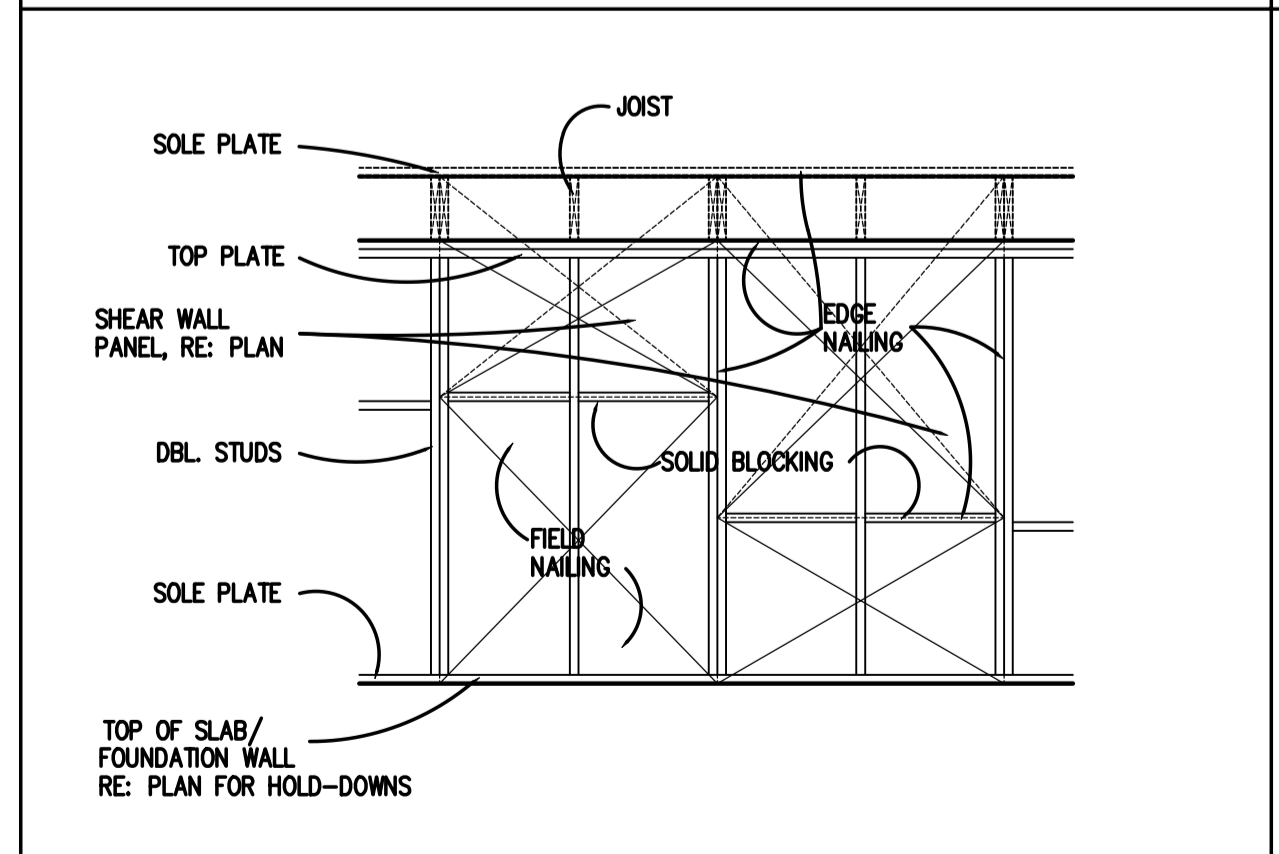
SHEARWALL NAILING PATTERN 13



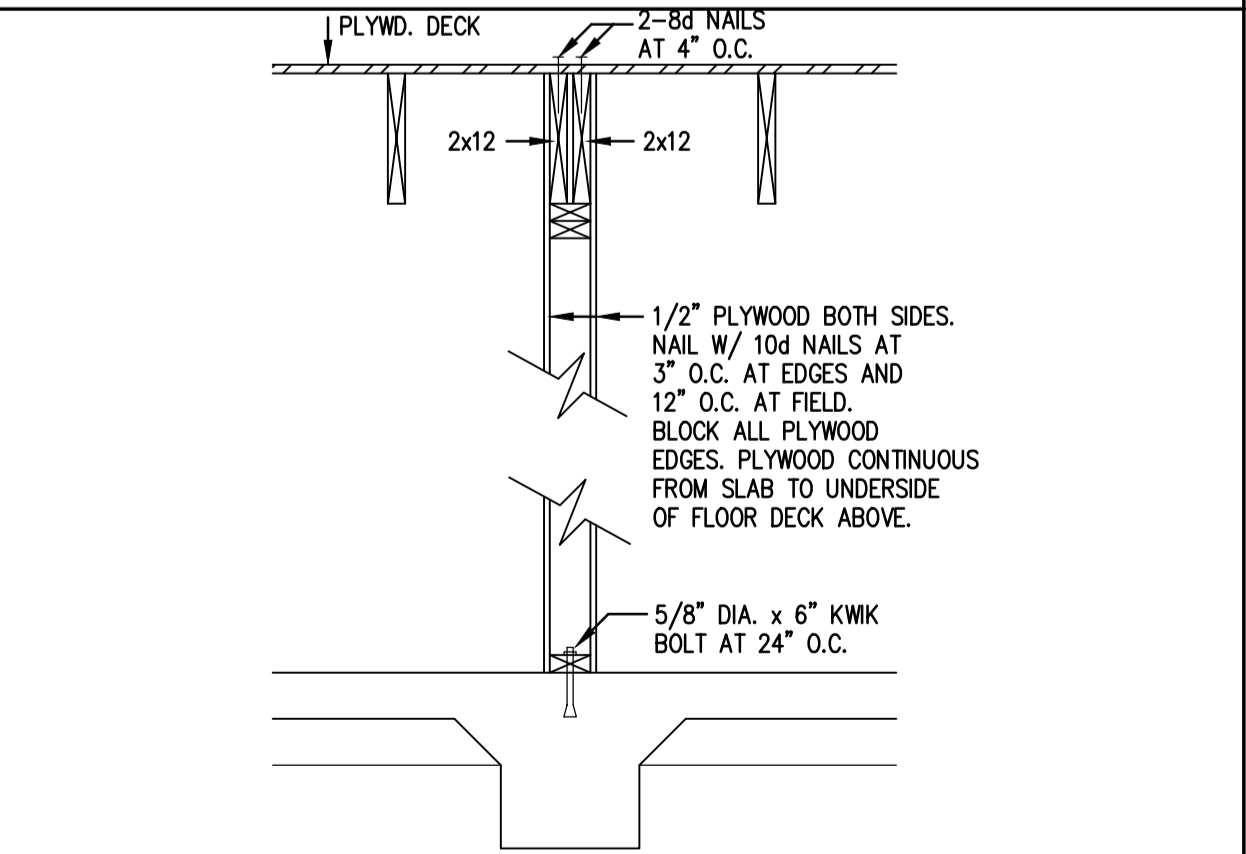
SIMPSON BASE/POST CAP CONNECTIONS DETAILS 3



HIP/VALLEY BRACING DETAIL 7



SHEAR WALL NAILING DETAIL 4



SHEAR WALL SECTION 8

**NOTES**

GENERAL NOTES FOR WOOD FRAMING:

1. ALL FRAMING SHALL BE CONFORMANT WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).

2. ALL FRAMING SHALL BE PERFORMED BY A LICENSED CARPENTER OR OTHER QUALIFIED PERSONNEL.

3. ALL FRAMING SHALL BE INSPECTED AND APPROVED BY THE LOCAL BUILDING DEPARTMENT.

4. ALL FRAMING SHALL BE PROTECTED FROM WEATHER AND VANDALISM.

5. ALL FRAMING SHALL BE MAINTAINED AND REPAIRED AS NEEDED.

6. ALL FRAMING SHALL BE CLEAN AND FREE OF OBSTRUCTIONS.

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NOTES 11

**SCHEDULES**

**GENERAL NOTES:**

1. WOOD BLOCKING IS INDICATED. PROVIDE 2x4 BACK-UP CYRINWOOD OR PLYWOOD PANEL EDGES.

2. NAILING PATTERN APPLIES AT ALL PANEL EDGES AT INTERMEDIATE SUPPORTS. PROVIDE NAILING @ 4\"/>

3. SHEATHING MATERIAL AND NAILING PATTERN APPLY TO ONE SIDE OF SHEAR WALL ONLY.

4. WHERE A SHEAR WALL IS CALLED OUT ON A PLAN, PROVIDE SCHEDULED SHEATHING MATERIAL AND NAILING FOR THE FULL LENGTH OF THAT WALL.

5. PROVIDE SCHEDULED STUDS AT EACH END OF SHEAR WALL OR SEAMANT THEREOF.

6. HOLD-DOWN CONNECTIONS:

A) CONNECTIONS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.

B) THE FOLLOWING SUBSTITUTIONS MAY BE MADE:

| MARK       | SUBSTITUTION    |
|------------|-----------------|
| HOLD-DOWNS | 8 FLOOR FRAMING |
| HOLD-DOWNS | STRONG TIE HT22 |
| HOLD-DOWNS | STRONG TIE HT22 |
| HOLD-DOWNS | HT22            |

C) ALL HOLD-DOWNS MUST BE INSTALLED IN STRICT ADHERENCE TO MANUFACTURER'S INSTRUCTIONS USING BOLT & NAIL NUMBERS, SIZES & LENGTHS AS SPECIFIED BY MANUFACTURER.

7. WOOD PLYWOOD IS SHOWN ON BOTH SIDES OF A SHEAR WALL:

A) DOUBLE STUDS ON 3\"/>

B) STAGGER PLYWOOD JOINTS AT WALL FACES.

C) USE 4x4 WOOD POSTS @ EA. END TO BOLT HOLD-DOWNS.

D) USE 4x4 WOOD POSTS @ EA. END TO BOLT W/ 1/2\"/>

E) IN ADDITION TO BOLT-AND-ANCHOR BOLTS.

8. SIMPSON "WALL-ALL" WIDE ANCHORS MAY BE USED IN LIEU OF SCHEDULED ANCHOR BOLTS TO MATCH DIAMETERS MINIMUM EMBEDMENT LENGTHS AS SUGGESTED BY MANUFACTURER.

9. THIS STRUCTURE IS DESIGNED TO WITH A SUSTAINED 110 MPH WIND OUST FOR A 3 SECOND DURATION.

**NAILING SCHEDULE: (WALL SHEATHING & STUDS)**

| SHEATHING TYPE & THICKNESS              | FASTENER SIZE & TYPE           | NAILING PATTERN |
|-----------------------------------------|--------------------------------|-----------------|
| PLYWOOD & PARTICLE BOARD LESS THAN 1/2" | 8d COMMON OR 8d DEFORMED SHANK | 12\"/>          |
| 1/2" THRU 3/4"                          | 8d COMMON OR 8d DEFORMED SHANK | 16\"/>          |
| FIBERBOARD 1/2" OR LESS                 | 8d COMMON NAILS                | 12\"/>          |
| 25/32"                                  | 8d COMMON NAILS                | 12\"/>          |
| OSB/PS SHEATHING 1/2" OR 5/8"           | 12 O.C. @ EDGES                | 12\"/>          |
| OSB/PS WALLBOARD 1/2"                   | 1 1/2" DRYPWALL NAILS          | 12\"/>          |
| 1/2" OR LESS                            | 8d (1)                         | 1 EACH PANEL    |

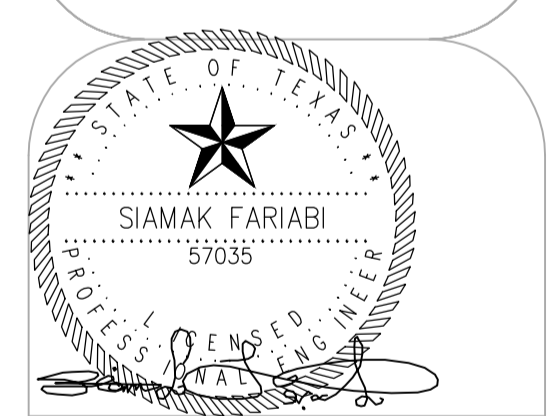
**STEEL LINTEL ANGLE SCHEDULE (PROVIDE 4\"/>

| SPAN (2x4 WALLS) | HEADER (2x4S) | 2x4 WALL HEADERS AT 2x4 WALLS (2x4S) |
|------------------|---------------|--------------------------------------|
| 2'-0" OR LESS    | 2-2x4         | 2-2x4                                |
| 4'-0" OR LESS    | 2-2x4         | 2-2x4                                |
| 6'-0" OR LESS    | 2-2x4         | 2-2x4                                |
| 7'-0" OR LESS    | 2-2x4         | 2-2x4                                |**

SCHEDULES 14

**MF**

ENGINEERING, L.L.C.  
MACK FARIABI, P. E.  
F-6074  
P.O. BOX 218182  
HOUSTON, TX. 77218  
O. 713.419.7994  
F. 708.572.8036



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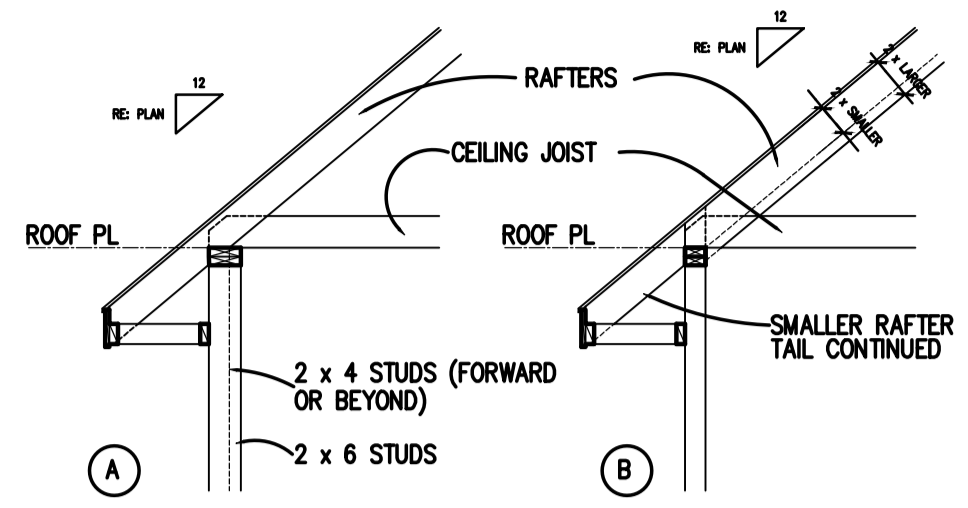


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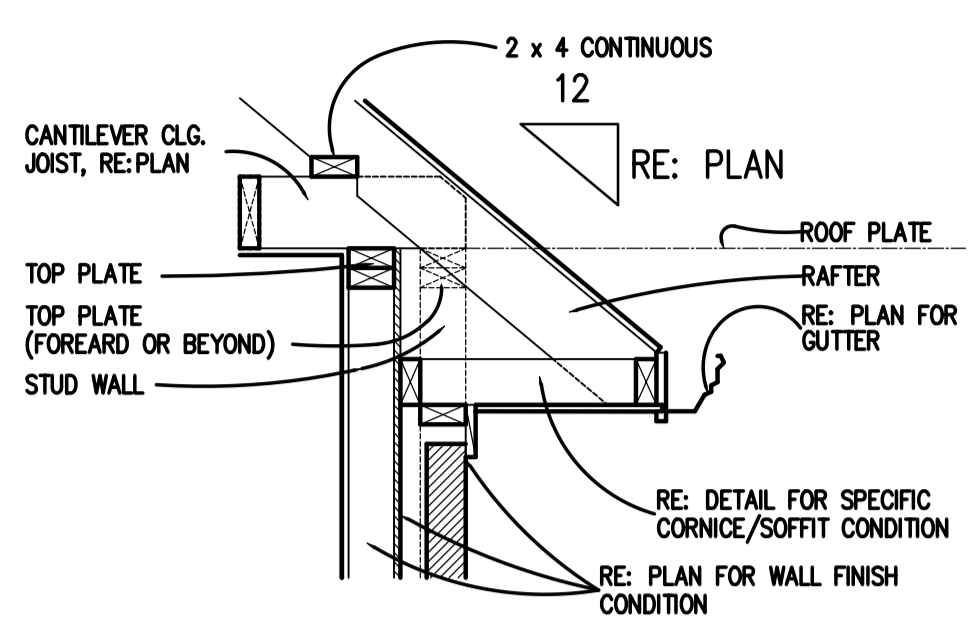
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RE: PLAN FOR TYPICAL WALL, CEILING, ROOF & CORNICE/SOFFIT ASSEMBLY  
 A. RAFTER @ 2 x 4 WALL TO 2 x 6 WALL  
 B. 2 x SMALLER RAFTER TO 2 x LARGER RAFTER

1 RAFTER SEAT CUT



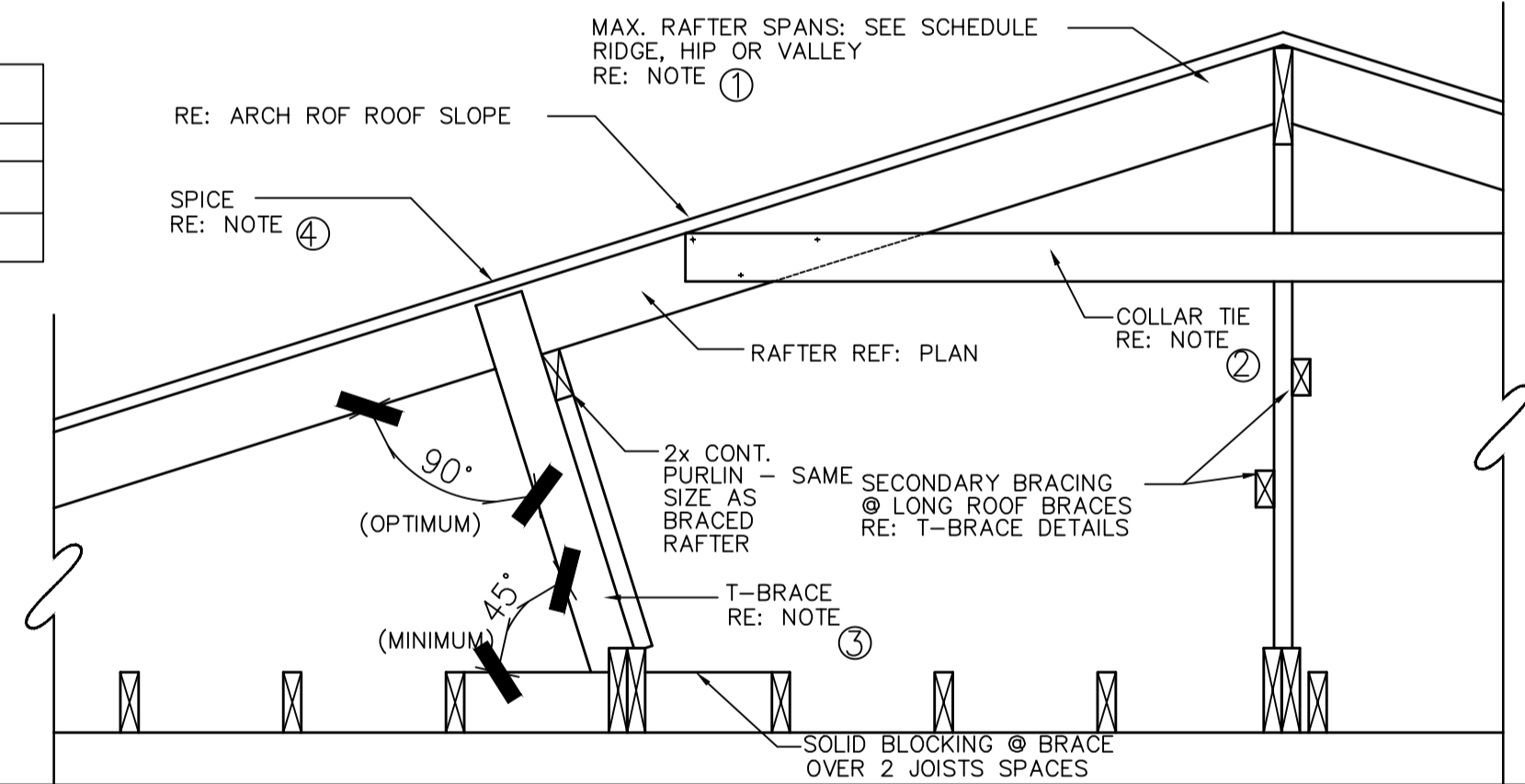
RE: PLAN FOR TYPICAL WALL, CEILING, ROOF & CORNICE/SOFFIT ASSEMBLY

2 FRAMING AT RECESSED FRAMING LINE

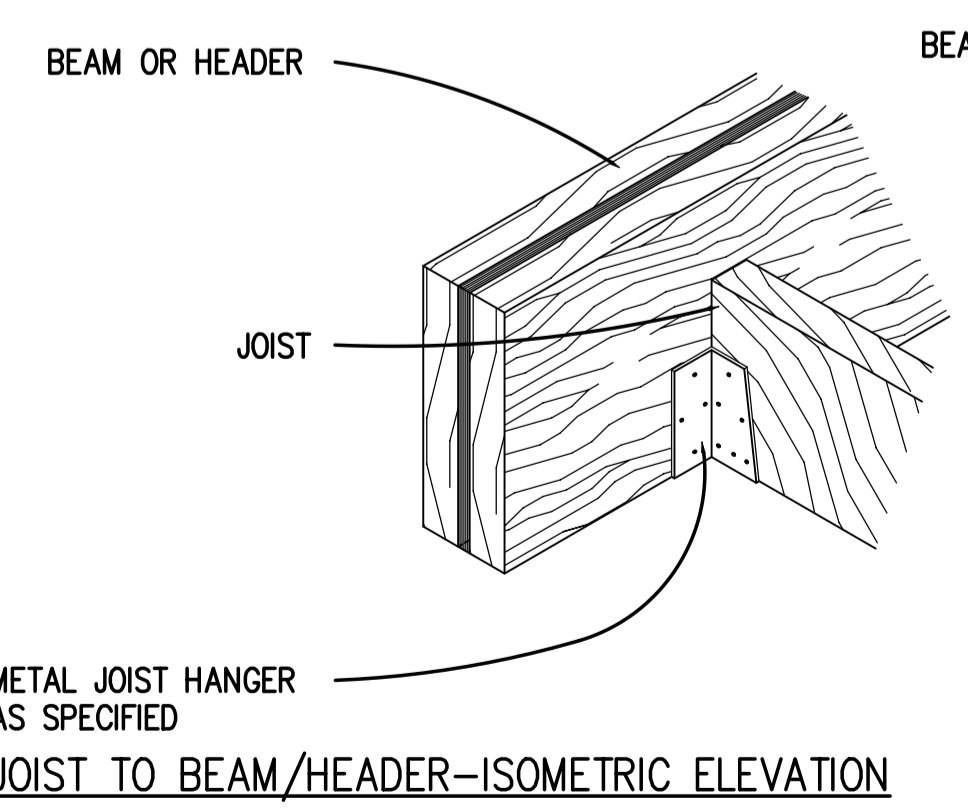
DETAIL KEYED NOTES

- ① RIDGE BEAM HIP RAFTER, OR VALLEY RAFTER DEPTH SHALL BE THE LARGER OF THE FOLLOWING:
  - A. ONE SIZE DEEPER THAN THE LARGER RAFTER FRAMING INTO IT (2x LUMBER)
  - B. DEPTH OF CUT END OF RAFTER
- ② COLAR TIES: 2x6; LOCATED @ UPPER ONE THIRD (1/3) OF ROOF @ EVERY THIRD RAFTER OR 5'-0" (WHICHEVER SMALLER)
- ③ T-BRACE:
  - A. RE: TYPICAL DETAILS BELOW
  - B. MAXIMUM SPACING AS FOLLOWS:
    - 4'-0" @ 2x4 CONT. PURLIN
    - 6'-0" @ RIDGE BEAM, HIP OR VALLEY RAFTER
  - C. BRACE SHALL BEAR ON AN INTERIOR WALL, BEAM OR STRONG-BACK (DOUBLE) 2 SIZES LARGER THAN JOIST) RE: FRAMING PLAN
- ④ RAFTER & RIDGES SPLICES:
  - A. LOCATE SPICES OVER A PURLIN OR PROVIDE ADDITIONAL BRACE @ SPLICE
  - B. MINIMUM LAP = 12" NAIL W/ 4-16 NAILS

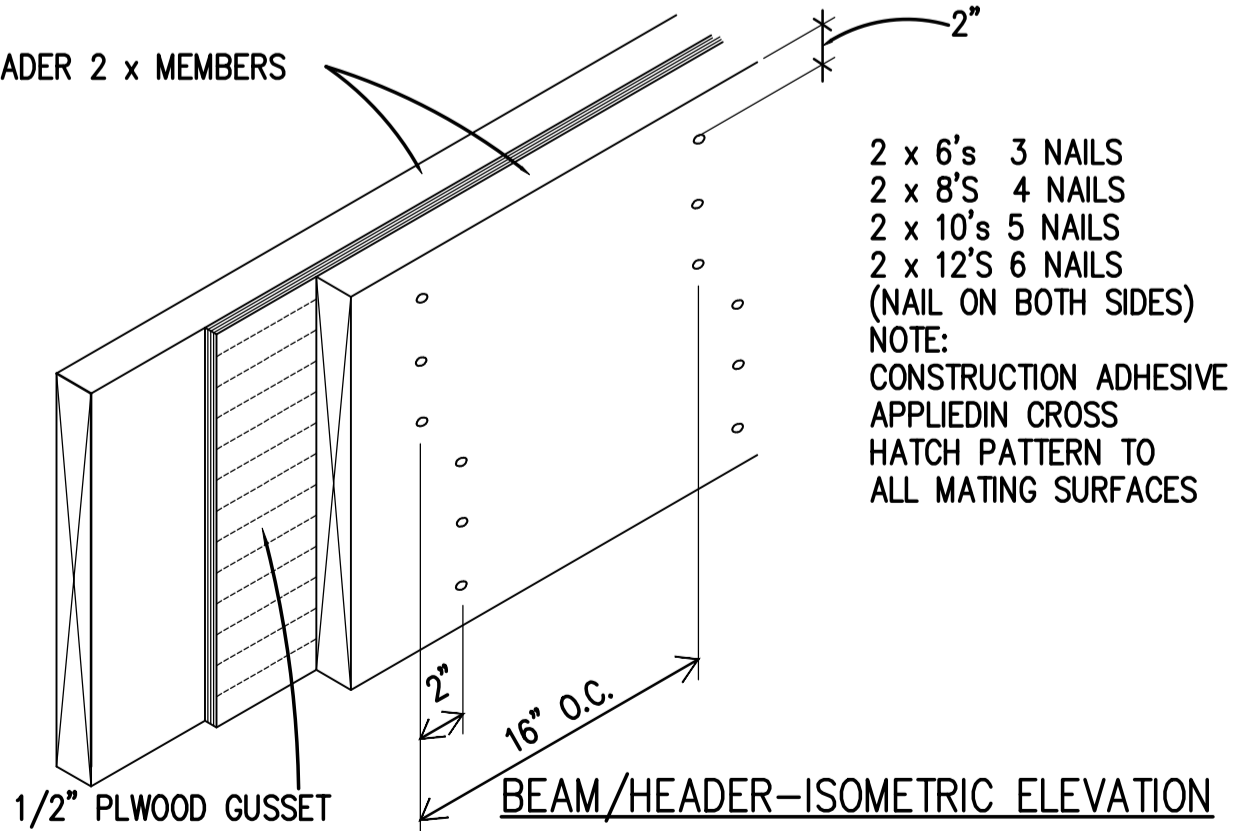
| RAFTER SCHEDULE (#2 SYP) | MAX. RFTR SPANS |
|--------------------------|-----------------|
| 2x6                      | 10'-0"          |
| 2x8                      | 16'-0"          |
| 2x10                     | 20'-0"          |



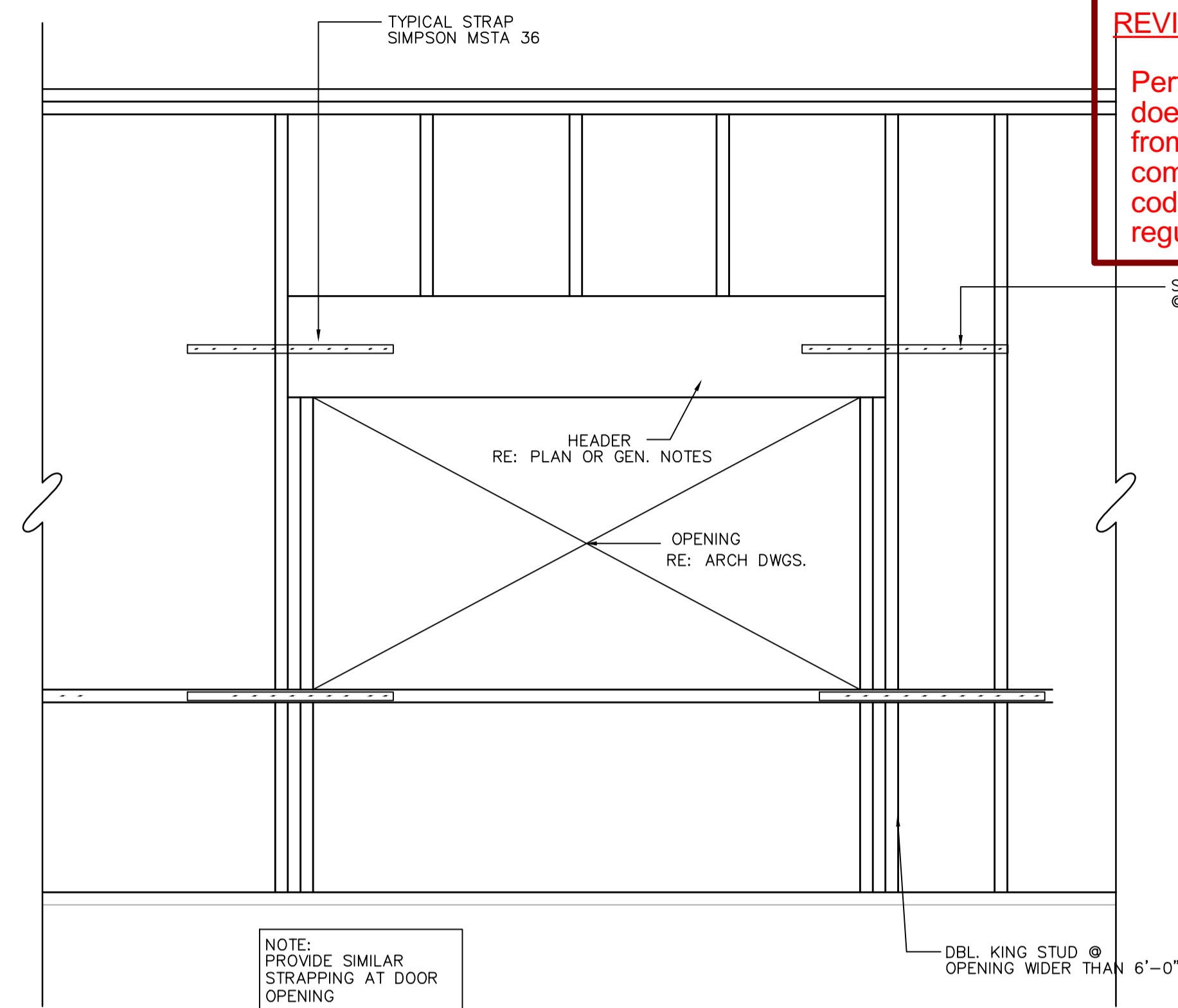
3 CEILING JOISTS PERPENDICULAR TO RAFTERS



JOIST TO BEAM/HEADER-ISOMETRIC ELEVATION

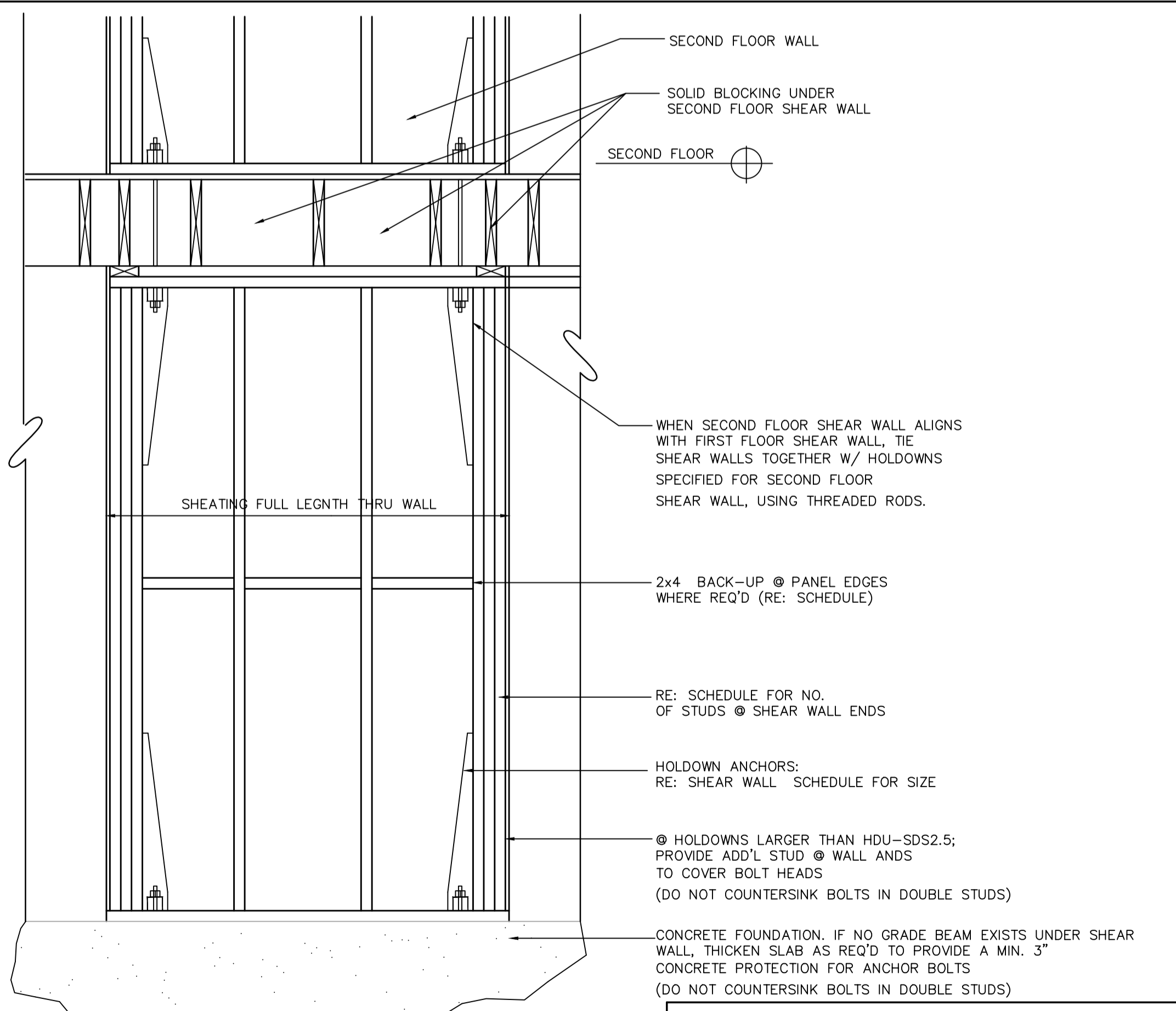


4 WOOD BEAM DETAILS



NOTE: PROVIDE SIMILAR STRAPPING AT DOOR OPENING

5 STRAPPING REQUIREMENTS FOR ALL SHEAR WALL OPENING



WHEN SECOND FLOOR SHEAR WALL ALIGNS WITH FIRST FLOOR SHEAR WALL, TIE SHEAR WALLS TOGETHER W/ HOLDDOWNS SPECIFIED FOR SECOND FLOOR SHEAR WALL, USING THREADED RODS.

2x4 BACK-UP @ PANEL EDGES WHERE REQ'D (RE: SCHEDULE)

RE: SCHEDULE FOR NO. OF STUDS @ SHEAR WALL ENDS

HOLDOWN ANCHORS: RE: SHEAR WALL SCHEDULE FOR SIZE

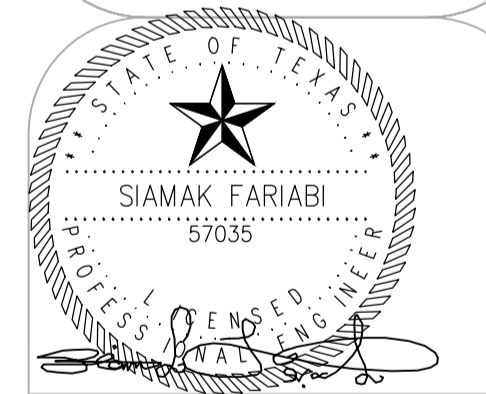
◎ HOLDDOWNS LARGER THAN HDU-SDS2.5; PROVIDE ADD'L STUD @ WALL ENDS TO COVER BOLT HEADS (DO NOT COUNTERSINK BOLTS IN DOUBLE STUDS)

CONCRETE FOUNDATION. IF NO GRADE BEAM EXISTS UNDER SHEAR WALL, THICKEN SLAB AS REQ'D TO PROVIDE A MIN. 3" CONCRETE PROTECTION FOR ANCHOR BOLTS (DO NOT COUNTERSINK BOLTS IN DOUBLE STUDS)

6 TYPICAL SHEAR WALL ELEVATION

MF

ENGINEERING, L.L.C.  
 MACK FARIABI, P. E.  
 F-6074  
 P.O. BOX 218182  
 HOUSTON, TX. 77218  
 O. 713.419.7994  
 F. 708.572.8036



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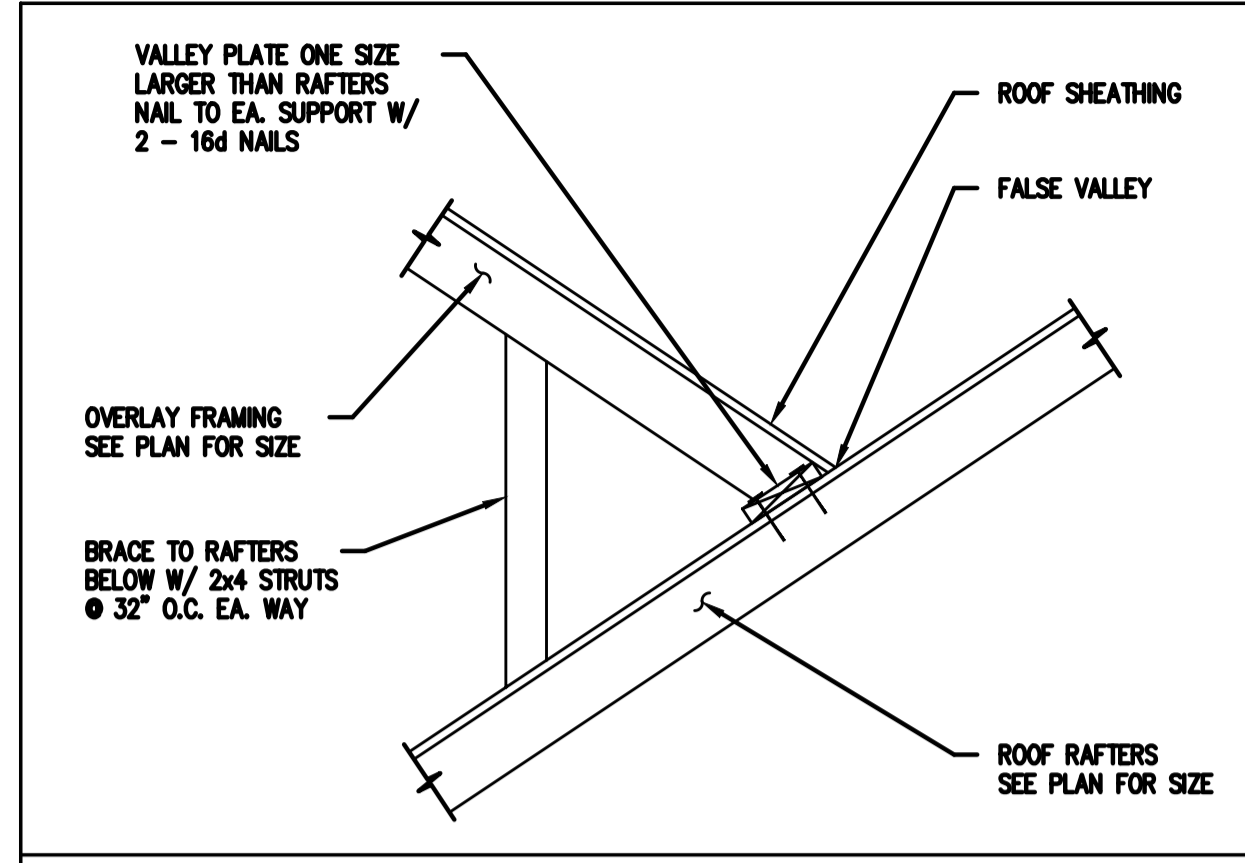
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S5.3



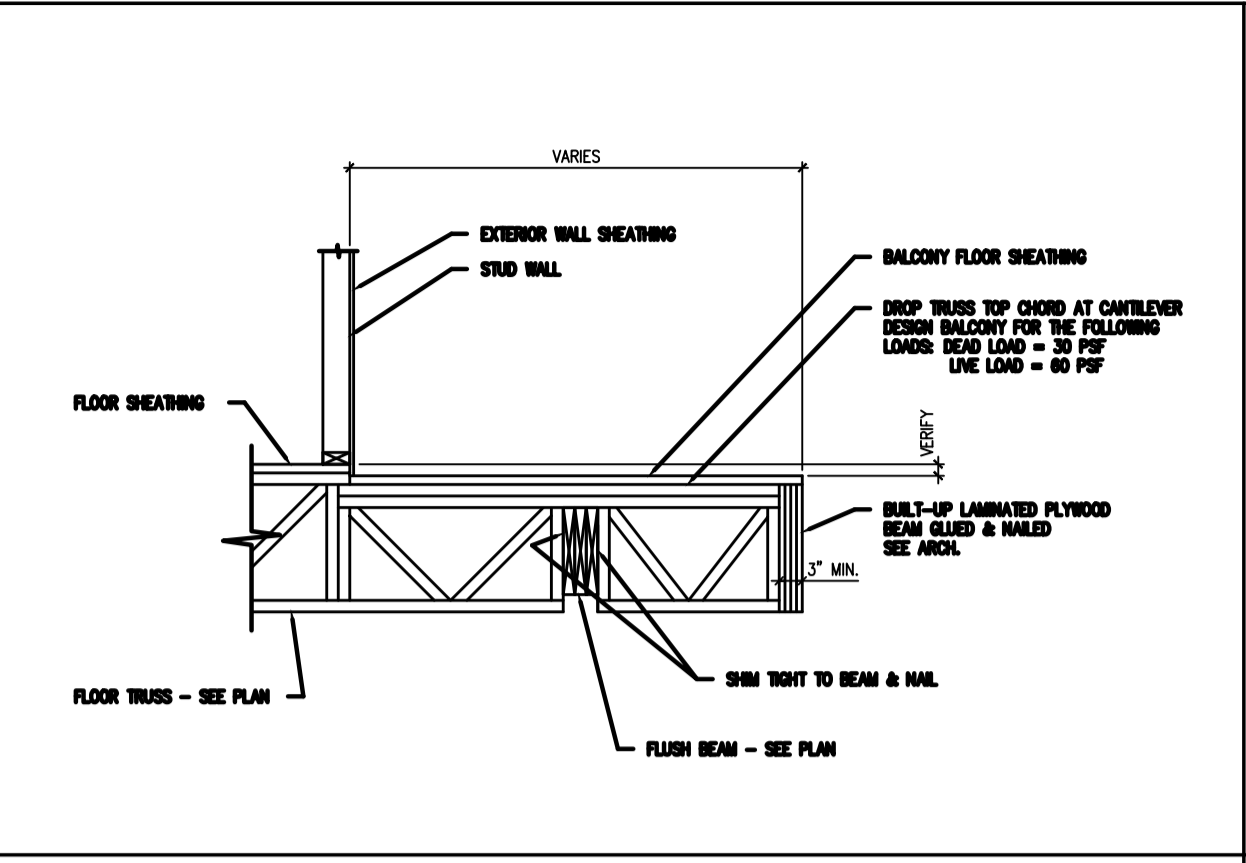
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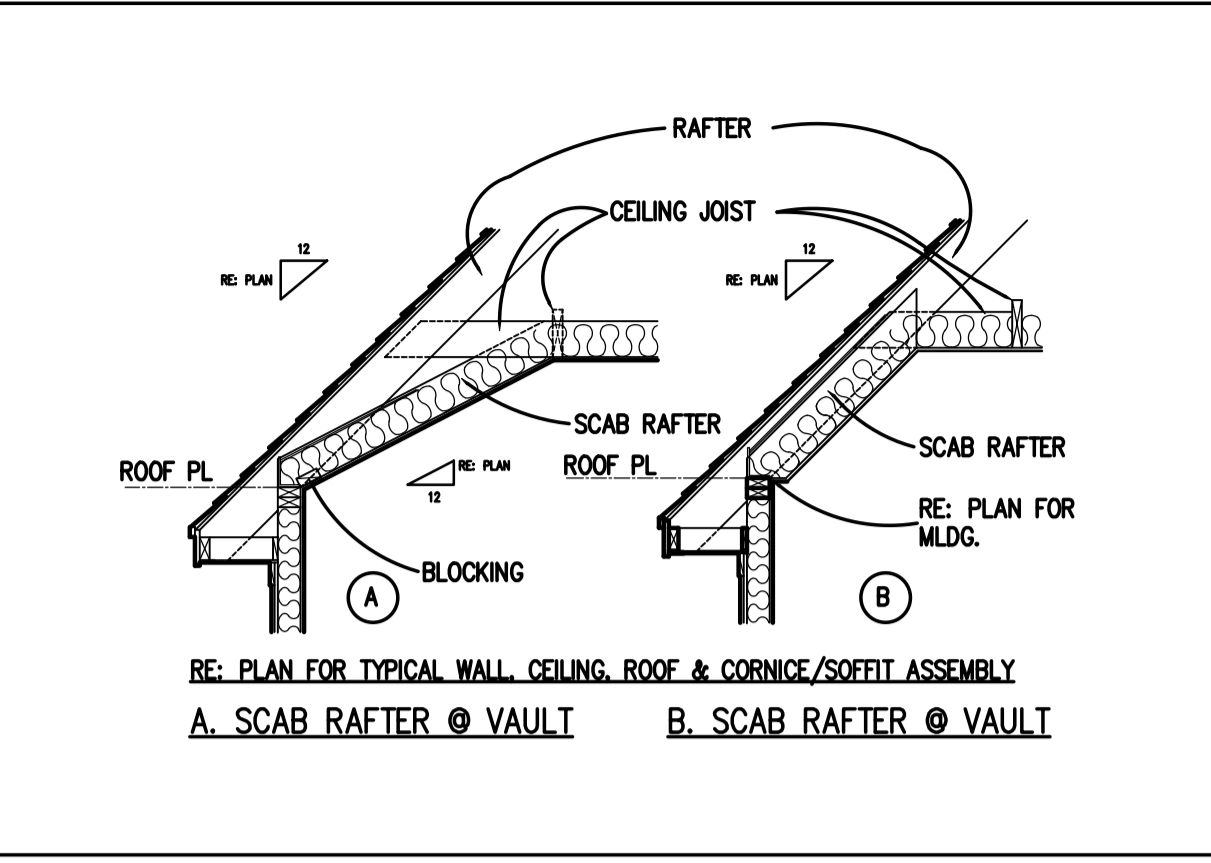
ROOF OVERLAY FRAMING DETAIL

1



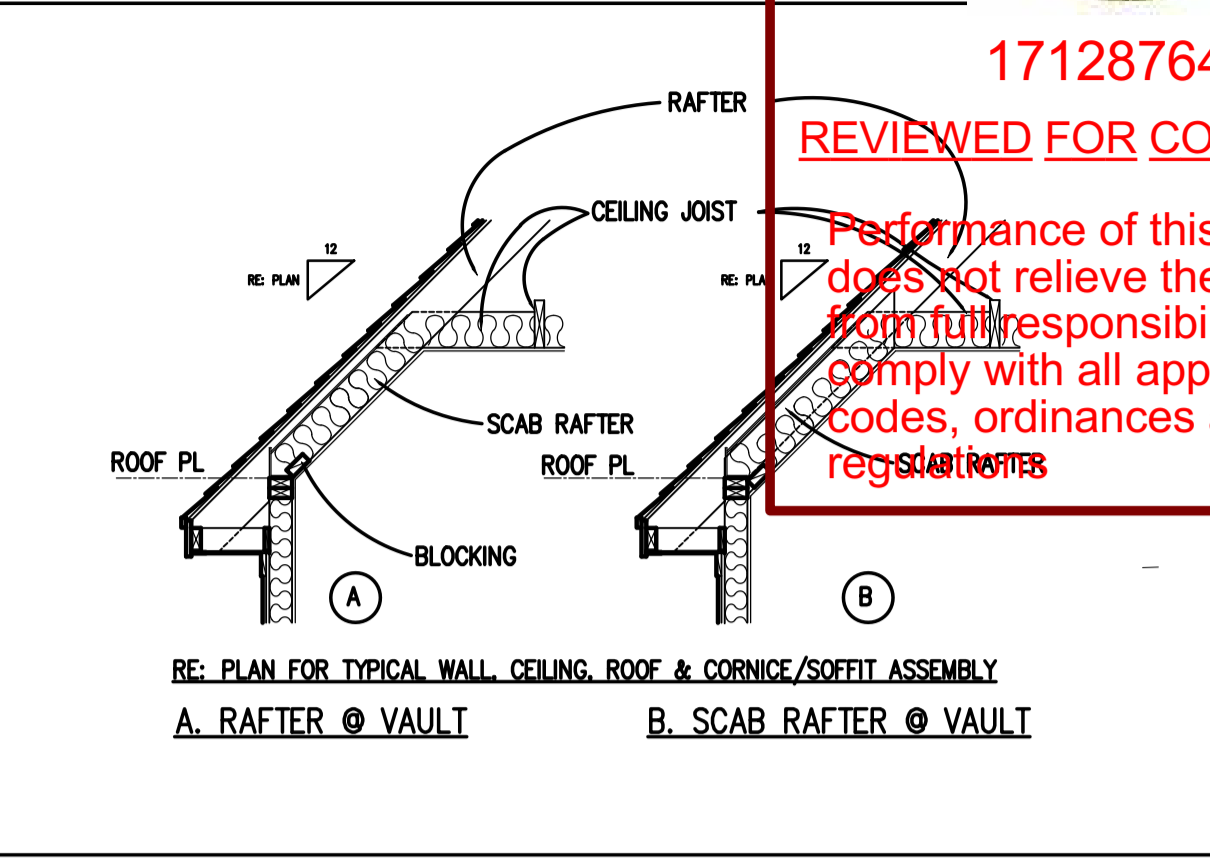
CANTILEVERED BALCONY FRAMING DET.

2



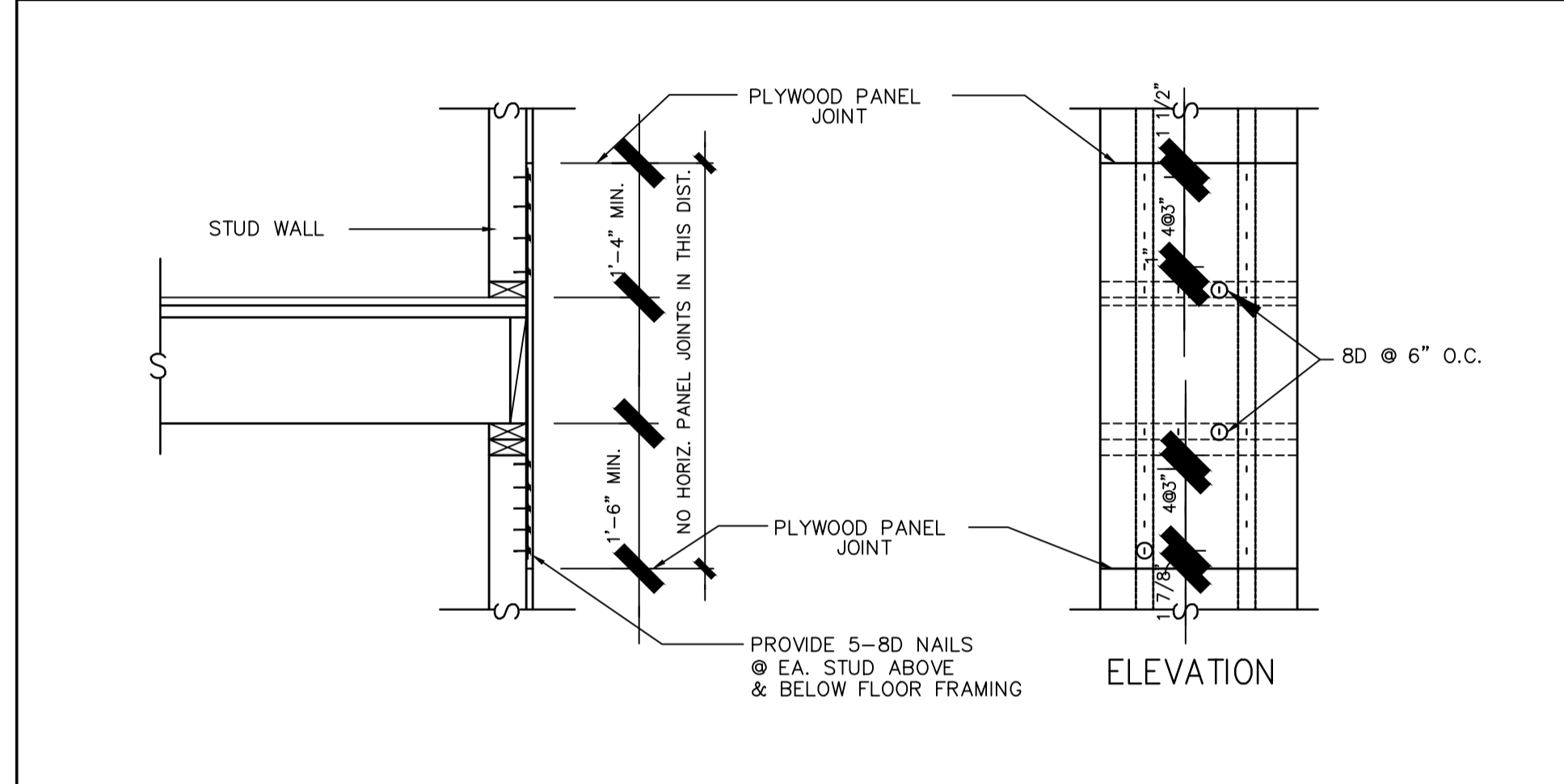
RAISED CEILING @ EXTERIOR WALL

3

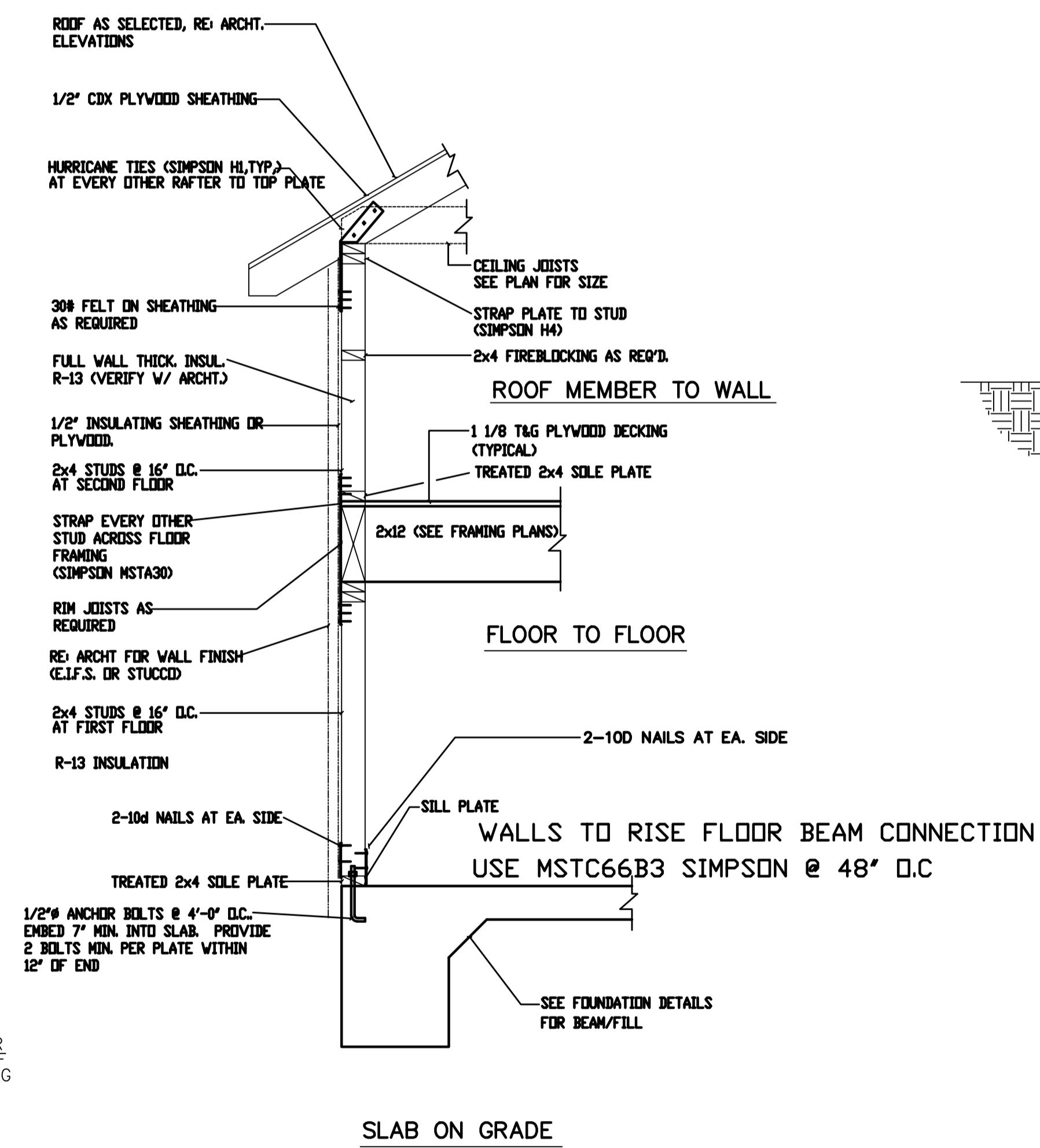


RAISED CEILING @ EXTERIOR WALL

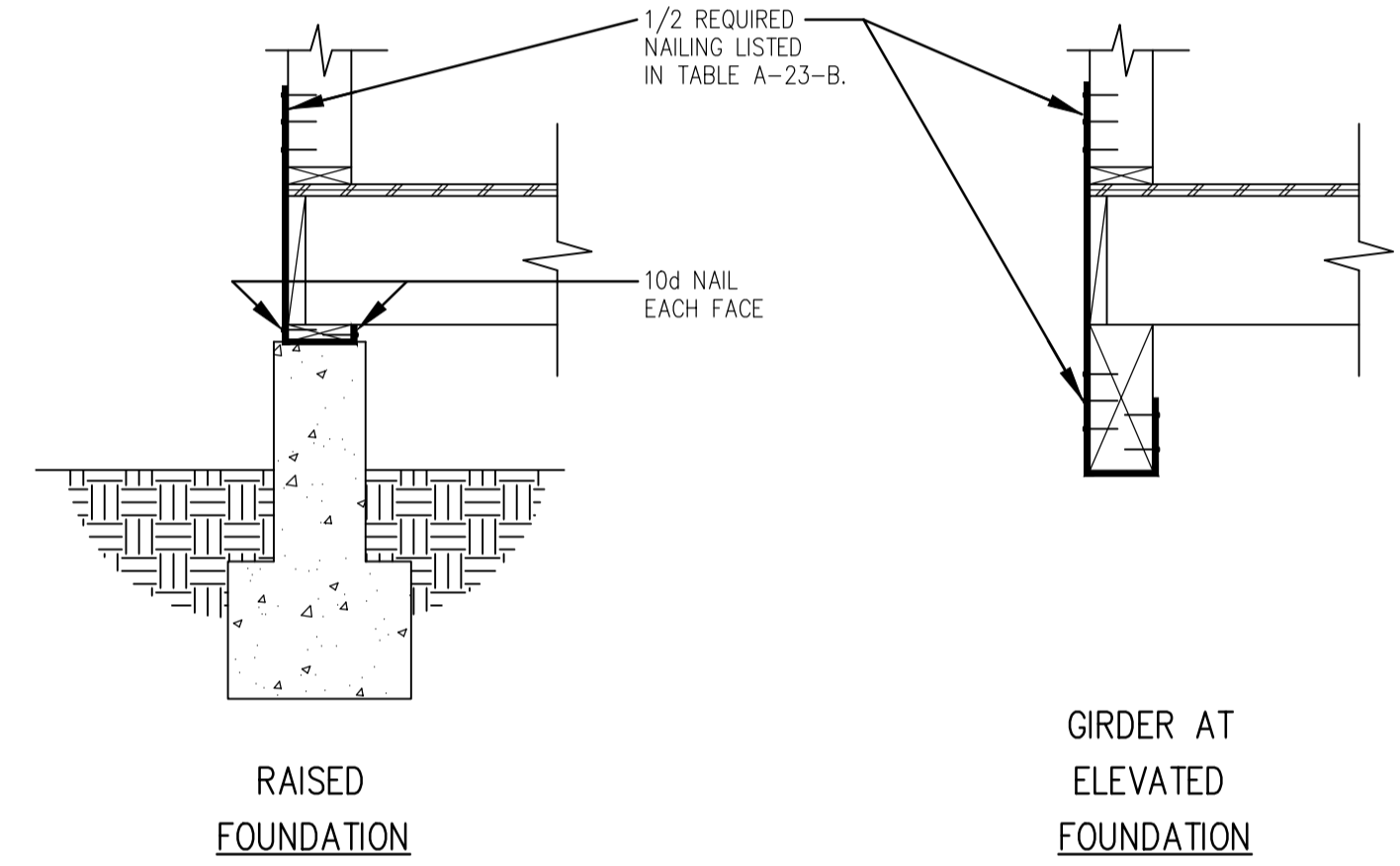
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TYPICAL PLYWOOD / SHEARWALL EXTERIOR ELEVATION



COMPLETE LOAD PATH DETAILS



ROOF AND FLOOR ANCHORAGE AT EXTERIOR WALLS

| BASIC WIND SPEED (mph)<br>X 1.51 for km/h | LOCATION (1)        | NUMBER OF NAILS (1) |        |        |
|-------------------------------------------|---------------------|---------------------|--------|--------|
|                                           |                     | B                   | C      | D      |
| 110                                       | roof to wall        | 10-10d              | 12-10d | 12-10d |
|                                           | floor to floor      | 8-10d               | 10-10d | 10-10d |
|                                           | floor to foundation | 6-10d               | 8-10d  | 8-10d  |

(1) Number of common nails listed is total required for each strap. The tie straps shall be spaced at 48 inches (1219 mm) on center along the length of the wall. The number of nails on each side of the roof or floor plate joints shall be equal. Nails shall be spaced to avoid splitting the wood.

RIDGE TIE STRAP NAILING (1)

| BASIC WIND SPEED (mph)<br>X 1.51 for km/h | EXPOSURE | NUMBER OF NAILS (1) |        |   |
|-------------------------------------------|----------|---------------------|--------|---|
|                                           |          | B                   | C      | D |
| 110                                       | 12-10d   | 14-10d              | 16-10d |   |
|                                           |          |                     |        |   |
|                                           |          |                     |        |   |

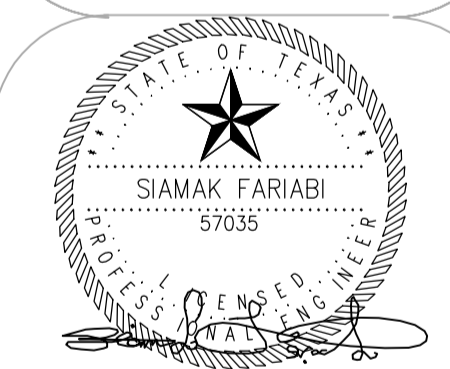
(1) Number of common nails listed is total required for each strap. The tie straps shall be spaced at 48 inches (1219 mm) on center along the length of the roof. The number of nails on each side of the rafter/ridge joint shall be equal. Nails shall be spaced to avoid splitting the wood.

LOAD PATH/STRAP DETAILS

5



ENGINEERING, L.L.C.  
 MACK FARIABI, P. E.  
 F-6074  
 P.O. BOX 218182  
 HOUSTON, TX. 77218  
 O. 713.419.7994  
 F. 708.572.8036



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