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**25403 Elm Green St  
Spring, TX 77373**

**Geneva21717B**

**Friday, February 17, 2017**

**Prepared Exclusively For:  
Suzanne & Carroll Kiphen**

**Educational & Informative Property Inspections**



**PROPERTY INSPECTION REPORT**

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**Prepared For:** Suzanne & Carroll Kiphen  
(Name of Client)

**Concerning:** 25403 Elm Green St, Spring, TX, 77373  
(Address or Other Identification of Inspected Property)

**By:** Jerald Dale Brown TREC #8978 2/17/2017  
(Name and License Number of Inspector) (Date)

XXX  
(Name, License Number and Signature of Sponsoring Inspector, if required)

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**PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES**

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules (“Rules”) of the Texas Real Estate Commission (“TREC”), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer’s installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller’s disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector’s responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client’s responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.**

**Report Identification:** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

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Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

**TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding, and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as “Deficient” when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been “grandfathered” because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### I . STRUCTURAL SYSTEMS

**A. Foundations**

Type of Foundations: Slab on Grade w/Post - Tension cable      The front of the home faces North  
Comments:      Observation :      The foundation is performing as intended

The foundation is performing as intended. No significant problems were observed.  
Performed an electronic foundation level survey.  
This home has a differential of less than 1.200 (it appears the foundation may have been poured slightly out of level)  
There is a low spot in the breakfast room but comes back up towards the wall .  
No out of square door or windows were discovered.

**B. Grading and Drainage**

Comments:  
The grading and drainage aspects of the property appear Good at the time of the Inspection.

There is a stump in the front yard.  
On the left side of the home the gutter downspouts are damaged from the lawnmower .

**C. Roof Covering Materials**

Type(s) of Roof Covering: 20 year shingle  
Viewed From: Walk The Roof  
Comments:

D -Mildew was noted on the roof. A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container) .  
D - The exposed shingle fasteners need to be covered with roofing cement to prevent leaks  
D - There are several fishmouthed shingles probably caused by raised fasteners. This condition could allow moisture to get beneath the shingle and into the roof structure in my opinion .  
The roof shingles is a 20 year shingle and is 15 years old.  
The roof is approaching the end of its life (3 to 5 remaining years)

**D. Roof Structure and Attic**

Viewed From: Walk The Attic  
Approximate Average Depth of Insulation: 12 inch=R-30  
Comments:  
Pull-Down Stairs located at: Garage and hallway  
soffit vents to air Hawks

The attic structure is in good overall condition .

**E. Walls (Interior and Exterior) - Comments:**

Comments:  
Description of Structure's Exterior: Brick & Hardie board.  
Wall Structure: Wood stud framing  
Trim Material: Hardie board & Wood

D - There is mildew on the exterior walls.  
A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container)  
There is a hair line crack over the front door in the brick mortar .

On the interior walls when the pictures and artwork are removed there could be nails and hangers that may need to be repaired.

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I   NI   NP   D

## I . STRUCTURAL SYSTEMS

Minor bumps and bruises on the interior walls were noted. Nail holes should be filled and touch up paint may be needed .  
In the hall there are several wall scars (poor workmanship on repairs) .

**F. Ceiling and Floors**

*Comments:*

*Description of Structure's Ceiling & Floor Coverings:*

Ceiling Covering:      Sheet rock

Floor Covering:

In the master bedroom in the vaulted ceiling area there's a crack in the drywall seam and some nail pops.  
In the hallway by the pulldown ladder there's a repair seam.  
In the right rear bedroom vaulted ceiling there is a seam crack .

In the Master bathroom, vinyl flooring starting to come up where it meets the carpet.  
Good overall condition .

**G. Doors (Interior and Exterior)**

*Comments:*

*Interior:*

The door between the garage and the interior of the house should be equipped with an auto-closer device to prevent automobile fumes from entering the house .

In the front right bedroom door the striker plate screw is backed out not allowing the door to close .

*Exterior:*

There are gaps on the side of the garage doors than could allow vermin to enter the garage.  
There is a small dent in the garage door  
These areas should be sealed .  
There is some wood damage at the bottom of the back door ,the wood trim is weather worn .  
The back door also has a torn weather strip .

**H. Windows**

*Comments:*

*Double pane windows*

C - Signs of failed seals in the thermal pane windows may appear and disappear and temperature and humidity change.  
Some windows with failed seals may not be evident at the time of the inspection, windows are only checked for obvious fogging.

(Note, This is a disclaimer, no lost seals were found) .

The back window closest to the back porch does not open properly.(Spring issue)

There are a couple of torn screens

Good overall condition

**I. Stairways (Interior and Exterior)**

*Comments:*

*Attic stairs in the garage & hall*

The garage stairs were not accessed, there were owner personal property blocking the way .

**J. Fireplace / Chimney**

*Comments:*

**K. Porches, Balconies, Decks, and Carports**

*Comments:*

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**I NI NP D**

### I. STRUCTURAL SYSTEMS

The back deck has wood to soil contact which will accelerate the wood decomposed process.  
The back patio also was raised all the way covering the clear view of the foundation in the back  
Good overall condition .

**L. Other**

*Comments:*

*Driveway*

Good overall condition .



# Structural A: Foundation

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017

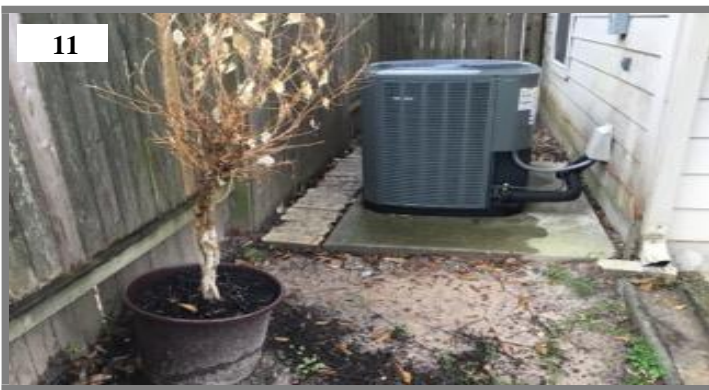




# Structural B: Grading

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017





# C: Structural: Roof Covering Materials

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



# D: Structural: Roof Structure and Attic

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017





# E: Structural: Walls Exterior

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Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017



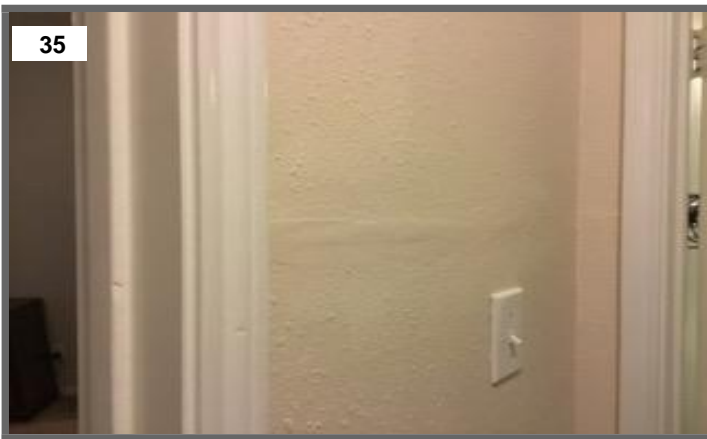
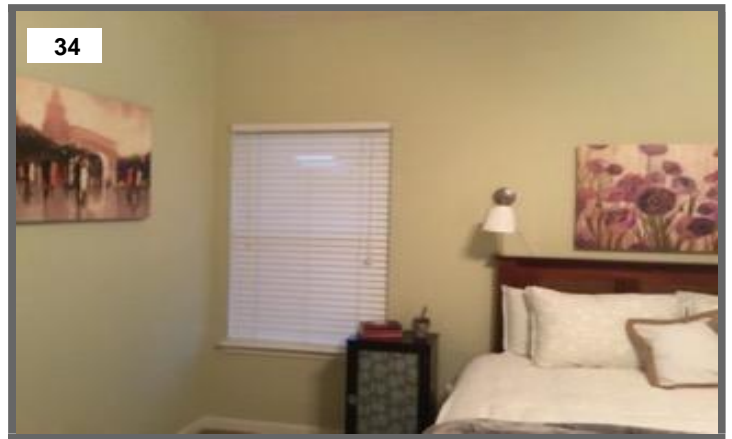
minor mildew



# F: Structural: Ceiling

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



Wall patch in the hall





# F: Structural: Floors

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



## G: Structural: Doors Exterior

# PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017



Master bathroom, vinyl flooring starting to come up where it meets the carpet.

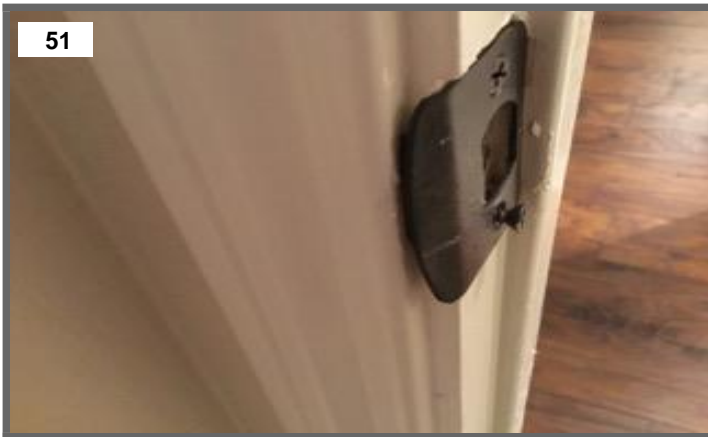


## G: Structural: Doors Interior

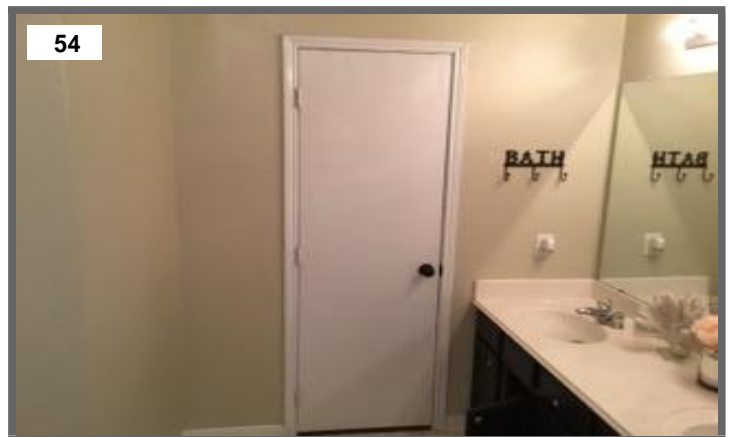
### PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017



Front right quest bedroom, loose screw on door latch.



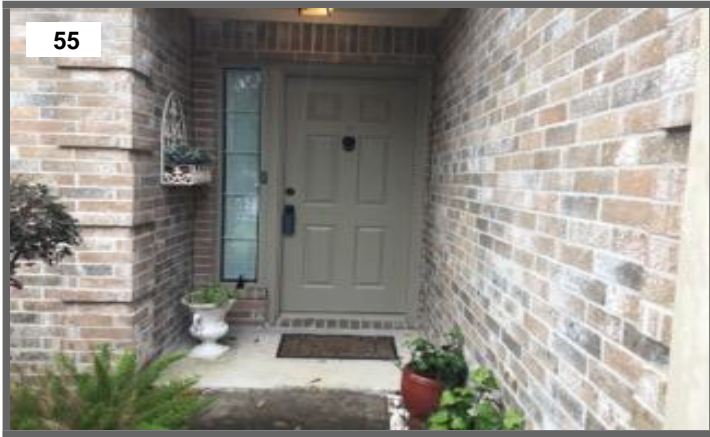


# G: Structural: Doors Exterior

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017





# H: Structural: Windows

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



Torn screen



# I: Structural: Stairs (Interior and Exterior)

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Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017





# Structural A: Foundation

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



# Structural A: Foundation

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017



Guest bathroom



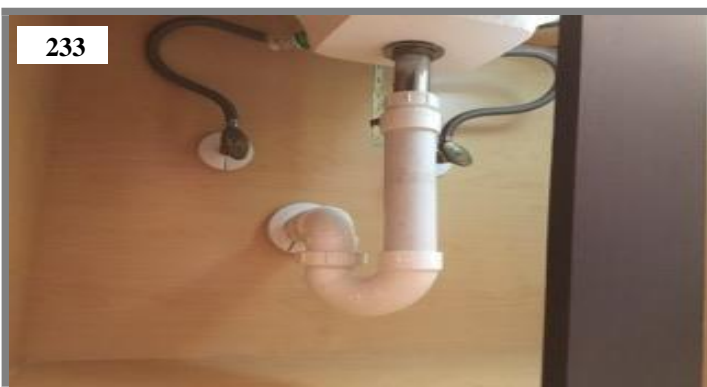
Guest bathroom



Master bathroom



Master bathroom



Master bathroom





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I NI NP D

## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Comments:*

*Electric Service Size: 120/240 Volt Main Service*

*Service Entrance Wires: Aluminum, Underground*

*Main Distribution Panel: Breakers*

*Brand of Panel:*

*Panel Location:*

*Main Braker Rating:*

*Service Ground: Copper*

*Service Ground: Ground rod*

120/240 service. 125 AMP Main. AC breaker size – 60 amp  
It is recommended the ground rod clamp be changed to an acorn type ground clamp.

White wires inside the electrical service box are being used as hot wires on the 240 volt systems. They should be labeled as hot wires.

The breakers are not labeled as required.

This home has Aluminum main service wire conductors from the power company. There connections inside the breaker box should be coated with Anti Oxidation Jell. (This should be performed by a professional only) .

AFCI (arc fault) circuit breakers are now standard equipment in electrical systems.

This is a new code that is effective as of 2-1-2009.

This home has been equipped . The original intention of the AFCI was to equip bedroom lighting circuits to trip out in the event of a potential fire in these circuits. Many of us install an outlet multiplier turning a double outlet into a 6 way outlet to service the many requirements we now have in our home. (Double lamps, double cell phone charges, a clock radio, and maybe a computer power strip.) These multi outlets generate heat and many of us slide a bed up to these outlets. The AFCI breakers can detect arcs in these systems and trip out before a fire starts. The AFCI program was extended to include all household lighting circuits partly because of the new demand for power for our entertainment centers, new plasma TV generate a lot of heat. After the new code had taken effect the manufacturers of these items have made it a priority to make these items energy star rated.

NOTE: There are complaints about the new breakers being overly sensitive and many times trip out as a nascence. The breakers can and will trip when an appliance that has a fault is used.

**B. Branch Circuits, Connection Devices, and Fixtures**

*Type of Wiring: Copper*

*Comments:*

*The home is equipped with compact fluorescent light bulbs (CFL's) in certain light fixtures. While the use of energy saving CFL's is certainly recommended there are some limitations to their use. Due to the wide range of manufacturers and types of CFL's then determining the proper wattage, bulb design, heat transmission, etc of any CFL's in use is beyond the scope of this inspection. More information on the proper use of CFL's can be found at [http://www.gelighting.com/na/home\\_lighting/ask\\_us/faq\\_compact.htm](http://www.gelighting.com/na/home_lighting/ask_us/faq_compact.htm) or other manufacturer websites.*

**Recommend that batteries in all smoke detectors be changed upon taking possession of the home**

D - GFCI outlets are needed in the Kitchen, bathrooms, garage, and all outdoor outlets less than 6 feet off the ground.

A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

(All are correct, no action needed)

### FIRE PROTECTION EQUIPMENT –

Smoke detectors have been installed in every bedroom and adjoining room for improved safety.

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## **II. ELECTRICAL SYSTEMS**

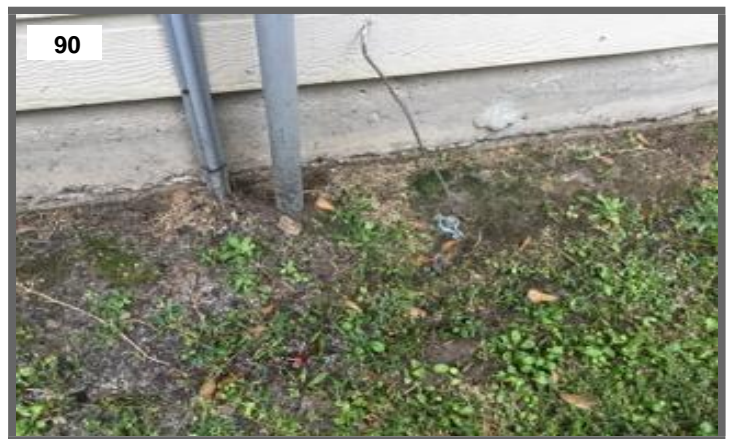
The doorbell tested well .

# A: Service Entrance and Panels

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017



**B: Branch Circuits, Connection Devices, Fixtures**

**PICTURES PAGE**

**Concerning :** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

**Schedule Date :** Friday, February 17, 2017



Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



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**I NI NP D**

**III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS**

**A. Heating Equipment:** Exterior condenser & Interior Air Handler

Type of System: *Natural Gas*

Energy Source: *Central Forced Air*

Comments: *Tested well*

DESCRIPTION: Unit 1 Unit 2 Unit 2

Location: *Attic*

Manufacture: *Trane*

Model Number: *Unit was sealed*

Serial Number: *110,000 BTU's*

- Spring & Fall routine maintenance schedules should be set up with a Qualified, Licensed, HVAC Professional to verify integrity of system for optimal performance.
- The National Association of Home Builders and Bank of America Home Equity division produced a Study of Life Expectancy of Home Components in February-2007. That study noted that Gas Furnace units (on average) last 18 years. Take that into consideration noting the the Date of Birth dates noted above for the units at this property.

*Gas Furnace: Clean blue flame observed at this unit*

*Tested well*

The HVAC system tested well .

The HVAC system was recently installed in 2016, the drain lines coming off of the evaporator coil in the pan are not glued in place and this needs to be corrected.

The furnace exhaust pipe is in good condition

**B. Cooling Equipment:**

Type of System: *Forced Air*

Comments: *Tested well*

*Right exterior*

*Trane*

Model Number: *4TTR4060L1000AA*

*5 ton*

**Temperture Differential (delta-T) during today's inspection:**

*Delta-T (18°F)*

Evaporator coil safety pan

*Delta-T readings are one of many elements utilized to evaluate the acceptable performance of a cooling system. The general/suggested acceptable range is considered to be approximately between 16-21° F total difference between the return air and supply air. The preferred location for this reading is taken across the Evaporative (EVAP) coil of the HVAC system. There are times that this is not possible for this inspector and readings via a laser-thermometer at various supply and return air vents are taken.*

Condensate Drains Line:

The drain pan is clean and dry

The breakers to the AC system are correct in size

**C. Ducts System, Chases and Vents**

Comments:

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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### **III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS**

*Flex ducting*

*20x25 x1*

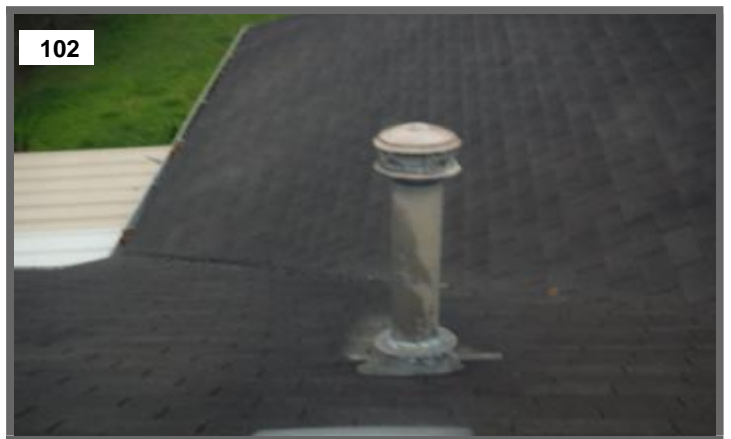
*· All return air filters should be replaced before moving in and at either regular monthly intervals or as needed thereafter. Any register / diffuser which has signs of residue around it may indicate a system that may not have been well-maintained in the past.*

# A. Heating Equipment: Gas Vents / Flue

## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017





## B. Cooling Equipment

# PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



103

5 ton



104

4TTR4060L1000AA  
5-2016



105



106



107

## C. Ducts System, Chases and Vents

### PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

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**IV. PLUMBING SYSTEMS**

**A. Plumbing Supply, Distribution System and Fixtures**

*Location of Water Meter:    Located At The Curb,*  
*Location of main water supply valve:    in the garage*  
*Static water pressure reading: PVC 3/4 inch    60 Lbs.*  
*Public*  
*Comments:*

All exterior hose bibs are required to be equipped with anti backflow valves to prevent the cross connect of contaminant into our water supply (Not required on homes with there own water wells)(All are correct, no action needed)

Good overall condition

Master bathroom left sink does not drain properly, possibly clogged with hair .  
 Master bathroom, splashguard to left of sink is loose .  
 Good overall condition

Master shower, bottom is rusted on door .

D- Guest bathroom, the tub stopper is non-operable .  
 Good overall condition .

D- Guest bathroom, the tank for the toilet is loose .  
 Good overall condition

**B. Drains, Wastes, and Vents**

PVC  
 PVC

**C. Water Heating Equipment**

*Energy Source:    Natural Gas*  
*Capacity:            40 Gallon*  
*Comment:*  
*Unit #1:              Rheem      RHLNQ20130327    2013      40 Gals      Attic*

On the right side of the home the water heater pan drain line should have an elbow pointed towards the earth it is missing.  
 The overflow pan for the water heater should be cleared of debris, insulation .

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**E. Other:**

*Comment:*



## A. Water Supply and fixtures

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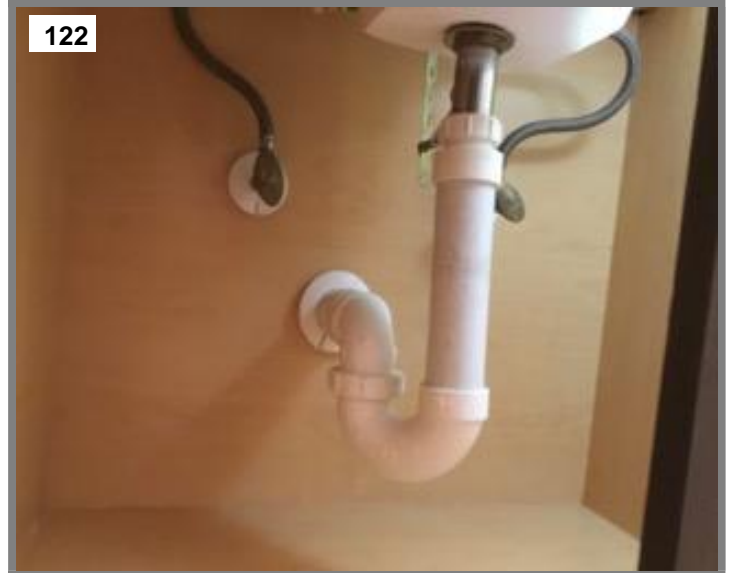
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# B. Drains, Wastes, Vents

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# C. Water Heating Equipment

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## D. Hydro Equipment

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Master bathroom, splashguard to left of sink is loose.

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**V. APPLIANCES**

**A. Dishwasher**

*Comments:*

*Manufacture: Whirlpool*

*Model Number: WD1710PAYMD*

Tested well  
Good Condition

**B. Food Waste Disposer**

*Comments:*

*Manufacture: ISE (In Sink Erator)*

*Model Number: Bager 5*

Tested well  
Good Condition

**C. Range Hood and Exhaust System**

*Comments:*

*Broan*

*Model Number: F40,000*

The vent hood recirculates and does not exhaust to the exterior

Tested well  
Good Condition

**D. Ranges, Cooktops, and Ovens**

*Comments: Natural Gas*

*GE*

*Model Number: JGBS17PEA4WH*

*GE*

*Model Number: JGBS17PEA4WH*

350

345

5

No

350

Tested well  
Good Condition

D - The freestanding range does not have an anti-tip device installed. The absence of an anti-tip device allows the oven to tip over when a weight is placed on an open door .

**E. Microwave Oven**

*Comments*

*Model Number:*

**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments*

*Bathroom Exhaust Fans and/or Heaters*

Tested well .

In the laundry room the vent fan hole was cut larger then the fan casing exposing a little bit of the cutting-edge .(minor)

**G. Garage Door Operator**

*Comments 1/2 HP*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**V. APPLIANCES**

*Craftsman*

D - The garage door operator does not properly auto reverse when pressure is applied in the closing cycle and could damage the door, property or persons in my opinion .

**H. Dryer Vents**

*Comments:*

The dryer vent is clean

**I. Other**

*Comments*

*Whirlpool*

*ED5KVEXVOOO*

The refrigerator is in good condition .

The doorbell tested well .



**A. Dishwasher**

**B. Garabige Disposal**

**PICTURES PAGE**

**Concerning :** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
**Schedule Date :** Friday, February 17, 2017



## C. Range Exhaust Vent

## D. Range, Ovens, Cook-Tops

# PICTURES PAGE

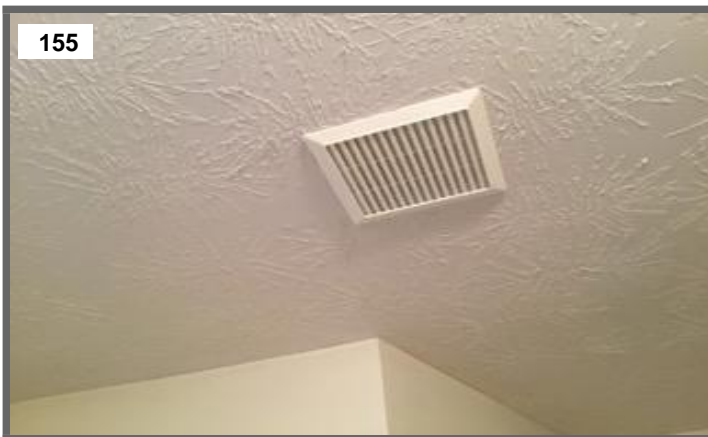
Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017





**PICTURES PAGE**

**Concerning :** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
**Schedule Date :** Friday, February 17, 2017





**PICTURES PAGE**

**Concerning :** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
**Schedule Date :** Friday, February 17, 2017



**K. and L. Other Built-In**

**PICTURES PAGE**

**Concerning :** Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

**Schedule Date :** Friday, February 17, 2017



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### VI. OPTIONAL SYSTEMS

**A. Landscape Irrigation (Sprinkler Systems)**  
*Comments:*

**B. Swimming Pools Spa, Hot Tubs, and Equipment**  
*Comments:*  
*Type of Construction:*

The pool lights.  
The pool pumps .  
The pool equipment grounding system .  
Overall condition of the pool finish.  
Pool Heater.  
The condition of the fence .  
The condition of the gates .

**C. Outbuildings**  
*Comments:*

**D. Private Water Wells** (A coliform analysis is recommended.)  
*Type of Pump:*  
*Type of Storage Equipment:*  
*Comments:*

**E. Private Sewage Disposal (Septic) Systems**  
*Type of System:*  
*Location of Drain Field:*  
*Comments:*

**F. Other**  
*Comments:*

*Gas meter and main shut off noted at :* *Right side of home.*

Only "visible" gas lines were inspected / observed as they relate to over, cooktop, range, furnace, water heater, fireplace and other appliances as applicable.

· Gas distribution throughout home is via "Black Iron Pipe".

Carbon monoxide is an odorless poison gas that's produced by incomplete combustion. Things in this house that can produce carbon monoxide include the furnace and the gas water heater. Even electric ovens can produce carbon monoxide during their cleaning mode. Carbon monoxide alarms are inexpensive and easy to install.

**Smoke detectors are hard wired**

*There are smoke detectors in all sleeping rooms and adjoining rooms*



# G. Private Sewage Disposal (Septic) System, H. House

## PICTURES PAGE

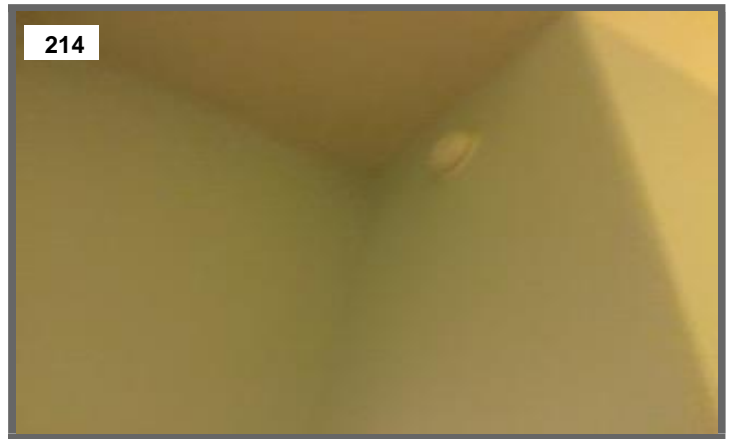
Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373  
Schedule Date : Friday, February 17, 2017



## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

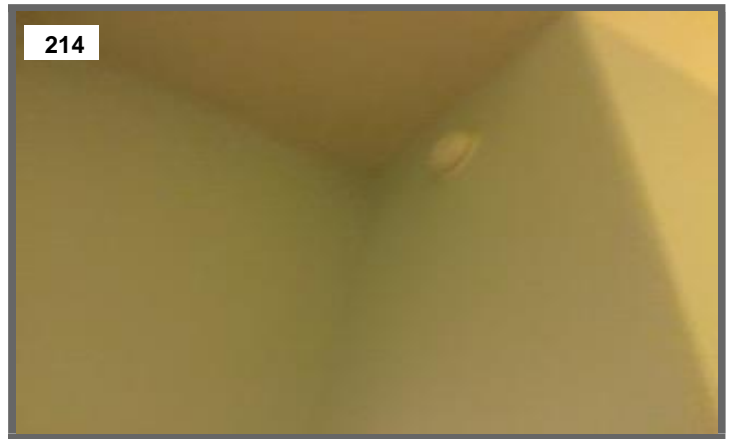
Schedule Date : Friday, February 17, 2017



## PICTURES PAGE

Concerning : Suzanne & Carroll Kiphen 25403 Elm Green St, Spring, TX, 77373

Schedule Date : Friday, February 17, 2017





Addendum 1

## **Foundation Inspections**

The foundation inspection is based on physical observation. The report includes a visual structural evaluation of the subject property. The inspection includes an investigation of a physical non-destructive observation of the existing foundation condition and its functionality.

The intention of this report is to inform you of the foundations overall general condition. The inspection report should not be viewed as, or assumed to be a warranty of performance or as a guarantee of future operation. The inspection report contains the good faith opinions of the inspector concerning the observable need, if any. The inspection performed is limited to those reasonably accessible items, or parts of items, which can be seen or operated by the inspector at the time of inspection. Moving furniture or any other items, any dismantling of any item or equipment, normal settlement cracks and separations of any sort and inaccessible areas are excluded from this inspection. The scope of this evaluation is limited to structural components, which are readily visible and accessible. This report does not include items that are not readily accessible or visible at the time of this inspection, damages that may exist, such as in between walls, under floor coverings, hidden by furniture, storage items or not visible due to being in a neighbors yard and inaccessible and etc. This report does not predict potential performance after the inspection or damage detected after inaccessible areas are made accessible.

Houston, as many parts of Texas, has experienced significant differential movement or settlement with slabs on grade type foundations. It is common to have minor movement that results in noticeable cracks on interior and exterior walls that does not necessary indicate evidence of major foundation deformities or excessive settlement distress conditions. There may be evidence of moderate foundation settlement and associated structural movement such as visible cracks, drywall cracks, sticking or dragging doors or windows, and etc. present, this in itself is not indicative of foundation repairs. All foundations have some degree of deflections and/or variances of the elevation visible corner cracks, which are acceptable and considered normal.

Foundation evaluations are only opinions and will vary from Inspector to Inspector and Engineer to Engineer and visa versa. As of the writing of this addendum, the author is not aware of any building or engineering standards for foundation evaluations.

When the Inspector suspects that additional foundation evaluations are necessary or repairs are recommended, the report will reflect that the foundation is in need of repairs. We trust that these additional comments will provide you with a better understanding of foundation and foundation evaluations.

Addendum 2

Notice

Please read the following notices in their entirety, as they will provide you with additional information concerning your inspection report and are a part of your inspection report.

**Foundations:** The inspection of the foundation may show it to be functioning as intended or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation, but is a visual and cursory observation of the conditions and circumstances at the time of the inspection. The Inspector is not a Structural Engineer. The Client should have a Structural Engineer give an evaluation if any concerns exist about the possibility of future movement of the foundation.

**Soils:** Highly plasticity clay soils, as are typically found in this region, exhibit a great deal of expansion and contraction with varying moisture contents. With this type of expansion and contraction of the soils, slabs on grade homes and pier and beam homes will experience some degree of foundation distress. You should expect to see deflection cracks in the exterior brick veneer, interior drywalls and floor tiles.

**Roofs:** The inspection of this roof may show it to be functioning as intended or in need of repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your insurance company physically inspect the roof, prior to closing, to fully evaluate the insurability of the roof. Life expectancy of the roof material is not covered by this property inspection report. The Inspector cannot and does not offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks. Roofs are not typically walked upon due to the steepness, heights and there being only a single inspector present. Should the ladder fall or decking have decayed or damaged areas the inspector could step or fall through and be severely injured. If concerns exist about the roof covering, its life expectancy or potential for future problems, a roofing specialist should be consulted prior to your closing on the property.

**Windows:** Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity changes. Some windows with lost seals may not be evident at the time of this inspection. Windows are only checked for obvious fogging. Only readily accessible and random windows are checked. Some seal damages may not be reported as a deficiency. If seal damages were noted, we recommend a qualified specialist check "ALL" windows for lost or damaged seals, prior to closing.

**Doors:** Doors may stick or drag at times when not observed as such during your inspections. The temperature and humidity levels can and will cause this type of events to occur and should be considered normal. Small moisture intrusions and rust can develop quickly on exterior door units and may not be called as a deficiency on the inspection reports. These are regular maintenance issues which should be maintained on a regular basis to prevent additional damages from developing.

Addendum 2 Continued

### Notice

**Exterior Cladding:** Not all decay or damaged sections of exterior wall cladding will be reported. Only a sampling is reported or photographed because it is normal to find additional areas needing repairs when work is started. When aluminum or vinyl type siding is installed, the Inspector can't see behind this material and it can't be determined during our non-invasive inspections as to what damages, if any, may have been covered over and are hidden from the Inspectors view.

**Fireplace and Chimney:** Fire blockage, chases, chimney caps and chimney claddings are not readily visible or accessible and therefore are not reported on. Draft, proper combustion, smoke, leakages, cleanliness, fire worthiness, etc., are not part of this inspection and excluded from this report. Therefore, you may wish to obtain the services of a professional chimney sweep for these inspections and other services related to the fireplace and chimney.

**AC's:** The indoor air conditioner evaporator coils were not physically observed. The coils are located with the cabinet interior and/or plenum that would require specialized tools to disassemble and reassemble. If the Inspector were to remove the duct materials and/or cut into the plenum under these conditions, the HVAC warranty could be voided. AC systems are not operated when the outdoor temperature is less than 60 F degrees. Temperature differential is a fundamental standard test for the proper function of the cooling system. The normal range it considered to between 15 F – 20 F degrees of total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoors temperature or restricted air flow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of equipment malfunctions. If any concerns exist about the physical condition of the indoor coils, a qualified and licensed HVAC contractor should be consulted prior to closing to fully evaluate the HVAC systems and equipment.

**Furnaces:** Per the T.R.E.C. standards of practice, Full evaluation of the integrity of the heat exchanger requires dismantling of the furnace and is beyond the scope of this limited visual inspection. Electrical heat strips are excluded form this report. Heaters are not operated when the outside temperature is 90 F degrees of greater. If any concerns exist about the physical condition of the furnace(s), a qualified and licensed HVAC contractor should be consulted prior to closing to fully evaluate the HVAC systems and equipment.

**Water Heaters:** The temperature and pressure relief (TPRV) valve on the water heater(s) was not activated due to the possibility that it may not reseal and may continue to leak. We recommend that you test this device periodically or replace it according to the manufacturer's specifications.

**Pools / Spas:** Equipment is operated in the manual settings only and only above finish grade (above ground) visible and accessible deficiencies in the pool's pump(s), heater (excluding heat exchangers), filter, electrical, blower and visible plumbing connections are inspected. The Inspector will report on visible deficiencies in the pools surrounding decking, coping and tile. The Inspector will make no evaluation on pool/spa structural bodies and underground piping, plumbing or electrical systems.



### **When Things Go Wrong...**

There may come a time that you discover something wrong with the house, and you may be upset or disappointed with your inspection. Please review the following information that may be helpful in understanding concerns that you may have.

In the State of Texas, Real Estate Inspectors are licensed and governed by the Texas Real Estate Commission. The State has a Standard of Practice and a promulgated inspection report form, which all Inspectors are required by law to follow. A copy of this may be obtained from the State's web site at [www.trec.state.tx.us](http://www.trec.state.tx.us).

### **Intermittent Or Concealed Problems...**

Some problems can only be discovered by living in the house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved, finishes are removed or walls are opened up.

### **No Clues...**

These problems may have existed at the time of the inspection but there were no clues as to their existence. Our inspections are based on the existing performance of the house on the day of the inspection only. If there were no clues of a past problem and the sellers did not disclose information concerning issues that they were aware of, it is unfair to assume the Inspector should have seen the problems or foresee a future problem.

### **Some Minor Things Can Usually Be Missed**

Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$2,000 problems. These are the things that affect people's purchase decisions.

### **Contractors' Advice**

The main source of dissatisfaction with Home Inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when the plumber says, "The Inspector should have told you where the leak was coming from". Tradesman, Contractors, Builders and various Service Personnel are unaware of what a State Licensed Real Estate Inspector is required, by the State of Texas Laws and Regulations, to inspect during a real estate transaction and how Inspectors are required to inspect items. Therefore, differences of opinion between the various contractors involved can cause confusion.

### **Last Man In Theory**

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "Last Man In Theory". The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether the roof leak is his fault or not consequently, he won't want to do a minor repair with high liability when he could re-roof the entire house for more money and reduce the likelihood of a callback.

### **Most Recent Advice Is Best**

There is more to the "Last Man In Theory". It suggests that it is human nature for homeowners to believe the last bit of "expert" advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "First Man In" and consequently it is our advice that is often disbelieved.

### **Why Didn't We See It**

Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem". There are several reasons for these apparent oversights:

#### **1. Conditions During Inspection**

It is difficult for homeowners to remember the circumstances in the house, at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere in the basement or that the furnace could not be turned on because the air conditioning was operating, etcetera. It's impossible for contractors to know what the circumstances were when the inspection was performed.

#### **2. The Wisdom Of Hindsight**

When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 inches of water on the floor. Predicting the problem is a different story.

#### **3. A Long Look**

If we spent 1/2 an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems too. Unfortunately, the inspection would take several days and would cost considerably more.

#### **4. We're Generalists**

We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, roofing expertise, electrical expertise and etcetera.

#### **5. An Invasive Look**

Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform any invasive or destructive tests.

### **Not Insurance**

A home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy, a warranty or a guarantee. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

### **Summary Statement**

Inspections are never intended to cause issues between sellers and buyers. The Inspector's position is never intended to "blow a deal" or to pick a property apart. However, the potential Clients or Homeowners do hire us to inform them of the existing conditions of the property. Unfortunately, Inspector's are caught in the middle between the Sellers or their Realtor, the Buyers or their Realtor and any repair contractor that presents a difference of opinion. The inspection report may list items as in need of repair. However, it should be understood by all parties reading the inspection report, that the inspection does not require the Sellers or Owners to make any of the suggested repairs and is not intended to force anyone to correct the items listed as in need of repair. The purpose of this inspection and report is to inform the Clients of the property's condition on the day of the inspections and is based on the Inspectors' opinion.

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### I. STRUCTURAL

#### A. FOUNDATION :

The foundation is performing as intended. No significant problems were observed.

Performed an electronic foundation level survey.

This home has a differential of less than 1.200 (it appears the foundation may have been poured slightly out of level)

There is a low spot in the breakfast room but comes back up towards the wall .

No out of square door or windows were discovered.

#### B. GRADING and DRAINAGE:

There is a stump in the front yard.

On the left side of the home the gutter downspouts are damaged from the lawnmower.

#### C. ROOF COVERING MATERIALS:

D -Mildew was noted on the roof. A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container) .

D - The exposed shingle fasteners need to be covered with roofing cement to prevent leaks

D - There are several fishmouthed shingles probably caused by raised fasteners. This condition could allow moisture to get beneath the shingle and into the roof structure in my opinion.

The roof shingles is a 20 year shingle and is 15 years old.

The roof is approaching the end of its life (3 to 5 remaining years)

#### D. ROOF STRUCTURE and ATTIC:

The attic structure is in good overall condition .

#### E. WALLS ( E X T E R I O R ):

D - There is mildew on the exterior walls.

A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container)

There is a hair line crack over the front door in the brick mortar.

#### E. WALLS ( I N T E R I O R ):

On the interior walls when the pictures and artwork are removed there could be nails and hangers that may need to be repaired.

Minor bumps and bruises on the interior walls were noted. Nail holes should be filled and touch up paint may be needed .

In the hall there are several wall scars (poor workmanship on repairs) .

#### F. CEILING:

In the master bedroom in the vaulted ceiling area there's a crack in the drywall seam and some nail pops.

In the hallway by the pulldown ladder there's a repair seam.

In the right rear bedroom vaulted ceiling there is a seam crack .

#### F. FLOORS:

In the Master bathroom, vinyl flooring starting to come up where it meets the carpet.

Good overall condition .

#### G. DOORS ( I N T E R I O R ):

The door between the garage and the interior of the house should be equipped with an auto-closer device to prevent automobile fumes from entering the house .

In the front right bedroom door the striker plate screw is backed out not allowing the door to close .



## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### G. DOORS ( E X T E R I O R ):

There are gaps on the side of the garage doors than could allow vermin to enter the garage.

There is a small dent in the garage door

These areas should be sealed .

There is some wood damage at the bottom of the back door ,the wood trim is weather worn.

The back door also has a torn weather strip .

### H. WINDOWS:

C - Signs of failed seals in the thermal pane windows may appear and disappear and temperature and humidity change.

Some windows with failed seals may not be evident at the time of the inspection, windows are only checked for obvious fogging.

(Note, This is a disclaimer, no lost seals were found) .

The back window closest to the back porch does not open properly.(Spring issue)

There are a couple of torn screens

Good overall condition

### I. STAIRS INTERIOR and EXTERIOR:

The garage stairs were not accessed, there were owner personal property blocking the way .

### J. FIREPLACE and CHIMNEYS:

### K. PORCH, BALCONIES, DECKS, AND CARPORTS:

The back deck has wood to soil contact which will accelerate the wood decomposed process.

The back patio also was raised all the way covering the clear view of the foundation in the back

Good overall condition .

### L. OTHER SYSTEMS:

Good overall condition .

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### II. ELECTRICAL

#### A. SERVICE ENTRANCE and PANELS:

120/240 service. 125 AMP Main. AC breaker size – 60 amp

It is recommended the ground rod clamp be changed to an acorn type ground clamp.

White wires inside the electrical service box are being used as hot wires on the 240 volt systems. They should be labeled as hot wires.

The breakers are not labeled as required.

This home has Aluminum main service wire conductors from the power company. There connections inside the breaker box should be coated with Anti Oxidation Jell. (This should be performed by a professional only) .

AFCI (arc fault) circuit breakers are now standard equipment in electrical systems.

This is a new code that is effective as of 2-1-2009.

This home has been equipped . The original intention of the AFCI was to equip bedroom lighting circuits to trip out in the event of a potential fire in these circuits. Many of us install an outlet multiplier turning a double outlet into a 6 way outlet to service the many requirements we now have in our home. (Double lamps, double cell phone charges, a clock radio, and maybe a computer power strip.) These multi outlets generate heat and many of us slide a bed up to these outlets. The AFCI breakers can detect arcs in these systems and trip out before a fire starts. The AFCI program was extended to include all household lighting circuits partly because of the new demand for power for our entertainment centers, new plasma TV generate a lot of heat. After the new code had taken effect the manufacturers of these items have made it a priority to make these items energy star rated.

NOTE: There are complaints about the new breakers being overly sensitive and many times trip out as a nascence. The breakers can and will trip when an appliance that has a fault is used.

#### B. BRANCH CIRCUITS, CONNECTION DEVICE, and FIXTURES:

D - GFCI outlets are needed in the Kitchen, bathrooms, garage, and all outdoor outlets less than 6 feet off the ground.

A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

(All are correct, no action needed)

#### FIRE PROTECTION EQUIPMENT –

Smoke detectors have been installed in every bedroom and adjoining room for improved safety.

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### III. HEATING, VENTILATION, AIR CONDITIONING SYSTEMS

#### A. EQUIPMENT / HEATING DESCRIPTION:

The HVAC system tested well .

#### B. VENTS / FLUE:

The furnace exhaust pipe is in good condition

#### B. COOLING EQUIPMENT / DRAIN LINES:

The HVAC system was recently installed in 2016, the drain lines coming off of the evaporator coil in the pan are not glued in place and this needs to be corrected.

#### B. COOLING EQUIPMENT / DRAIN PAN:

The drain pan is clean and dry

#### B. HEATING / COOLING ELECTRICAL:

The breakers to the AC system are correct in size

#### C. DUCTS SYSTEMS, CHASES and VENTS

#### C. DUCTS SYSTEMS, CHASE, VENTS, and FILTERS

#### C. DUCTS SYSTEMS, CHASE, VENTS, and AIR RETURN



## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### IV. PLUMBING SYSTEMS

#### A. DESCRIPTION and SUPPLY LINE

##### A. PLUMBING SUPPLY, DISTRIBUTION SYSTEMS and FIXTURES

All exterior hose bibs are required to be equipped with anti backflow valves to prevent the cross connect of contaminant into our water supply (Not required on homes with there own water wells)(All are correct, no action needed)

##### A. WATER FIXTURES, KITCHEN SINK:

Good overall condition

##### A. WATER FIXTURES, BATHROOM SINK:

Master bathroom left sink does not drain properly, possibly clogged with hair.

Master bathroom, splashguard to left of sink is loose.

Good overall condition

##### A. WATER FIXTURES, BATHROOM SHOWER

Master shower, bottom is rusted on door.

##### A. WATER FIXTURES, BATHTUB:

D- Guest bathroom, the tub stopper is non-operable.

Good overall condition .

##### A. BATHROOM EXHAUST VENTS and HEATERS:

Tested well .

In the laundry room the vent fan hole was cut larger then the fan casing exposing a little bit of the cutting-edge .(minor)

##### A. WATER FIXTURES, BATHROOM TOILETS:

D- Guest bathroom, the tank for the toilet is loose.

Good overall condition

#### B. DRAINS, WASTE, VENTS

##### C. WATER HEATING EQUIPMENT:

On the right side of the home the water heater pan drain line should have an elbow pointed towards the earth it is missing.

The overflow pan for the water heater should be cleared of debris, insulation.

##### D. HYDROTHERAPY EQUIPMENT:

#### E. OTHER SYSTEMS

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### V. APPLIANCE

#### A. DISHWASHER:

Tested well  
Good Condition

#### B. FOOD WASTE / DISPOSER:

Tested well  
Good Condition

#### C. RANGE HOOD and EXHAUST SYSTEMS

Tested well  
Good Condition

#### D. RANGE, COOK-TOPS and OVENS:

Tested well  
D - The freestanding range does not have an anti-tip device installed. The absence of an anti-tip device allows the oven to tip over when a weight is placed on an open door.

#### E. MICROWAVE

No built in microwave

#### F. MECHANICAL EXHAUST VENTS and BATHROOM HEATERS:

Tested well .  
In the laundry room the vent fan hole was cut larger then the fan casing exposing a little bit of the cutting-edge .(minor)

#### G. GARAGE DOOR OPENER:

D - The garage door operator does not properly auto reverse when pressure is applied in the closing cycle and could damage the door, property or persons in my opinion.

#### H. DRYER EXHAUST SYSTEMS:

The dryer vent is clean

#### I. OTHER SYSTEMS:

The refrigerator is in good condition .

#### DOOR BELL and CHIMES:

The doorbell tested well .

**Report Comments**

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

VI. OPTIONAL

A. SPRINKLER SYSTEM

B. SWIMMING POOL EQUIPMENT, and HEATER:

C. OUTBUILDINGS:

D. PRIVATE WATER WELLS :

E. PRIVATE SEWAGE DISPOSAL (Septic) SYSTEMS

F. OTHER SYSTEMS: