

SCALE 1" = 25'

CF. NO. 09012611, OLD REPUBLIC TITLE
 ADDRESS: 20 TIEL WAY
 HOUSTON, TEXAS 77019
 BORROWER: CAFE O'LAITE

**LOT 14, BLOCK 56
 RIVER OAKS, SECTION 12**

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 IN VOLUME 22, PAGE 60 OF THE MAP RECORDS
 OF HARRIS COUNTY, TEXAS.



THIS PROPERTY LIES WITHIN THE
 100 YEAR FLOOD PLAIN AS PER FIRM
 PANEL NO. 4821C 0670 L
 MAP REVISION: 05/18/2007
 ZONE: AE (FLOODWAY AREA)
 BASED ONLY ON VISUAL EXAMINATION OF MAPS,
 INACCURACIES OF FEMA MAPS PREVENT EXACT
 DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SURFACE INVESTIGATION
 WAS BEYOND THE SCOPE OF THIS SURVEY

RECORD BEARING: VOL. 22, PG. 60, HCAIR

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 ON THE GROUND, THAT THIS PLAT CORRECTLY
 REPRESENTS THE FACTS FOUND AT THE
 TIME OF SURVEY AND THAT THERE ARE NO
 ENCUMBRANCES APPARENT ON THE GROUND,
 EXCEPT AS SHOWN HEREON. THIS SURVEY IS
 CERTIFIED FOR THIS TRANSACTION ONLY AND
 ABSTRACTING PROVIDED IN THE ABOVE
 REFERENCED TITLE COMMITMENT WAS RELIED
 UPON IN PREPARATION OF THIS SURVEY.

EDUARDO V. BARRIENTOS
 PROFESSIONAL LAND SURVEYOR
 NO. 5364
 JOB NO. 09-12213
 NOVEMBER 03, 2008



NOTE: MAY BE SUBJECT TO DEED RESTRICTIONS AND/OR
 ADDITIONAL GOVERNMENTAL BUILDING REQUIREMENTS.



ST. KELLER
 WILLIAMS
 PLATTNER
 AMALIA KAZILAS
 713-621-8001

OLD REPUBLIC
 MARATHA LOVE
 713-626-9220



PRECISION SURVEYORS, INC.

1-800-LANDSURVEY 281-496-1586
 1-800-526-3787 FAX 281-496-1867
 14825 MEMORIAL DRIVE SUITE 8100 HOUSTON, TEXAS 77063

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(May be Modified as Appropriate for Commercial Transactions)

Date: July 23, 2014

GF No. 7214743465

Name of Affiant(s): Rafael Antonio Struve aka Rafael A. Struve

Address of Affiant: 4223 Cannondale Ln., Katy, TX 77450

TR 14, Block 56, River Oaks Subdivision, Section 12, Harris

Description of Property: County

County Harris, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since November 3, 2009 there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

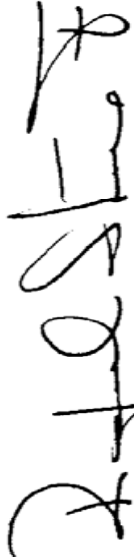
EXCEPT for the following (If None, Insert "None" Below:)

None

5. We understand that Title Company is relying on the truthfulness of the statements

made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.



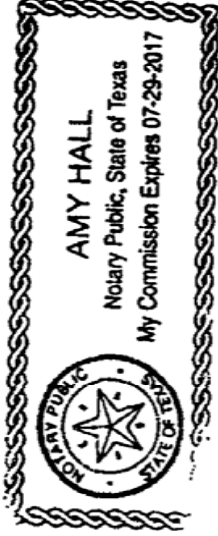
Rafael Antonio Struve aka
Rafael A. Struve

SWORN TO AND SUBSCRIBED BEFORE ME, by the said Rafael Antonio Struve aka Rafael A. Struve, this the 23rd day of July, 2014.

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §



NOTARY PUBLIC STATE OF TEXAS



This instrument was acknowledged before me on this **23rd day of July, 2014**, by Rafael Antonio Struve aka Rafael A. Struve.



NOTARY PUBLIC STATE OF TEXAS

