



TREC REI 7-5

8426 Garden Parks Dr
Houston TX 77075

Marsha Bautista

JANUARY 15, 2020



Inspector
Richard Kinder

Trec #21699
9369339944

2kinspections@gmail.com



Agent

Vanessa Fuentes
Keller Williams Realty Metropolitan
(713) 907-8059
vfuentes@kw.com



PROPERTY INSPECTION REPORT

Prepared For: Marsha Bautista

(Name of Client)

Concerning: 8426 Garden Parks Dr, Houston TX 77075

(Address or Other Identification of Inspected Property)

By: Richard Kinder - Trec #21699

(Name and License Number of Inspector)

01/15/2020 9:00 am

(Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

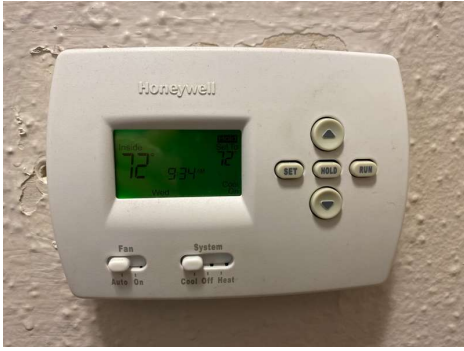
ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

In Attendance: Buyer

Occupancy: Furnished, Occupied

Weather Conditions: Cloudy

Thermostat Settings Upon Arrival:



I	NI	NP	D
---	----	----	---

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

1: Foundation Performance Opinion: Structural Engineer Recommended

▲ Further Evaluation/Attention Needed

The performance of the foundation is determined by the visual movement indicators observed at the time of the inspection. Visual signs that the structural movement is affecting the function of one or more items in and/or on the home was observed. Due to the visual movement indicators observed it is recommended a structural engineer be consulted to further evaluate the foundation and the rate of movement.

Recommendation: Contact a qualified structural engineer.

2: Deterioration/Spalling

⊖ Moderate/Repair Recommended

Deterioration (known as spalling) was observed. Spalling refers to concrete that has become pitted, flaked, and/or broken up.

Recommendation: Contact a foundation contractor.



3: Post Tension Cabel Ends Exposed

⊖ Moderate/Repair Recommended

Exposed post tension cable ends were observed. Post tension cables should be cut flush with the foundation edge and sealed to prevent moisture intrusion. Moisture could enter the stranded cable and wick way further down the cable inside the sheath that surrounds it, causing it to rust and will eventually fail if not corrected.

Recommendation: Contact a foundation contractor.



I	NI	NP	D
---	----	----	---

4: Exposed Rebar

🟡 Moderate/Repair Recommended

Exposed rebar in the foundation was observed. Exposed rebar if left untreated can cause extensive structure damage and may cause the rebar to break away.

Recommendation: Contact a foundation contractor.



B. Grading and Drainage

Comments:

1: Grading and Draining Improvement

🟡 Moderate/Repair Recommended

The soil grade and drainage patterns around areas of the home appeared to be inadequate. We recommend these areas be improved to direct water away from the home.

Recommendation: Contact a qualified grading contractor.

2: Standing Water

🟡 Moderate/Repair Recommended

Standing water was observed on the grading around the home. Improvement to the grading and draining so that the water is properly drained away from the home is recommended.

Recommendation: Contact a qualified grading contractor.

C. Roof Covering Materials

Types of Roof Covering: Asphalt

Viewed From: Roof

Comments:

1: Gutters: Missing

🔧 Minor; Improve as necessary

Either the whole home or areas of the home was not equipped with a gutter and downspout system.

Recommendation: Contact a qualified gutter contractor

2: Deflection, Buckling, Softness And/Or Unevenness

🟡 Moderate/Repair Recommended

Deflection, buckling, softness and/or unevenness was observed on the roof surfaces at the time of the inspection.

Recommendation: Contact a qualified professional.

3: Roofer Recommended

⚠️ Further Evaluation/Attention Needed

Due to the deficiencies observed at the time of the inspection it is recommended a roofing professional be consulted to further evaluate the roof surfaces.

Recommendation: Contact a qualified roofing professional.

I	NI	NP	D
---	----	----	---

4: Surface: Exposed Fasteners

🔧 Minor; Improve as necessary

Exposed fasteners such as staples and/or nails located on the roof surface should be properly sealed.

Recommendation: Contact a qualified roofing professional.

5: Surface: High Fasteners

🟡 Moderate/Repair Recommended

Raised/Lifted fasteners such as staples and/or nails were observed on the roof surface.

Recommendation: Contact a qualified roofing professional.

6: Surface: Raised Shingles

🟡 Moderate/Repair Recommended

Raised/Lifted shingles were observed.

Recommendation: Contact a qualified roofing professional.

7: Surface: Damaged Shingles

🟡 Moderate/Repair Recommended

Damaged shingles were observed.

Recommendation: Contact a qualified roofing professional.



8: Surface: Shingles Granule Loss

🟡 Moderate/Repair Recommended

Some wear and granule loss was observed on areas of the shingles. Granule loss is a sign of wear and could shorten the life span of the roof covering materials. Replacement of shingles with excessive granule loss may be necessary.

Recommendation: Contact a qualified roofing professional.

9: Surface: Voids in Gravel

🟡 Moderate/Repair Recommended

Voids in the gravel was observed on areas of the shingles. Voids in the gravel is a sign of wear in the shingles and could shorten the life span of the roof covering materials.

Recommendation: Contact a qualified roofing professional.

I	NI	NP	D
---	----	----	---

10: Surface: Satellite Dishes

🟡 Moderate/Repair Recommended

Satellite dishes bolted through the roof surface was observed. This configuration is not recommended as these areas could be prone to leaks.

Recommendation: Contact a qualified professional.

11: Surface: Debris

🟢 Minor; Improve as necessary

Debris was observed on areas of the roof surface.

Recommendation: Contact a qualified professional.

12: Surface: Overhanging Tree Limbs

🟢 Minor; Improve as necessary

It is recommended all overhanging tree limbs be trimmed back.

Recommendation: Contact a qualified professional.

13: Flashing: Rust

🟡 Moderate/Repair Recommended

Rust was observed on areas of roof flashing. Rust can eat away at the flashing leaving openings that can allow moisture to enter the structure.

Recommendation: Contact a qualified roofing professional.



14: Flashing: Damaged Roll Flashing

🟡 Moderate/Repair Recommended

Damaged roll flashing was observed at plumbing stacks at the roof level.

Recommendation: Contact a qualified roofing professional.



15: Flashing: Raised Roof Penetration

🟡 Moderate/Repair Recommended

Raised flashing around one or more roof penetrations was observed.

Recommendation: Contact a qualified roofing professional.

I	NI	NP	D
---	----	----	---



D. Roof Structures & Attics

Viewed From: Attic Deck Space

Approximate Average Depth of Insulation: 0-3"

Comments:

1: Loose Debris

Minor; Improve as necessary

Loose debris was observed in the attic structure.

Recommendation: Contact a qualified professional.

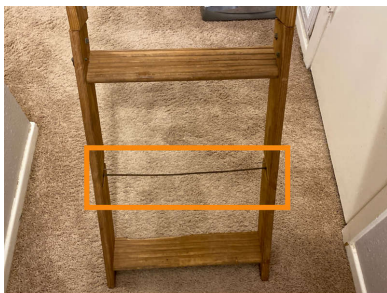


2: Attic Ladder Frame Cracked/Damaged

Moderate/Repair Recommended

The attic access ladder was noted to be cracked, damaged and/or missing members.

Recommendation: Contact a qualified professional.



3: Attic Access Ladder Gaps

Minor; Improve as necessary

Gaps were observed between sections of the attic access ladder. This puts undue stress on the ladder and could eventually cause it to fail.

Recommendation: Contact a qualified professional.

4: Moisture Staining/Damage

▲ Further Evaluation/Attention Needed

Moisture staining/damage was observed on areas of the roof structure. This indicates a previous/present leak has occurred in the roof.

Recommendation: Contact a qualified professional.



5: Rafters Cracked/Damaged

⊖ Moderate/Repair Recommended

Cracked/damaged rafters were observed.

Recommendation: Contact a qualified professional.



6: Rafters Separation

⊖ Moderate/Repair Recommended

What appeared to be separation between roof rafters and the ridge board was observed. This could be an indicator of structural movement. The rafters should make full contact with the ridge board to insure the load is properly transferred.

Recommendation: Contact a qualified professional.



7: Insulation: Low Amount

🔧 Minor; Improve as necessary

Areas of the insulation in the attic were observed to be low. Adding additional insulation should be considered.

Recommendation: Contact a qualified professional.

8: Insulation: Missing

🔧 Minor; Improve as necessary

Areas of the attic was missing insulation. Additional insulation should be added.

Recommendation: Contact a qualified professional.



9: Insulation: Uneven

🔧 Minor; Improve as necessary

Uneven areas of insulation was observed in the attic. We recommend the insulation be properly evened, adding additional insulation may be necessary.

Recommendation: Contact a qualified professional.

10: Soffits/Eaves Loose

🟡 Moderate/Repair Recommended

Areas of the soffits/eaves were observed to be loose.

Recommendation: Contact a qualified professional.



I	NI	NP	D
---	----	----	---

11: Organic Growth

🟡 Moderate/Repair Recommended

What appeared to be organic growth was observed on the interior of the attic structure.

Recommendation: Contact a qualified professional.



E. Walls (Interior and Exterior)

Comments:

Recently Painted:

Areas of the interior walls appeared to have been painted/patched. Painted/patched areas on the interior walls can make it difficult for our inspector to see any deficiencies.

1: Interior Wall Cracks/Fractures

🟡 Moderate/Repair Recommended

Interior wall cracks/fractures were observed.

Recommendation: Contact a qualified professional.



2: Drywall Flaws/Damage

🟢 Minor; Improve as necessary

Damage/flaws to the interior drywall was observed. These areas appeared to be cosmetic and may require drywall repair.

Recommendation: Contact a qualified professional.

3: Drywall Joint Separation

🔧 Minor; Improve as necessary

Drywall joint separation cracks were observed. These cracks are mainly cosmetic.

Recommendation: Contact a qualified professional.

4: Exterior Wall Cracks/Fractures

🚫 Moderate/Repair Recommended

Exterior wall cracks/fractures were observed.

Recommendation: Contact a qualified professional.



5: Deficient Utility Wall Penetration Sealant

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was observed around exterior utility wall penetrations.

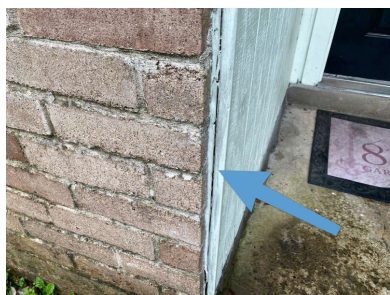
Recommendation: Contact a qualified professional.

6: Deficient Exterior Wall Connection Joint Sealant

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was observed around exterior wall connection joints. It is recommended all joints be properly sealed to prevent moisture intrusion.

Recommendation: Contact a qualified professional.



I	NI	NP	D
---	----	----	---

7: Exterior Gaps And/Or Openings

🔧 Minor; Improve as necessary

We noted gaps and/or openings on areas of the exterior walls of the home. We recommend all gaps and openings be properly sealed to prevent moisture and insects from getting in side of the home.

Recommendation: Contact a qualified professional.

8: Siding/Trim Damaged/Rotted

🟡 Moderate/Repair Recommended

Areas of the exterior siding/trim were observed to be damaged/rotted.

Recommendation: Contact a qualified professional.



9: Deficient Expansion Joint Sealant

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing expansion joint sealant was observed.

Recommendation: Contact a qualified professional.



10: Blocked Weep Holes

🔧 Minor; Improve as necessary

Weep holes (openings in the mortar joints, typically found at foundation level) were observed to be blocked.

Recommendation: Contact a qualified professional.

11: Missing Weep Holes Above Steel Lintels

🔧 Minor; Improve as necessary

Weep holes were not present above all of the exterior steel lintels.

Recommendation: Contact a qualified professional.

F. Ceilings and Floors

Comments:

Ceilings: Painted/Patched:

Areas of the interior ceilings appeared to have been painted/patched. Painted/patched areas on the interior ceilings can make it difficult for our inspector to see deficiencies.

I	NI	NP	D
---	----	----	---

1: Interior Ceiling Cracks/Fractures

✦ Minor; Improve as necessary

Interior ceiling cracks/fractures were observed.

Recommendation: Contact a qualified professional.



2: Ceilings: Patches

✦ Minor; Improve as necessary

Interior ceiling patches were observed. The reason for the ceiling patches was not determined.

Recommendation: Contact a qualified professional.



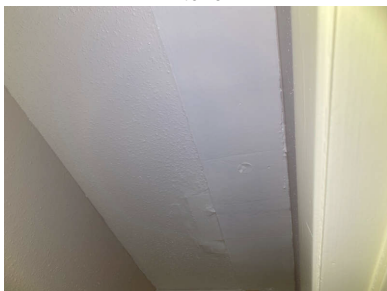
Kitchen



Laundry Room



Office



Closet Bedroom #1; Patch Inadequate

3: Ceilings: Drywall Joint Separation Cracks

✦ Minor; Improve as necessary

Drywall joint separation cracks were observed.

Recommendation: Contact a qualified professional.

4: Ceilings: Nail Pops

✦ Minor; Improve as necessary

Nail pops were observed on the interior ceilings.

Recommendation: Contact a qualified professional.



5: Ceilings: Cracked/Loose Tape Joints In Garage

🔧 Minor; Improve as necessary

Cracked/loose tape joints were observed in the garage ceiling.

Recommendation: Contact a qualified professional.

6: Floors: Slopping

🚫 Moderate/Repair Recommended

Floor slopping/unevenness was observed when the home was walked through. Sloped floors can be a sign of settlement.

Recommendation: Contact a qualified professional.

7: Floors: Garage Slab Fractures/Cracks

🚫 Moderate/Repair Recommended

Fractures/Cracks were observed in the garage slab.

Recommendation: Contact a qualified professional.

8: Ceiling Damage

🚫 Moderate/Repair Recommended

Damage to the interior ceiling was observed.

Recommendation: Contact a qualified professional.



Living Room

9: Ceiling Sag

🚫 Moderate/Repair Recommended

A section of the ceiling in the kitchen & bathroom #1 were observed to be sagging.

Recommendation: Contact a qualified professional.

I	NI	NP	D
---	----	----	---



Kitchen



Bathroom #1

G. Doors (Interior and Exterior)

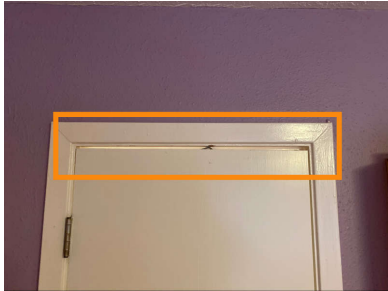
Comments:

1: Out-Of-Square Door Frames

🔴 Moderate/Repair Recommended

Binding, out-of-square, non-latching, warped, and/or twisted doors and/or frames were observed. This can be a sign of structural movement.

Recommendation: Contact a qualified professional.



2: Improperly Latching/Closing

🔵 Minor; Improve as necessary

Laundry Room

One or more doors did not properly latch/close.

Recommendation: Contact a qualified professional.

3: Rubbing Interior Flooring

🔵 Minor; Improve as necessary

Various Locations

One or more doors were observed to be rubbing the interior flooring when operated.

Recommendation: Contact a qualified professional.



Office

I	NI	NP	D
---	----	----	---

4: Damage/Rot At Exterior Door(s)

🟡 Moderate/Repair Recommended

Damage/rot was observed at the base of exterior door entry ways.

Recommendation: Contact a qualified professional.



Back Door

5: Damaged Weather Stripping

🔧 Minor; Improve as necessary

Damaged weather stripping at exterior doors was observed.

Recommendation: Contact a qualified professional.



Back Door

6: Hardware: Loose

🔧 Minor; Improve as necessary

Loose door hardware was observed.

Recommendation: Contact a qualified professional.

H. Windows

Comments:

1: Cracked/Damaged Glazing

🟡 Moderate/Repair Recommended

Cracked/damaged window glazing was observed.

Recommendation: Contact a qualified window repair/installation contractor.



I	NI	NP	D
---	----	----	---

Garage

2: Deficient Window Caulking

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing caulking/sealant was noted around the interior/exterior of the windows.

Recommendation: Contact a qualified professional.



3: Older Windows

🔧 Minor; Improve as necessary

Windows in the home appeared to be older. Older windows may require higher levels of maintenance to insure proper operation is maintained.

Recommendation: Contact a qualified professional.

4: Damaged Stripping

🔧 Minor; Improve as necessary

Damaged stripping on the interior/exterior of windows was observed.

Recommendation: Contact a qualified professional.

5: Window Screens: Missing

🔧 Minor; Improve as necessary

Various windows were missing window screens.

Recommendation: Contact a qualified professional.

6: Window Screens: Damaged

🔧 Minor; Improve as necessary

Various window screens were noted to be damaged.

Recommendation: Contact a qualified professional.

7: Window Sills: Moisture Staining/Damage

🟡 Moderate/Repair Recommended

What appeared to be moisture staining/damage was observed on interior window sills.

Recommendation: Contact a qualified professional.

I	NI	NP	D
---	----	----	---



8: Locking Mechanisms: Broken/Missing

🟡 Moderate/Repair Recommended

Broken/missing locking mechanisms were observed on one or more windows.

Recommendation: Contact a qualified professional.



9: Locking Mechanisms: Not Locking Properly

🔧 Minor; Improve as necessary

Office

The locking mechanisms on one or more windows did not properly lock.

Recommendation: Contact a qualified professional.

10: Did Not Close

🟡 Moderate/Repair Recommended

One or more windows did not fully close.

Recommendation: Contact a qualified professional.



Kitchen

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

I	NI	NP	D
---	----	----	---

1: Dust/lint

🟡 Moderate/Repair Recommended

Dust/lint was observed on the interior of the fireplace flue. Cleaning prior to operation is recommended.

Recommendation: Contact a qualified professional.

2: Missing Storm Collar

🟡 Moderate/Repair Recommended

It is recommended a storm collar be installed on the chimney above the roof line.

Recommendation: Contact a qualified professional.

K. Porches, Balconies, Decks, and Carports

Comments:

1: Deflection/Cracking In Slab

🔧 Minor; Improve as necessary

Some deflection/cracking was observed in the slab.

Recommendation: Contact a qualified professional.



Front Porch



Back Slab

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

1: Electrician Recommended

⚠️ Further Evaluation/Attention Needed

Due to the deficiencies observed in the electrical system it is recommended a qualified electrician be consulted to further evaluate the electrical system. Hidden/unidentified electrical deficiencies may be discovered upon further evaluation.

Recommendation: Contact a qualified electrical contractor.

2: Older

🟡 Moderate/Repair Recommended

The electrical system was observed to be older and did not appear to meet current building standards. Upgrading the electrical system to meet current standards should be considered.

Recommendation: Contact a qualified electrical contractor.

I	NI	NP	D
---	----	----	---

3: AFCI's Not Installed

🔴 Moderate/Repair Recommended

Arc-Fault circuit interrupters (AFCI) devices were not present in all of the required locations. Today's building standards require that AFCI devices be used for all circuits serving family rooms, kitchens, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunroom's, recreation rooms, closets, hallways, laundry areas or similar rooms or areas. Although this may not have been required at the time of construction, it is required practice of today's standards. Older homes not equipped with (AFCI) devices are not required to convert but doing so should be considered.

Recommendation: Contact a qualified electrical contractor.

4: Antioxidant Paste Missing

🔴 Moderate/Repair Recommended

Antioxidant paste should be applied to the main aluminum conductors to improve the efficiency and service life of the aluminum conductors.

Recommendation: Contact a qualified electrical contractor.

5: Cable Clamps

🔴 Moderate/Repair Recommended

Cable clamps (sometimes referred to as bushing or grommets) were missing. Cable clamps should be installed where conductors pass into the electrical panel.

Recommendation: Contact a qualified electrical contractor.

6: Hots not Marked

🔵 Minor; Improve as necessary

White insulator on conductors that are being used as "hots or live" conductors should be properly labeled as such. White conductors being used as anything other than neutral conductors should be properly marked/indicated.

Recommendation: Contact a qualified electrical contractor.

7: Loose/Improperly Set Breakers

🔴 Moderate/Repair Recommended

Loose/Improperly set breakers were observed in the electrical panel.

Recommendation: Contact a qualified electrical contractor.

8: Panel/Dead-Front Rust

🔴 Moderate/Repair Recommended

Rust was observed on the electrical panel/dead-front.

Recommendation: Contact a qualified electrical contractor.

9: Not Label

🔵 Minor; Improve as necessary

The electrical panel was not fully labeled.

Recommendation: Contact a qualified professional.

10: Not Sealed

🔵 Minor; Improve as necessary

The electrical panel located on an exterior wall should be properly sealed.

Recommendation: Contact a qualified professional.

I	NI	NP	D
---	----	----	---

11: Dead-Front Missing Screws

🔧 Minor; Improve as necessary

The panel dead-front was missing fasteners.

Recommendation: Contact a qualified professional.

12: Ground Rod Clamp Improper

🚫 Moderate/Repair Recommended

The clamp attached to the ground rod is the wrong type for this application. The clamp should be a acorn type clamp.

Recommendation: Contact a qualified electrical contractor.

13: Improper Deadfront

🚫 Moderate/Repair Recommended

The deadfront on the electrical panel appeared to be hand made. Replacing the deadfront with a deadfront that conforms with the panel manufacturer is recommended.

Recommendation: Contact a qualified electrical contractor.

14: Latch Broken/Damaged

🔧 Minor; Improve as necessary

The panel latch was observed to be damaged/broken.

Recommendation: Contact a qualified professional.

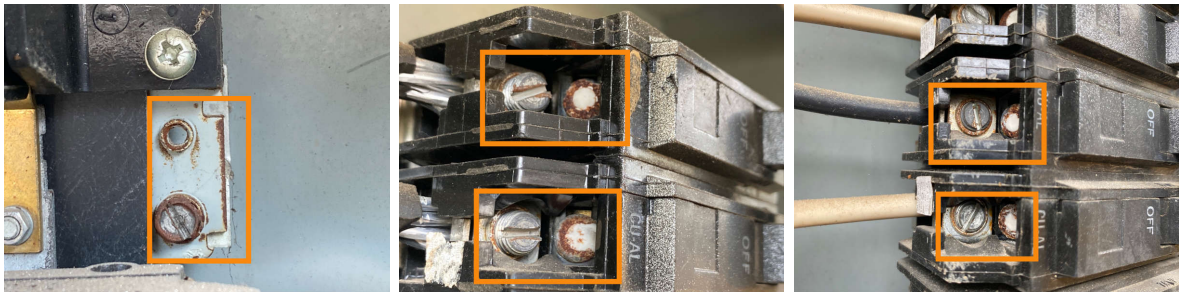


15: Rust On Components

🚫 Moderate/Repair Recommended

Rust was observed on multiple components on the interior of the electrical panel.

Recommendation: Contact a qualified electrical contractor.



16: Buzzing Noise

⚠️ Further Evaluation/Attention Needed

A abnormal buzzing noise was observed at the electrical panel at the time of the inspection.

Recommendation: Contact a qualified electrical contractor.

I	NI	NP	D
---	----	----	---

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

1: Receptacles: Loose Cover Plates

 Minor; Improve as necessary

Loose receptacle cover plates should be properly secured.

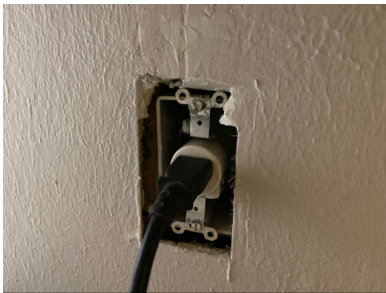
Recommendation: Contact a qualified professional.

2: Receptacles: Missing Cover Plates

 Moderate/Repair Recommended

Missing receptacle cover plates should be replaced.

Recommendation: Contact a qualified electrical contractor.



3: Receptacles: GFCI Did Not Reset

 Further Evaluation/Attention Needed

Bathroom #1

Ground fault circuit interrupters (GFCI) receptacles did not reset after being tested.

Recommendation: Contact a qualified electrical contractor.

4: Receptacles: GFCI Protection

 Moderate/Repair Recommended

The home did not appear to meet current building standards for ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the following locations should be GFCI protected: Bathroom receptacles, garage receptacles, outdoor receptacles, crawls space receptacles, unfinished basement receptacles, kitchen counter top receptacles, within 6' of sinks receptacles, within 6' of bathtub/shower receptacles, laundry areas receptacles, kitchen dishwasher receptacles, boat house receptacles. This is most likely a "as built" condition. Upgrading should be considered.

Recommendation: Contact a qualified electrical contractor.

5: Fixtures & Switches: Ceiling Fans Unbalanced

 Moderate/Repair Recommended

Kitchen, Garage

One or more ceiling fans were observed to be wobbly, unbalanced, and/or loose when operated.

Recommendation: Contact a qualified professional.

6: Fixtures & Switches: Lights Inoperative

 Minor; Improve as necessary

Inoperative lights were observed during the inspection.

Recommendation: Contact a qualified electrical contractor.

I	NI	NP	D
---	----	----	---

7: Fixtures & Switches: Lights Open Incandescent Lights

⊖ Moderate/Repair Recommended

Open incandescent light bulbs were mounted in one or more closets. These types of light fixtures are no longer accepted by the national electrical codes and are considered to be a fire hazard. Replacement of these fixtures with safer types of fixtures with globes would be advised.

Recommendation: Contact a qualified electrical contractor.

8: Smoke Alarms: Not Present

⊖ Moderate/Repair Recommended

Smoke alarms were not present at all of the required locations. Smoke alarms are required in each bedroom, outside each bedroom area and on each additional story, including basement & habitable attics.

Recommendation: Contact a qualified professional.

9: Carbon Monoxide Alarms Missing

⊖ Moderate/Repair Recommended

Carbon monoxide alarms were not observed in current recommended locations. Carbon monoxide alarms should be installed outside of each separate sleeping area in immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

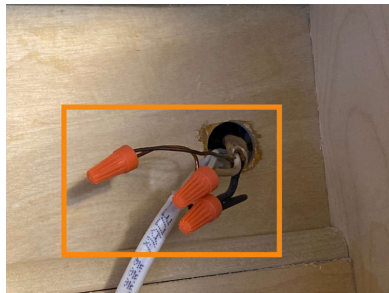
Recommendation: Contact a qualified professional.

10: Improperly Terminated And/Or Loose Conductors

⊖ Moderate/Repair Recommended

Improperly terminated and/or loose electrical conductors were observed. Conductors should be properly secured and terminated in a junction box with a cover installed to protect against potential shock.

Recommendation: Contact a qualified professional.



III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central Forced Air Furnace

Energy Sources: Gas

Comments:

Functioning as intended:

The heating system was tested using normal operating procedures at the thermostat and appeared to be functioning as intended.

I	NI	NP	D
---	----	----	---



1: Flue Height Above Roof Vent

⊖ Moderate/Repair Recommended

The furnace vent did not appear to meet current recommended standards for distance/height to a roof vent.

Recommendation: Contact a qualified professional.

B. Cooling Equipment

Type of Systems: Central Forced Air System

Comments:

Manufacturer Label:



Good Temperature Differential:

A temperature differential test was performed and the cooling system performed within normal ranges (14-22 degrees). A reading of the differential temperature of the supply (ambient) air and the return (vent) air was the test performed, disassembly of the air conditioning system was not performed.



1: Drain Lines: No Trap On Primary Condensate Line

⊖ Moderate/Repair Recommended

A trap did not appear to be installed on the primary condensate drain line. A trap on the primary condensate drain line is recommended by most manufacturers.

Recommendation: Contact a qualified HVAC professional.

I	NI	NP	D
---	----	----	---

2: Refrigerant Line: Deficient Insulation

🟡 Moderate/Repair Recommended

Cracking, deteriorated, damaged, and/or missing insulation was observed on the cooling system refrigerant line.

Recommendation: Contact a qualified professional.



C. Duct System, Chases, and Vents

Comments:

1: Output Registers: Rust

🔧 Minor; Improve as necessary

Rust was observed on output registers.

Recommendation: Contact a qualified HVAC professional.

2: Output Registers: Organic Growth

🟡 Moderate/Repair Recommended

What appeared to be organic growth was observed on various output registers.

Recommendation: Contact a qualified professional.



IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Front Of Property

Location of Main Water Supply Valve : Unable To Locate

Static Water Pressure Reading: 50-60 PSI

Comments:

1: Exterior Faucets: Anti-Siphon Device

🔧 Minor; Improve as necessary

Anti-siphon devices were not installed on one or more of the exterior faucets at the time of the inspection.

Recommendation: Contact a qualified professional.

I	NI	NP	D
---	----	----	---

2: Exterior Faucets: Handle Damaged/Missing

🟡 Moderate/Repair Recommended

One or more exterior faucet handles were observed to be broken/missing. These faucets were unable to be tested/operated.

Recommendation: Contact a qualified professional.



3: Bathtubs/showers: Deficient Sealant Around Plumbing Fixtures

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was observed around plumbing fixtures.

Recommendation: Contact a qualified professional.



4: Bathtubs/showers: Deficient Sealant

🔧 Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was noted in/around bathtubs/showers.

Recommendation: Contact a qualified professional.

5: Bathtubs/showers: Organic Growth

🟡 Moderate/Repair Recommended

What appeared to be organic growth was observed in/on bathtub/shower enclosures.

Recommendation: Contact a qualified professional.



Master Bathroom

I	NI	NP	D
---	----	----	---

6: Shower: Head Leaking

🟡 Moderate/Repair Recommended

The shower head was observed to be leaking when operated.

Recommendation: Contact a qualified plumbing contractor.



Master Bathroom

7: Bathtub Stopper

🔧 Minor; Improve as necessary

Bathroom #1

One or more bathtub stoppers were missing.

Recommendation: Contact a qualified professional.

8: Bathtub Faucet Damage

🔧 Minor; Improve as necessary

The bathtub faucet in bathroom #1 was observed to be damaged.

Recommendation: Contact a qualified professional.



9: Sink Aerator

🔧 Minor; Improve as necessary

The sink in the master bathroom was missing it's aerator.

Recommendation: Contact a qualified professional.

B. Drains, Wastes, & Vents

Comments:

1: Bathtub(s) Drain Slow

🟡 Moderate/Repair Recommended

Bathroom #1

Slow draining bathtubs were observed. This suggest a obstruction may exist.

Recommendation: Contact a qualified plumbing contractor.

C. Water Heating Equipment

Energy Sources: Gas

I	NI	NP	D
---	----	----	---

Capacity: 40 Gallons

Comments:

Manufacturer Label:



Functioning as intended:

Water Temperature Safety Chart

Temperature	Amount of Time to Cause Serious Burn
120°F	More than 5 minutes
125°F	1 ½ to 2 minutes
130°F	Approx. 30 seconds
135°F	Approx. 10 seconds
140°F	Approx. 5 seconds
145°F	Less than 5 seconds
150°F	Approx. 1 ½ seconds
155°F	Approx. 1 seconds

The water heater was observed to be functioning as intended. Adjust the water temperature as needed.



1: Older

🟡 Moderate/Repair Recommended

The water heater appeared to be older. Although operational at the time of the inspection, replacement in the near future may be necessary.

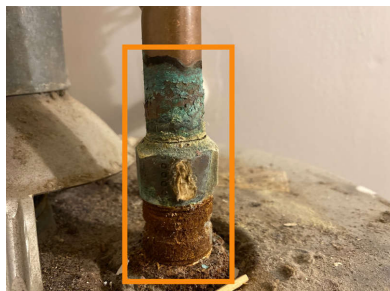
Recommendation: Contact a qualified plumbing contractor.

2: Water Lines: Rust/Corrosion

🟡 Moderate/Repair Recommended

Rust/Corrosion was observed on areas of the water lines at the water heater. Overtime rust/corrosion can eat away at the water lines and cause leaks.

Recommendation: Contact a qualified plumbing contractor.



3: Drain Lines: TPR Improperly Terminated

🟡 Moderate/Repair Recommended

The temperature pressure relief valve drain line was observed to be improperly terminated. This issue could pose a safety hazard if not corrected.

Recommendation: Contact a qualified plumbing contractor.

4: Drain Pan: Not Installed

🟡 Moderate/Repair Recommended

A safety pan and drain line was not present under the water heater. A safety pan should be installed to prevent potential damage to the structure from occurring if the water heater begins to leak.

Recommendation: Contact a qualified professional.

5: Flue: Clearance Inadequate

🟡 Moderate/Repair Recommended

The water heater flue was observed to be installed too close to combustible materials. It is recommended the water heater flue have a 1 inch clearance from combustible materials.

Recommendation: Contact a qualified professional.

6: Flue: Loose

🟡 Moderate/Repair Recommended

The water heater flue was observed to be loose/not properly secured. A loose flue could result in dangerous/improper venting.

Recommendation: Contact a qualified professional.

7: Gas Supply: Gas Sediment Trap

🟡 Moderate/Repair Recommended

A gas sediment trap was not installed on the gas line leading to the furnace. A gas sediment trap collects condensation and debris.

Recommendation: Contact a qualified professional.

8: Flue Misaligned

🔴 Further Evaluation/Attention Needed

The flue at the water heater was observed to be misaligned. This issue could pose a safety hazard.

Recommendation: Contact a qualified professional.

I	NI	NP	D
---	----	----	---



9: Missing Storm Collar

🟡 Moderate/Repair Recommended

A storm collar should be installed on the water heater flue above the roof line.

Recommendation: Contact a qualified professional.

10: Flue Height Above Roof Vent

🟡 Moderate/Repair Recommended

The water heater vent did not appear to meet current recommended standards for distance/height to a roof vent.

Recommendation: Contact a qualified professional.

D. Hydro-Massage Therapy Equipment

Comments:

V. APPLIANCES

A. Dishwashers

Comments:

Functioning as intended:

The dishwasher was operated and appeared to be functioning as intended.



B. Food Waste Disposers

Comments:

C. Range Hood and Exhaust Systems

Comments:

1: Corrugated Flex Vent

🟡 Moderate/Repair Recommended

The corrugated flex vent for the range hood is not permitted for kitchen exhaust fans. The vent should be a solid smooth core vent.

Recommendation: Contact a qualified appliance repair professional.

I	NI	NP	D
---	----	----	---

2: Not Operating Adequately

🟡 Moderate/Repair Recommended

The range hood did not appear to be operating adequately at the time of the inspection.

Recommendation: Contact a qualified professional.

D. Ranges, Cooktops, and Ovens

Comments:

Burners: Functioning as intended:

The burners were operated and appeared to be functioning as intended.



Oven: Functioning as intended:

The oven was tested at 350 degrees and read within the acceptable 25 degree range, in my opinion the oven appeared to be functioning as intended.



1: Oven: Missing Anti-Tip Device

🟡 Moderate/Repair Recommended

A anti-tip device was not installed on the oven. A anti-tip device provides protection when excess force or weight is applied to the front of the oven, preventing the oven from tipping over. Installing a anti-tip device is recommended for increased safety.

Recommendation: Contact a qualified appliance repair professional.

E. Microwave Ovens

Comments:

Functioning as intended:

The microwave was functioning and appeared to be functioning as intended.



I	NI	NP	D
---	----	----	---

1: Dirty

 Minor; Improve as necessary

The microwave was observed to be dirty.

Recommendation: Recommended DIY Project

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

1: Not Present In Bathroom(s)

 Moderate/Repair Recommended

One or more bathrooms are not equipped with mechanical exhaust vents. Under current building standards, all bathrooms are required to have mechanical exhaust ventilation. This is most likely a "as-built" condition.

Recommendation: Contact a qualified professional.

G. Garage Door Operators

Comments:

H. Dryer Exhaust Systems

Comments:

1: Dirty

 Further Evaluation/Attention Needed

Lint build-up was observed in the dryer exhaust vent. This issue could pose a fire/safety hazard. The dryer exhaust vent should be cleaned periodically.

Recommendation: Contact a qualified professional.