

Acadian Home Inspection LLC



4042 Wilderness Falls Trail
Kingwood, TX 77339

Acadian Home Inspection LLC

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Kingwood, TX 77339

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PROPERTY INSPECTION REPORT

Prepared For: Ron Nelson
(Name of Client)

Concerning: 4042 Wilderness Falls Trail, Kingwood, TX 77339
(Address or Other Identification of Inspected Property)

By: Thomas Christopher Duhon, Lic #10577 04/13/2020
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous

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<http://www.trec.texas.gov>.

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR
Acadian Home Inspection LLC, 4919 Creek Shadows Dr, Kingwood TX 77339**

Acadian Home Inspection LLC. BUILDING INSPECTIONS REPORT IMPORTANT TERMS, LIMITATIONS, DISCLAIMERS, AND INFORMATION

1. Company's State Licensed Professional Inspectors perform their inspections and provide written reports according to the standards established by Rule 535.227-535.231 (Standards of Practice) of the "Rules Of The Texas Real Estate Commission" pertaining to the licensing of Real Estate Inspectors. We report whether each item inspected in performing the function for which it was intended. We perform our inspections in a good and workmanlike manner. If Customer has any questions, we will explain what we saw about the item. WE INSPECT ONLY THOSE ITEMS LISTED ON THE INSPECTION REPORT AND ONLY THE PRESENT OPERATION OR CONDITION OF THOSE ITEMS

2. COMPANY DOES NOT MAKE GUARANTEES. WARRANTIES, OR REPRESENTATIONS, NOR DO WE INSURE THE FUTURE PERFORMANCE OR CONDITION OF ANY ITEM. IF CUSTOMER WANTS A WARRANTY, GUARANTEE, OR INSURANCE POLICY, CUSTOMER MUST PURCHASE IT FROM A RESIDENTIAL SERVICE COMPANY OR INSURANCE COMPANY. Please remember that almost every item in any house, except a new one is in used condition and has ordinary wear and tear. Company does not hold its inspectors out to be specialists for any particular item. We do not give estimates of the cost to repair any item. We will not make any recommendations regarding the value of the structure or whether or not the structure should be purchased.

3. If we report that there are plumbing issues that need correction, then customer should have a licensed plumber inspect and make necessary changes. If we report there are electrical issues that need correction, then customer should have a licensed electrician inspect and make any necessary changes.

4. IMPORTANT: IF YOU HAVE ANY PROBLEM REGARDING THIS INSPECTION, YOU MUST NOTIFY US AND LET US REINSPECT BEFORE CHANGING THE CONDITION OF THE PROBLEM, OTHERWISE ALL CLAIMS FOR DAMAGE ARISING OUT OF SUCH COMPLAINTS ARE WAVED BY YOU.

5. IF WE REMARK ABOUT AN ITEM AS "IN NEED OF REPAIR," CUSTOMER SHOULD, PRIOR TO PURCHASING THE STRUCTURE, HAVE THAT ITEM EXAMINED BY A SPECIALIST NOT EMPLOYED BY ACADIAN HOME INSPECTION LLC. AFTER PROPER REPAIRS HAVE BEEN MADE BY A SPECIALIST, CUSTOMER SHOULD HAVE THAT SPECIALIST PROVIDE DOCUMENTATION OF REPAIRS MADE AND FULL WRITTEN REPORT OF THE COMPLETE SYSTEM. The Specialist should be trained and qualified persons who are, whenever possible, manufacturer-approved service persons and who are licensed or bonded whenever such license or bond is required by law.

6. IF STRUCTURE IS LESS THAN THREE YEARS OLD, CUSTOMER SHOULD OBTAIN INFORMATION REGARDING FILL PLACEMENT AND FOUNDATION SPECIFICATIONS. CUSTOMER SHOULD CONSULT WITH A STRUCTURAL ENGINEER TO CONFIRM THAT THESE SPECIFICATIONS CONFORM TO ACCEPTABLE ENGINEERING PRACTICES.

7. VACANT HOUSES: The following items are common problems found after a house has

been vacant and Company will not be responsible for: (1) Sewer and drain lines stopping up. (2) Seals, or washers drying out and causing leaks in plumbing fixtures. (3) Garbage disposal locking up. (4) Gas water heaters and gas furnaces - the thermocouples (pilot generators) may fail if gas has been turned off. (5) It is important to follow the foundation maintenance and monitoring programs outlined in the "Guide to Foundations Maintenance." This applies to all houses whether vacant or not. OTHERWISE. FOUNDATION PROBLEMS CAN EASILY DEVELOP IN A VERY SHORT PERIOD OF TIME. We recommend inside and outside plumbing be winterized by appropriate specialists not employed by Acadian Home Inspection LLC on vacant houses during potential periods of freezing weather conditions.

8. Customer agrees that any damages for breach of this contract or report are limited to the amount of the inspection fee. CUSTOMER AGREES THAT ANY CONTROVERSY OR CLAIM BETWEEN CUSTOMER AND ACADIAN HOME INSPECTION LLC ARISING OUT OF OR RELATED TO THE INTERPRETATION OF PERFORMANCE OR BREACH OF ANY OF THIS AGREEMENT SHALL, IN GOOD FAITH, MEDIATE BEFORE FILING SUIT FOR DAMAGES. If customer sues on this contract, but does not prevail, customer agrees to pay Company's reasonable attorney's fees.

9. THE FACT THAT ANY ONE PORTION OF THIS AGREEMENT MAY BE INVALID SHALL NOT AFFECT THE VALIDITY OF THE OTHER PART OF THIS AGREEMENT. Customer understands that this Agreement, the descriptions above, below and on the inspection report all together makeup the complete Agreement with the Company and that this Agreement may not be changed in any way by any representative of the Company or Customer unless it is changed in writing and signed by an officer of the Company. No representation or inducements have been made to the Customer except what is written in this Agreement. Only these written items will bind customer and the Company.

10. Any event of waiver by Company of any right herein shall not constitute a continuing waiver or subsequent waiver of other rights. This report constitutes the sole and only Agreement of parties hereto and supersedes any prior understanding or written or all Agreements between the parties respecting the subject matter within. Customer agrees not to purchase the structure unless Customer understands this complete Agreement and any attachments and recommendations.

11. Customer waives the property condition addendum. Customer has read and understands and by accepting this Report. or relying on items in any way expressly agrees to the Agreements and Limitations herein. Customer will not allow anyone to use or rely on this report without prior written consent from Acadian Home Inspection LLC.

12. Pictures provided are not of every defect found at house and are not to indicate any higher level of importance or to imply thereof and should be considered as an example of comment made by inspector. All pictures are placed on inspection report at inspector's discretion.

THERE ARE SOME PARTS, COMPONENTS, AND SYSTEMS WHICH WE DO NOT INSPECT OR REPORT ON BECAUSE OF ONE OR MORE OF THE FOLLOWING REASONS: 1. THE STANDARDS ESTABLISHED IN RULE 535.227-535.231 OF THE "RULES OF THE TEXAS REAL ESTATE COMMISSION" PERTAINING TO THE LICENSING OF REAL ESTATE INSPECTORS DOES NOT REQUIRE INSPECTORS TO INSPECT ANY PART, COMPONENT, OR SYSTEM WHICH IT LISTS AS A SPECIFIC LIMITATION OR WHICH IT LISTS IN SUBSECTION (h) AS AN OPTIONAL INSPECTION. 2. WE ARE NOT QUALIFIED TO INSPECT THE ITEM. 3. THE ITEM IS INACCESSIBLE. 4. THE CUSTOMER HAS AGREED THE ITEM SHOULD NOT BE INSPECTED. 5. THE ITEM COULD NOT BE INSPECTED DUE TO THE CIRCUMSTANCES BEYOND THE CONTROL OF THE INSPECTOR OR ENGINEER PERFORMING THE INSPECTION. THESE ITEMS WHICH WE DID NOT INSPECT UNLESS WE SPECIFICALLY REPORTED THEM ARE AS FOLLOWS:

A. Any part, component, or system which we are not required to inspect according to Rule 535.227-535.231 (Standards of Practice) of the "Rules Of The Texas Real Estate Commission" pertaining to

the Licensing of Real Estate Inspectors, which include but are not limited to specific limitations in subsections (e)-(h) or items listed in subsection (h) as an Optional inspections. B. Thermal windows other than those fogging at the time of inspections. C. Temperature and pressure relief valves. D. Cosmetic features of any item. E. Any Item we cannot see in a normal inspection i.e.: We do not move furniture, insulation, rugs, paintings, or appliances. We do not uncover buried pipes or items we cannot see which wall or floor coverings cover. F. Appliances (other than those specified). G. Swimming pool or sprinkler system when outside temperature is below 32° degrees. H. Pool Sweep. I. Fences and gates. J. HVAC other than built-in units. K. Flood plain location. L. Roof decking and composition over wood or wood over composition constructions. M. Alarms. N. Hidden damage to heat exchangers O. Operation of gutter, French drains and area drains.

Information provided on inspection report that inspector considers as in immediate concern or is in need of repair/adjust/replacement in a more timely manner will be highlighted in blue. These highlight comments are in the inspector's opinion, however entire report should be read by purchaser and understood. All questions in regard to this report should be directed to inspector.

House was built in 1990 and is approximately 2476 square feet. House faces south for inspection purposes.

Ambient temperature: 54° Weather: Partly Cloudy

I=Inspected

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I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab

Comments:

Cable post-tensioned slab on grade present. No visible differential movement noted at interior or exterior of house. Slab integrity appears stable and slab appears to be performing as intended at this time.

Corner cracks visible at one or more corners of exterior foundation. These are common and usually do not indicate a foundation problem. However, non-repaired corner cracks could lead to brick separations or loosening over time at corner areas.



Areas with high soil or cover by concrete/wood can limit inspection of exterior foundation wall(s).

B. Grading and Drainage

Comments:

High soil levels noted at north side of home exterior at foundation wall. These conditions could be conducive for moisture back-up or wood destroying insects.

Keep soil lowered at least 3-4" below top of slab and graded away from foundation across back and down sides of house and garage to the street for positive drainage.



What appears to be a low area is noted at north and east exterior. If water stands for over 48 hours, or does not flow to street, contact landscaping company to determine if

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yard needs regrading at swales or elsewhere or otherwise corrected, possibly with French drains, to facilitate proper drainage away from house, across back and to the street.



French drains noted at backyard and courtyard. Recommend buyer monitor these drains to ensure proper drainage during or after rainfall. Properly clean al drain basins (courtyard) and/or properly secure/replace loose or damaged grates, as needed.



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C. Roof Covering Materials

Types of Roof Covering: Composition Asphalt Shingles

Viewed From: Walked

Comments:

Roof appears to be a 25-30 year class A composition shingle with average wear for age and no leaks noted at this time.

As needed, remove debris such as leaves, branches, pine needles....etc from roof covering at exterior to prevent premature aging or excessive wear on composition shingles.

Note: It is not recommended a satellite dish be mounted at roof covering. Bolts/screws/base should be properly sealed if so.

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D. Roof Structures and Attics

Viewed From: Attic

Approximate Average Depth of Insulation:0-10"

Comments:

Conventional framed rafters and joists with purlin system.

Common rafters have greater than ¼" gap at peak ridge board. Install minimum 3' (2 x 6's or 2 x 8's) at rafters run flush and toe-nailed to ridge board to correct.



Adjust/repair or replace garage attic ladder at spring/hinge to close tight and securely at frame.



Regular screws are only to be used to temporarily hold attic ladder in place. The ladder is to be permanently secured to the frame, either with ¼" x 3" lag screws, #10 d or #16 d nails, as per manufactures specifications.

Recommend installing foil backed foam board behind ladder rungs to reduce heat gain from attic and A/C loss to attic.

Recommend sealing around ladder with foam strip insulation to reduce air loss to attic.

Batt and or blown insulation – approximately R-19 to R-30. Insulation appears adequate; however no insulation tag was present in attic as required to disclose R-value of insulation, how much insulation was installed, or what company installed insulation. Redistribute/install insulation evenly in attic above/beside all air conditioned spaces as needed for better energy efficiency.

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Peak ridge, power fan, and soffit venting appears sufficient for attic ventilation.

In multiple areas at roof peak(s) where peak ridge vent are installed may have insufficient air flow due to roof decking not cut or too close to peak ridge board. Roof decking at peak(s) with peak ridge venting should be cut back 1" to 2" on each side of peak ridge board for proper exhausting, per manufacturers specification.



Power fan noted at north side of attic did not operate when activated and is in need of repair. South side attic fan noted as too high in attic to test.



E. Walls (Interior and Exterior)

Comments:

Exterior material: Brick.

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As is standard in new home construction, recheck for and seal around all exterior wall penetrations, as required when home was built or recommend as per current standard around all outlets, conduit, J-boxes, panel box, main panel, electric meter, electric gutter box, A/C disconnect, A/C flashing box, foam spray where A/C lines enter flashing boxes, exhaust vents, CATV / CAT5E cable, doorbell, drain lines, clean-outs coach / jar lights, etc. at exterior siding, brick, stucco, and stone walls.



Seal and paint exterior siding/trim at nail heads, overlap edges, butt joints, separations, vertical joints... etc. to prevent water penetration at dings, scuffs and holes to extend life.



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Mortar/stair step cracks and/or voids noted at multiple areas around brick exterior. These appear to be cosmetic and not structural in nature and can be repointed if buyer desires.



Properly seal expansion joints where gaps are noted at brick exterior walls, as needed.



Install weep holes, required since 1992, at brick above lintels at maximum of 33" spacing above windows, entrance / exit jambs, garage overhead door jambs and elsewhere where lintels noted. Weep holes are also needed at lower course of bricks at exterior brick columns.

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Area of minor deterioration is noted at south side of exterior trim/fascia. All deteriorated areas should be properly repaired and sealed, as needed, to prevent moisture penetration.



Note: West side of home was inspected on a limited basis due to it being on neighbors property.



Stucco at all sides of exterior chimney are noted as having cracks and/or separations and are in need of proper sealing to prevent moisture penetration. Keep all corners, walls, and joints sealed to prevent water penetration with an elastomeric caulk or other approved material. Keep stucco sealed and painted at cracks / gouges at all times.

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Home appears to be freshly painted at some or all areas. This can conceal defects and evidence of current or previous problems with home.

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F. Ceilings and Floors

Comments:

Water stains were noted at entry hall, mechanical closet, and master bedroom ceilings. These appear to be from previous roof/plumbing leaks and do not appear to be active. However buyer should routinely monitor these areas for worsening of staining or other changes until an active leak can be completely ruled out.



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G. Doors (Interior and Exterior)

Comments:

Door stops should be properly installed as needed throughout house.

Adjust / repair master closet door as necessary to align, not bind at jambs, and to latch properly at strikers including adjusting at striker plates to reduce play at jamb stop.

Door to garage should be self closing, as is currently required.

Wood deterioration noted at lower exterior jambs/trim at study exterior door. Door trims/jambs should be properly repaired to prevent moisture penetration and further deterioration.



Double key deadbolt locks are no longer allowed in construction in new standards. They are considered an impediment to emergency egress for fire safety and/or escape after intrusion.

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H. Windows

Comments:

Note: Double pane, low reverse E, vinyl windows noted for energy efficiency.

This company does not check for safety glass. A professional window/glass company should be consulted if buyer desires.

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

Metal wood burning firebox/flue with gas logs, ceramic inserts, and a tile face and apron noted.

Keep damper open at least 2" or install clamp to keep damper open, for ventilation when gas log is in use.

K. Porches, Balconies, Decks, and Carports

Comments:

L. Other

Comments:

Vegetation, plants, bushes, trees need cut back at least 3' from roof exposures lowered and cut back at least 1' from around house and/or garage including vines for observation of exterior walls / overhang and slab to reduce conducive conditions for wood destroying insects and to protect and extend life of exterior from weathering.

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Multiple area of deterioration or damage noted at backyard perimeter wooden fence. Recommend replacing all deteriorated or damaged fence boards, structural members, posts, gate hardware...etc. The fence is not a structural component of the home.



It is not uncommon for occupied / unoccupied homes to have some interior and exterior walls and windows in house/garage obscured from view and inspection structurally and mechanically due to wall covers, stored items, debris, window treatments, boxes, clothing, and furnishings, etc. Recommend visually rechecking interior and exterior walls and electrical/plumbing for defects or deficiencies when home is vacated and or obstructions are removed.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Square D 125 amp main panel box with 2/0 aluminum feeder wire, also an ITE sub-panel noted at north exterior.

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AFCI breakers are not noted at all living areas where required, per current electrical code, however these were not required when home was built.

Aluminum feeder wire should have been anti-oxidant treated prior to installation at main lugs.

Label white 220V neutral wire red or black to denote neutral wire is being used as a "hot" wire at double pole breaker.

Label breakers as to function in panel box.

Separate neutral and ground wire to neutral and ground buss bars. Also be sure neutral wire is not double lugged at neutral buss slots and use all open slots at ground buss before double lugging if necessary.

No conduit connector bond from meter to panel box noted, which was not required when home was built.

A currently required (since 2011 NEC) 2nd ground rod at least 6' from 1st rod at grade bonded to 1st rod or panel box is not present, however was not required when home was built. An inter system bonding point is not noted at ground wire and ahead of ground rod clamp and was not required when home was built.

Neutral and ground bus bars should not be bonded at sub panels.

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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Replace any facesplates or switchplates that are damaged or missing, as well as secure any loose receptacles or switches at walls throughout home, as needed.

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GFCI receptacle noted at north east exterior wall, master closet, and north exterior wall did not trip/reset when tested and is in need of proper replacement.



Not all receptacles at home were GFCI protected where currently required (all that can serve kitchen countertops, all at garage interior, exterior, dishwasher, pool house interior, and laundry room). Recommend installing GFCI protected receptacles as per current electric code at all receptacles in kitchen at counter tops, bathrooms, bars, exterior, utility/laundry rooms (adopted in 2014), dishwasher (adopted in 2014), all at exterior of home, and all in garage for safety.

Install interconnected smoke detectors at all bedroom interiors as well as one within 15' of bedroom entrances as per current fire code, as well as at least one at floors that don't have bedrooms. Buyer should be sure to check all existing smoke detectors at home upon moving in for proper function and battery life. Also recommend installing carbon monoxide detectors at each floor, if not present. Smoke detectors are not always tested due to possibility of connection to security system.

Recessed "can" lights noted in attic are in contact with insulation. All recessed lights noted for non-contact with insulation should have insulation adjusted at a minimum 3" from contact with fixture housing and J-box.

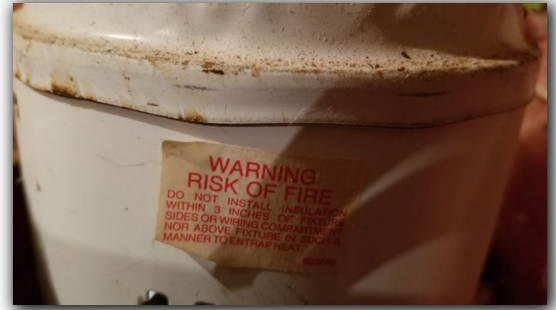
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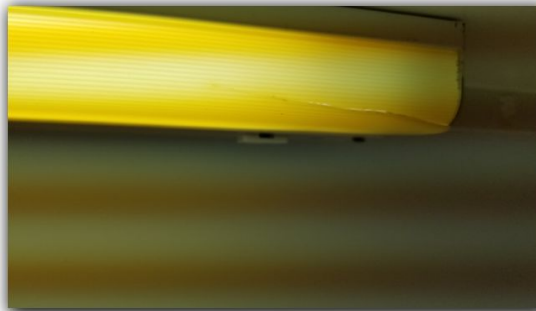
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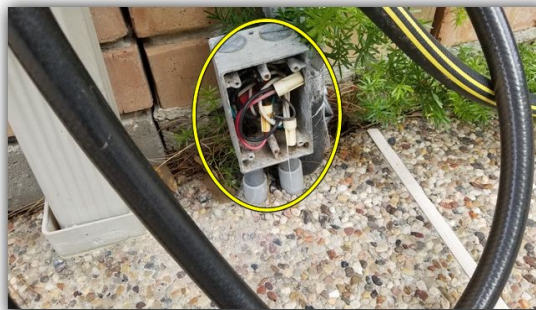
Recommend replacing clothes dryer 3 prong receptacle to currently required 4 prong receptacle.

Recommend replacing exterior receptacle covers with currently approved bubble type covers.

Install globes at all light fixtures where noted as broken or missing, as needed.



Open wire splices/ends are to be properly installed in approved J-box's and/or capped as needed at north east exterior wall.



All backyard receptacles at spotlights did not show power when tested and are in need of repair.

Ceiling fans noted at breakfast room, study, south bedroom, and master bedroom are needing balancing at blades.

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Lights at backyard exterior (ground spotlights) were not operable when activated. Replace bulbs and recheck for proper operation. Lights on photocells may not be operable until night time. Landscape lights are not inspected by this company. Could not verify gas/water lines being bonded as is presently required.

Front doorbell appears to be performing as intended at this time. (WiFi functions are not inspected if applicable).

All electrical repairs listed in report or otherwise noted during estimate of repairs should be made by a qualified licensed electrical contractor, as per code and safety.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

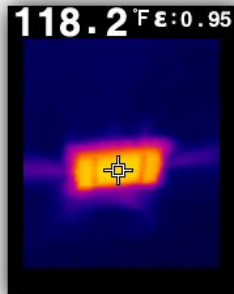
Type of Systems: Central

Energy Sources: Natural Gas

Comments:

Trane 100,000 BTU unit (2006) noted at attic space and appears to have a proper raise in temperature to efficiently heat home at this time.

Visual inspection of exchanger(s) performed without dismantlement of exchanger. No obvious air loss, flame movement, carbon based fumes, or excessive rust noted at this time.



Seal all daylight gaps noted at furnace flue roof penetration(s) to prevent moisture penetration.



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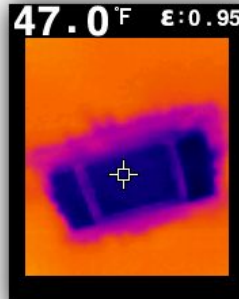
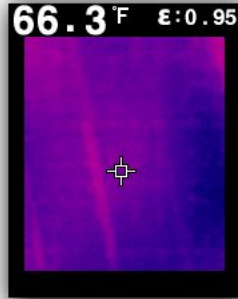
B. Cooling Equipment

Type of Systems: Central - Air Conditioner

Comments:

Trane 60,000 BTU unit (2006) noted at north exterior. Cooling coils: Trane (2006)
A/C appears to have proper temperature drop across coil and/or to rooms at registers to cool sufficiently at this time.

Plenum: 47° Return: 66° Difference: 21°



Remove all debris including rust at A/C emergency drain pan(s) to prevent possible restrictions forming at drain line. Recommend pans showing excessive rust be properly replaced.



Also, due to exterior ambient temperature, systems may not have been properly evaluated for performance, or given a true and accurate temperature drop across coils. When temperature is above 65 degrees, recommend having a licensed A/C tech service and inspect system for gaps, restrictions and other defects, including Freon level, cleaning of coil(s), etc., for proper cooling and for balance of air.

Note: Location of emergency drain line termination(s);

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I	NI	NP	D
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C. Duct Systems, Chases, and Vents

Comments:

Install insulation or other approved material between ducts coming in contact with one another to prevent possible condensation forming as needed in attic. A/C duct work should be strapped up off of floor with 1 ½ " straps at no more than 4' intervals, ½ " or less sag, per foot, between straps and three straps per turn without crimping and restricting duct work around or over framing.



Double filtering (filters at returns and at media filter housing in attic) reduces airflow, reduces life and efficiency of compressor, as well as cooling of house and increases cost of operation. Recommend removing return grate filters throughout home or media filter at system in attic.



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IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front yard

Location of main water supply valve: Half bathroom cabinet interior

Static water pressure reading: 55 PSI

Comments:



Recommend insulating all exposed copper water supply lines in attic, including at water heater and on exterior of house.

Non-sealed escutcheons at shower walls at all bathrooms should be caulk/sealed to prevent moisture penetration. Such as shower arm escutcheons, tub spouts, faucet controls..etc.



Caulk, grout caulk, or grout, as needed, all cracks at all bathroom shower wall/ tub surround corners, at tub, at ceiling, curbs, steps, and between tiles to prevent moisture penetration.

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Hot knob at left sink in master bathroom is noted as leaking and is in need of repair.



Anti-siphon valves are not noted at bibs; need to be installed.

All plumbing repairs listed in report or otherwise noted during estimate of repairs should be made by a qualified licensed plumbing contractor, as per code and safety.

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B. Drains, Wastes, and Vents

Comments:

All drains appear to be performing as intended at this time with no leaks noted.

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I	NI	NP	D
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C. Water Heating Equipment

Energy Sources: Natural Gas

Capacity: 50 gallons

Comments:

Rheem unit (2015) noted at garage mechanical closet interior.

Unit appears functional with average deposits and noise for age.

Currently it is recommended to have a drain pan with drain line terminating to exterior at units located on the first floor.

A B-type flue, with minimum 1" clearance to combustibles (decking) and strapped between rafters for stability, at roof jack in attic, run at least 1' above roof through roof jack with B-cap and collar should be installed with a minimum 5' length of flue from water heater to terminate above roof.



A flex line is improperly installed at temperature and pressure valve drain line. Properly reinstall 3/4" CPVC, copper, or other approved smooth material at temperature and pressure line from temperature and pressure valve removed through wall to exterior with a non-threaded elbow within 6" to 2' above grade or other approved termination.



D. Hydro-Massage Therapy Equipment

Comments:

Pump/motor, aerators, jets, switches,- all appear operable, with no leaks noted at interior floors, walls, and/or exterior of foundation.

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I NI NP D

There should be a dedicated GFCI for the master bath whirlpool tub and protected from a GFCI for the master bath or other bathroom outlets.

E. Other

Comments:

Sediment traps are not noted at furnace or at water heater gas lines as required by manufacturer specifications.

If gas clothes dryer is not used at utility room, gas valve should be properly capped/plugged for safety.



V. APPLIANCES

A. Dishwashers

Comments:

GE unit appears to be performing as intended at this time.

Soap door would not stay closed when operated.

Dishwasher not securely anchored in cabinet.

B. Food Waste Disposers

Comments:

ISE unit appears to be performing as intended at this time.

C. Range Hood and Exhaust Systems

Comments:

Jenn-Air variable speed unit appears to be performing as intended at this time.

Flex flue is noted from transition in cabinet over vent hood into attic or wall which is not proper. The flue vent should be hard flue from the transition through roof or wall and terminate properly to exterior of house. Recheck for proper installation, operation, and exhausting when repaired. Buyer may want to check with manufacturer for flue installation specifications.

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East exterior vent termination is noted as damaged and is in need of repair/replacement.



D. Ranges, Cooktops, and Ovens

Comments:

Jenn-Air gas cooktop noted. Front left burner would not auto-ignite when activated.

GE electric oven unit appears to be performing as intended at this time.
Oven temperature 340° at 350°.

E. Microwave Ovens

Comments:

GE unit with turntable appears to be performing as intended at this time.
No excessive leaks at microwave noted while being tested with microwave leak detector, at time of inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

All bathroom/laundry units appear to be performing as intended at this time. Some or all units are exhausting to attic space and/or overhang which was approved when home was built. Currently all exhaust vents are to exhaust to exterior through approved roof/wall terminations.

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G. Garage Door Operators

Comments:

Two Blue Max units appear to be performing as intended at this time.

Electric eyes are required to be within 6" of garage slab or apron at door tracks or jambs. Eyes noted as not present.

H. Dryer Exhaust Systems

Comments:

Recommend sealing flue at underside of roof penetration to prevent dryer lint from falling back into attic space. Due to proximity of gas fueled appliance, accumulation of dryer lint in attic space could result in possible fire hazard.



I. Other

Comments:

Amana refrigerator with ice maker unit appears to be performing as intended at this time.

Fridge: 32°

Freezer: 10°

LG clothes washer and LG electric clothes dryer units appear to be performing as intended at this time.

Whirlpool ice maker unit was not tested due not working, per seller.

MHP natural gas grill noted at backyard. Auto-ignite feature did not work, however all burners appear to be functional when manually lit.

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

Inspected in manual mode only. Type control: Hunter at garage interior. Rain sensor noted at exterior fascia.

System appears to be performing as intended when operated in manual mode only.

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Total stations present/active:1-5



Cannot locate backflow prevention device, which is currently required.

Missing and/or broken head noted at station 1.



It is recommended buyer observe sprinkler head spray patterns when in use and adjust for optimal coverage without directly spraying on any exterior surface of house. Buyer should also have all exposed piping insulated to avoid potential freeze damage. All repairs should be performed by a licensed irrigation company.

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction: Gunite - Plaster surface

Comments:

Given the backyard has a swimming pool, the gate to the yard should be self-closing and its exterior latch should be a minimum 54 ½ " above the ground. In addition, all windows and doors that access the backyard should have alarms that are audible throughout the home for (30) seconds, when opened.

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I NI NP D

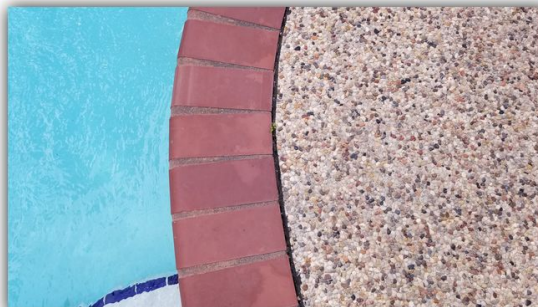


Pool surface material appears to be performing as intended at this time with average wear for age. Estimated approximately 3/4 through life expectancy.

Remove all debris collected at skimmer baskets.



Recommend sealing all voids and cracks at exterior decking and/or pool coping/tile with grout, elastomeric caulk, or other approved material, as needed. Multiple locations noted as having broken or missing tile and are in need of repair. Uneven decking noted at north side of pool, which is recommended to be properly repaired to prevent tripping hazard.



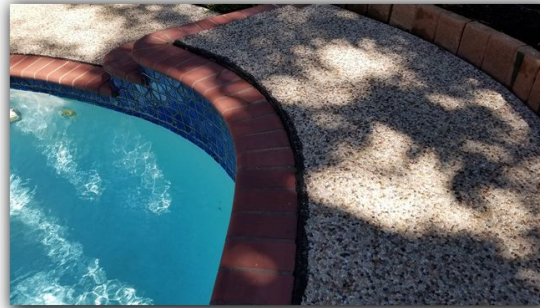
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Nautilus DE filter unit appear to be performing as intended with no leaks noted at this time.

Bubbles noted coming from return jets at pool walls. This can indicate leak at plumbing and it is recommend having a professional pool maintenance/repair company evaluate and make repairs, as needed.



Recommend labeling all exposed piping at equipment area for identification.

Pool equipment needs external grounds bonded and properly grounded.

Pool lights are noted as working, however are in need of installation/repair so they are on a GFCI protected circuit.

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Outlet(s) are noted within the currently required distance of minimally 10' from pool.

Minimum 12' non-conductive reaching pole should be accessible within 20' of pool.

This company does not test water for present chemical levels or pool cleaning/sanitizing equipment disassembled for inspection. Pool cleaning devices, hoses, and other related equipment are not inspected by this company Recommend having water tested by an appropriate professional. All repairs should be made by a professional pool servicing company.