

Page 1 of 2 in order 80516
File number: 7210-16-1199

Completed: 3/21/2016
Surveyed: 3/18/2016

Lender:
Buyer: EVAN BRIDGES AND JULIA BRIDGES
Seller: CARTUS FINANCIAL CORPORATION

COMMUNITY NUMBER:
PANEL: 4854680005E SUFFIX:
INDEX DATE:
F.I.R.M DATE:
ZONE: X

Premises: 1617 STONEY LAKE DRIVE, FRIENDSWOOD, TEXAS 77546 GALVESTON

Description of encroachments, violations or other points of interest at the time of the inspection:

PE IN 10.2FT BL



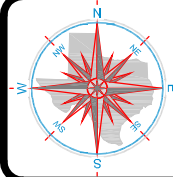
CERTIFIED TO: TEXAS AMERICAN TITLE COMPANY

LEGAL DESCRIPTION: LOT 2, BLOCK 2 FRIENDSWOOD LAKES, SECTION ONE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 1176 OF THE PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS.

(rev.0 3/22/2016)

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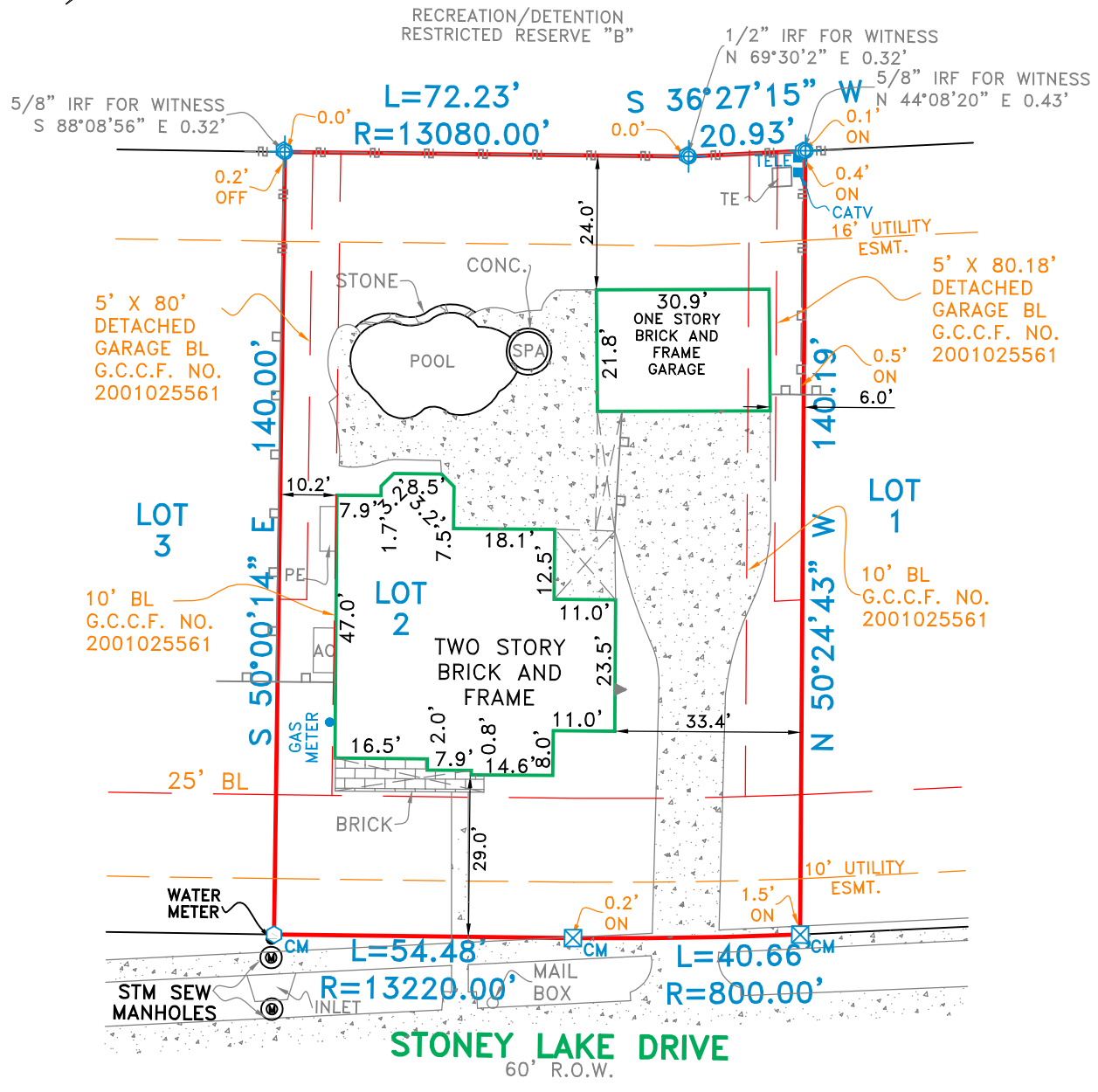
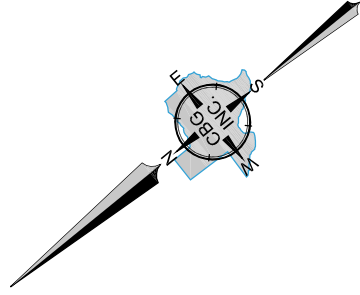


1617 Stoney Lake Drive

Being Lot Two (2), in Block Two (2), of Friendswood Lakes, Section One (1), a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 18, Page 1176, of the Map Records of Galveston County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - ⊙ 5/8" ROD FOUND
 - ⊗ "X" FOUND/SET
 - ⊕ POINT FOR CORNER
 - FENCE POST FOR CORNER
 - CM CONTROLLING MONUMENT
 - AC AIR CONDITIONER
 - PE POOL EQUIPMENT
 - TE TRANSFORMER PAD
 - BRICK COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP— OVERHEAD ELECTRIC POWER
 - OES— OVERHEAD ELECTRIC SERVICE
 - DOUBLE SIDED WOOD FENCE
 - WOOD FENCE 0.5' WIDE TYPICAL
 - I— IRON FENCE
 - X — BARBED WIRE
 - //— EDGE OF ASPHALT
 - //— EDGE OF GRAVEL
 - CONCRETE
 - COVERED AREA



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 18, PG. 1176, C.C. FILE NO(s). 9740750, 9862635, 9900133, 200031706, 2000017822, 2001025561, 2001028499, 2001064909, 2002013302, 2002055589, 2002057042, 2003057310, 2007069962, 2008034214, 2008056411, 2011053457, 2011053458, 2011053459, 2011053460, 2012065293, 2013079293 and 2016009345.

Accepted by: _____
Date: _____
Purchaser
Purchaser

NOTES:
NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
FLOOD NOTE: According to the F.I.R.M. No. 4854680005 E, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Truline Technologies. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: CMR
Scale: 1" = 30'
Date: 03/21/16
GF No.: 7210-16-1199
Job No. 1604880

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