

*Billy D. Freeman
Glenda J. Freeman*

- NOTES:
1. BEARINGS AND STREET PER RECORDED PLAT.
 2. H&P AGREEMENT PER HCCF P-618054.
 - *3. BUILDING LINES PER H.C.C.F. NO. P-197088

PLAT OF LOT 17 BLOCK 3 OF KINGS POINT VILLAGE SECTION NINE, PARTIAL REPLAT

ACCORDING TO THE PLAT RECORDED IN FILM CODE NO. 369105 OF

THE MAP RECORDS OF HARRIS COUNTY, TEXAS

PROPERTY NOT IN THE 100 YEAR FLOOD ZONE, IN ZONE X
 ACCORDING TO F.I.R.M. MAP NO. 480287 0320J, DATE 11-6-96
 BY GRAPHING PLOTTING ONLY, WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

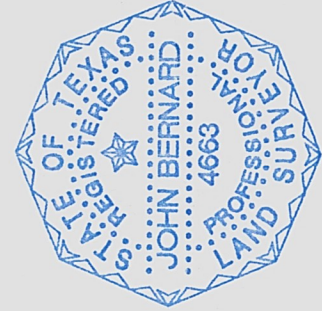
PROPERTY SUBJECT TO SUBDIVISION COVENANTS, CONDITIONS AND RESTRICTIONS.

I hereby certify that this survey was made on the ground and that this plat correctly represents the facts found at the time of survey showing the improvements, from legal descriptions supplied by client. There are no encroachments apparent on the ground, except as shown. The survey is only certified for boundary and this transaction only. Surveyor did not abstract property. Easements, building lines, etc. shown are as identified by:

GF 97115920 of STEWART TITLE

ADDRESS: 2830 MOUNTAIN GREEN TRAIL, LENDER: SHELL CREDIT UNION
 CITY: KINGWOOD ZIP: 77345
 PURCHASER: BILLY D. FREEMAN AND WIFE, GLENDA J. FREEMAN

JOB NO: NM-885 DATE: 7-9-98 SCALE: 1" = 20' REVISION: ADD ELEV. 2-2-98 Key Map 297V



John Bernard

John Bernard, Registered Professional Land Surveyor No. 4663



SOUTH TEXAS SURVEYING ASSOCIATES, INC.

BUILDER DIVISION

11281 Richmond Ave. Suite J-101 Houston, Texas 77082
 TEL. (281) 556-9715 FAX (281) 556-6959

SURVEY AFFIDAVIT

GF# 493518 W

STATE OF TEXAS

COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BILLY D. FREEMAN and wife, GLENDA J. FREEMAN ,WHO UPON OATH, SWEARS THAT THE FOLLOWING STATEMENTS ARE TRUE:

1) THAT HE/SHE IS A RESIDENT OF HARRIS COUNTY, TEXAS, AND IS THE OWNER OF THE FOLLOWING DESCRIBED REAL PROPERTY:

LOT 17, IN BLOCK 3, OF KINGS POINT VILLAGE SECTION NINE (9), PARTIAL REPLAT, A SUBDIVISION IN HARRIS COUNTY, RECORDED AT FILM CODE NO. 369105

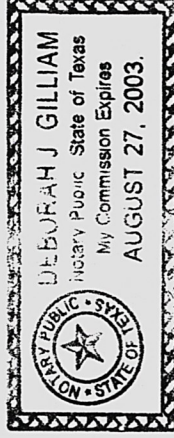
2) THAT HE/SHE IS FAMILIAR WITH A SURVEY MADE BY SOUTH TEXAS SURVEYING ASSOC., PROFESSIONAL SURVEYOR, DATED, NOVEMBER 6, 1996, OF THR ABOVE DESCRIBED REAL PROPERTY.

3) THAT HE/SHE IS FAMILIAR WITH THE ABOVE DESCRIBED PROPERTY AND THAT THERE HAVE BEEN NO CHANGES IN THE LINES OF THE PROPERTY OR IN THE BUILDINGS, FENCES, DRIVEWAYS AND OTHER IMPROVEMENTS SHOWN ON AFORE-SAID SURVEY; THERE HAVE BEEN NO CHANGES TO ANY ANY EASEMENTS LOCATED ON SAID PROPERTY, AND NO BUILDINGS, FENCES, DRIVEWAYS OR OTHER IMPROVEMENTS HAVE BEEN CONSTRUCTED ON ADJOINING PREMISES SINDE THE DATE OF SAID SURVEY.

4) THAT THE REAL PROPERTY DESCRIBED ABOVE CONFORMS IN ALL PARTICULARS WITH THE STATE OF FACTS SHOWN IN THE AFOREMENTIONED SURVEY. ACCORDINGLY, IF TH AFOREMENTIONED SURVEY WAS REVISED TO A CURRENT DATE, NO MATERIAL CHANGES WOULD BE REFLECTED THEREON.

5) THIS AFFIDAVIT IS MADE TO INTRODUCE AMERICAN TITLE COMPANY TO ISSUE A POLICY OF TITLE INSURANCE COVERING THE ABOVE DESCRIBED PREMISES WITHOUT REQUIRING A CURRENTLY DATED SURVEY.

SWORN TO AND SUBSCRIBED BEFORE ME BY Billy D. Freeman and Glenda J. Freeman ON THIS 11th DAY OF November 2002

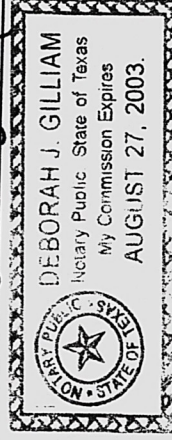


Deborah J. Gilliam
NOTARY PUBLIC, STATE OF TEXAS

STATE OF TEXAS

COUNTY OF Harris

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 11th DAY OF November 2002, BY Billy D. Freeman and Glenda J. Freeman



Deborah J. Gilliam