

SQUARE FOOTAGES:

FIRST FLOOR:	2,123
SECOND FLOOR:	1,889
TOTAL LIVING:	4,012
GARAGE:	485
FRONT PORCH:	56
BACK PORCH:	179
SUMMER KITCHEN:	145
TOTAL COVERED:	4,877

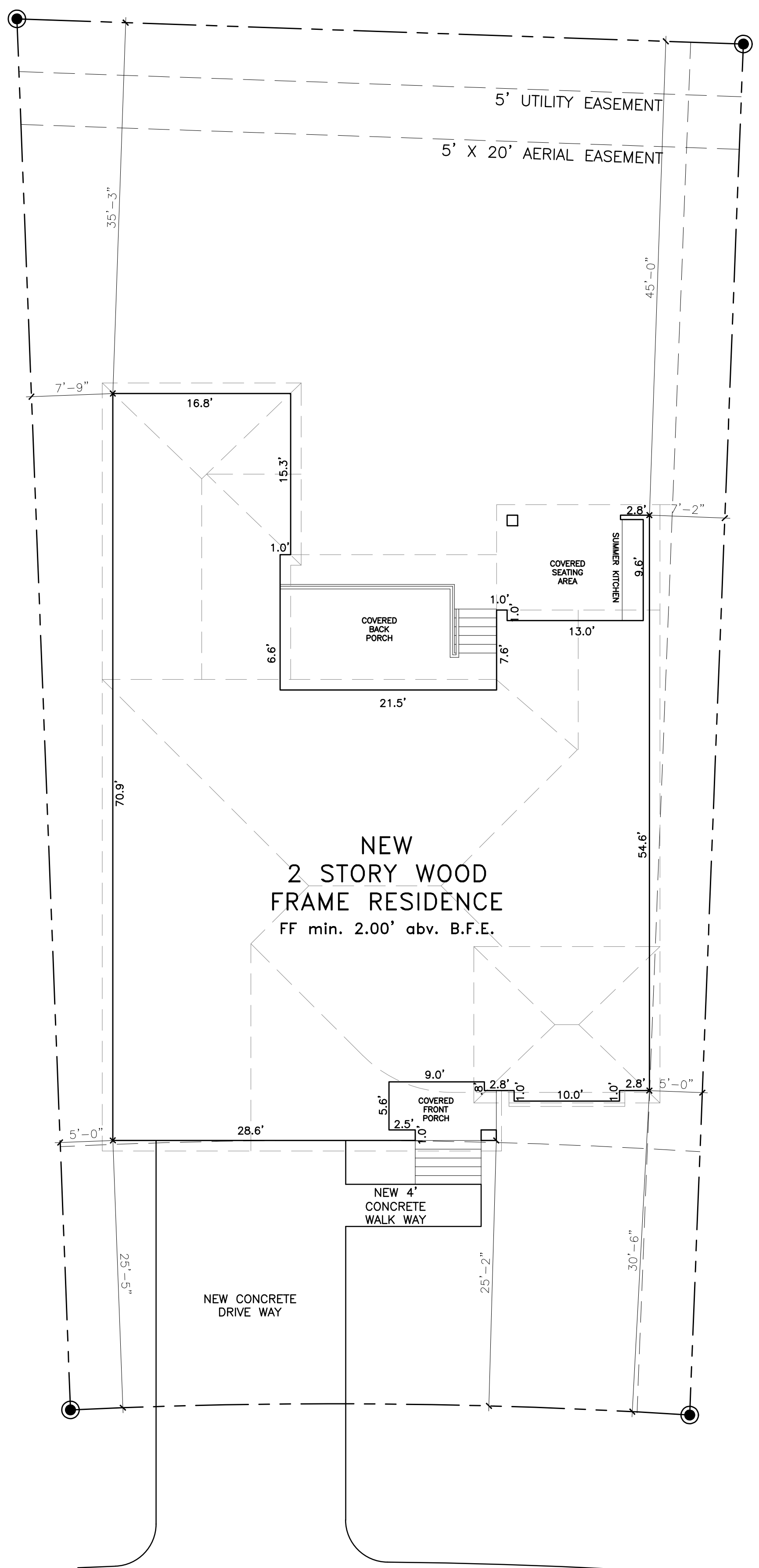
IMPERVIOUS COVER:

BUILDING FOOTPRINT	2,630
PORCHES:	380
DRIVEWAY/SIDEWALK:	503
TOTAL IMPERVIOUS COVER	3,513
LOT AREA	8,335
IMPERVIOUS OVER LOT	42.1%

SIDE NOTES

1. QUALIFIED ENGINEER SHALL DETERMINE FINAL SLAB ELEVATION.
2. FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER.
3. VERIFY LOCATION OF HOUSE ON LOT AND VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE AND SETBACK LINES PRIOR TO CONSTRUCTION.
4. DETERMINE LOCATION OF WATER METER AND CONTACT THE LOCAL AUTHORITY TO CONNECT. WATER PIPE TO BE SCH. 40 P.V.C. (OR EQUAL).
5. CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. (OR EQUAL).
6. RUN UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO LOCATION TO BUILDING CONNECTION FOR:
 - a. ELECTRICAL SERVICE.
 - b. CABLE SERVICE/CATS
7. ALL DRAINAGE AND RUNOFF SHALL BE COLLECTED ON SITE TO AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. DRAIN PIPING SHALL BE SCH. 40 P.V.C. (OR EQUAL) WHEN AREA DRAINS ARE USED.

CODE:
IRC 2012 W/C.O.H. AMENDMENTS
2015 IECC W/C.O.H. AMENDMENTS



2114 WOODCREST
(60' R.O.W.)

LEGAL ADDRESS:
LOT 24 BLOCK 4
OAK FOREST ADDITION, SEC. 13

2114 WOODCREST DR
Houston, TX 77018

SITE PLAN & NOTES

Issue/Revision:	
09.23.19	BANK SET
Drawing Description:	
SITE PLAN & NOTES	
Dwg. Name:	
Layer mgr:	XX
Scale:	AS NOTED
Drawn by:	
Proj. Mgr.:	
Date:	
Sheet No.:	A 1.0