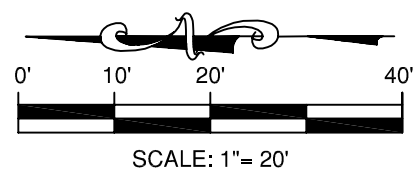


LEGEND LANE

LEGEND:

—x—x—	WIRE FENCE	ASPHALT	
—o—o—	CHAINLINK FENCE	CONCRETE	
—□—□—	WROUGHT IRON FENCE	GRAVEL	
—//—//—	WOOD FENCE	TILE	
—v—v—	VINYL FENCE	WOOD	
—E—E—	ELECTRIC LINE	BRICK	
GM	GAS METER	STONE	
EM	ELECTRIC METER	(WOOD) RAILROAD TIE	
IPF	IRON PIPE FOUND		
IRF	IRON ROD FOUND		
IRS	IRON ROD SET		
CM	CONTROLLING MONUMENT		

NOTES:
 BEARINGS ARE BASED ON THE RECORDED PLAT.
 THIS PROPERTY IS AFFECTED BY THE FOLLOWING:
 (10g)-AGREEMENT, C.C. FILE NO. D556760, D.R.H.C.T.
 (10h)-AGREEMENT, C.C. FILE NO. D729055, D.R.H.C.T.
 THIS PROPERTY MAY BE SUBJECT TO THE FOLLOWING:
 (10f)-EASEMENT, C.C. FILE NO. F018974, D.R.H.C.T.
 THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:
 (10f)-EASEMENTS, C.C. FILE NOS. G541852 & L096114, D.R.H.C.T.
 HOUSE EXTENDS INTO 10' SANITARY SEWER EASEMENT AS SHOWN ABOVE.
 BUILDING LINES AND EASEMENTS ARE BASED ON THE RECORDED PLAT REFERENCED HEREON.



LEGAL DESCRIPTION:
 BEING LOT 1 AND A PORTION OF THE AREA NOTED AS COMMON PROPERTY, OF THE REVISION TO THE REPLAT OF LEGEND LANE TOWNHOUSES, AN ADDITION TO HARRIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 169, PAGE 142, MAP RECORDS, HARRIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS DESCRIPTION ATTACHED HERETO AND MADE A PART THEREOF ON PAGE 2.

SURVEYOR'S CERTIFICATION:
 THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GF. NO.	18-338831-CY
BORROWER	TALENTS DEVELOPMENT, LLC
TECH	MSP
FIELD	CS

FLOOD INFORMATION:
 THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48201C0645 L, DATED JUNE 18, 2007.

DATE: 01/22/18 JOB NO.: 18-00427
 FIELD: 01/20/18

Robert T. Paul, Jr.
 Registered Professional Land Surveyor

25 LEGEND LANE, HOUSTON, TX 77024

DATE: _____
 ACCEPTED BY: _____

Premier
 Surveying LLC

5700 W. Plano Parkway
 Suite 1200
 Plano, Texas 75093
 Office: 972-612-3601
 Fax: 855-892-0468
 Firm Registration No. 10146200

PREMIER SURVEYING LLC

**5700 W. Plano Parkway, Suite 1200
Plano, Texas 75093
972-612-3601
Fax: 972-964-7021**

**Exhibit "A"
(25 LEGEND LANE)**

BEING LOT 1 AND A PORTION OF THE AREA NOTED AS COMMON PROPERTY, OF THE REVISION TO THE REPLAT OF LEGEND LANE TOWNHOUSES, AN ADDITION TO HARRIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 169, PAGE 142, MAP RECORDS, HARRIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2-INCH IRON ROD FOUND AT THE COMMON WEST CORNER OF SAID LOT 1 AND LOT 2, SAID REVISION;

THENCE NORTH 00° 01' 00" EAST, A DISTANCE OF 30.00 FEET ALONG THE WEST LINE OF SAID LOT 1 TO THE NORTHWEST CORNER OF SAID LOT 1;

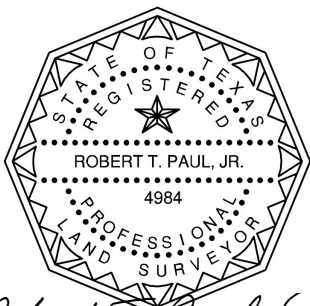
THENCE SOUTH 89° 59' 00" EAST, A DISTANCE OF 110.00 FEET ALONG THE NORTH LINE OF SAID LOT 1 TO THE NORTHEAST CORNER OF SAID LOT 1;

THENCE NORTH 00° 01' 00" EAST, A DISTANCE OF 5.00 FEET;

THENCE SOUTH 89° 59' 00" EAST, A DISTANCE OF 31.58 FEET;

THENCE SOUTH 00° 01' 00" WEST, A DISTANCE OF 35.00 FEET;

THENCE NORTH 89° 59' 00" WEST, PASSING THE COMMON EAST CORNER OF AFORESAID LOTS 1 AND 2 AT A DISTANCE OF 31.58 FEET AND CONTINUING ALONG THE COMMON LINE OF SAID LOTS 1 AND 2 A TOTAL DISTANCE OF 141.58 FEET TO THE POINT OF BEGINNING AND CONTAINING 4,405 SQUARE FEET OR 0.101 OF ONE ACRE OF LAND.



Robert T. Paul, Jr.
REGISTERED PROFESSIONAL LAND SURVEYOR

Survey Plat of even date attached hereto and made a part hereof.

Date: 01/20/18