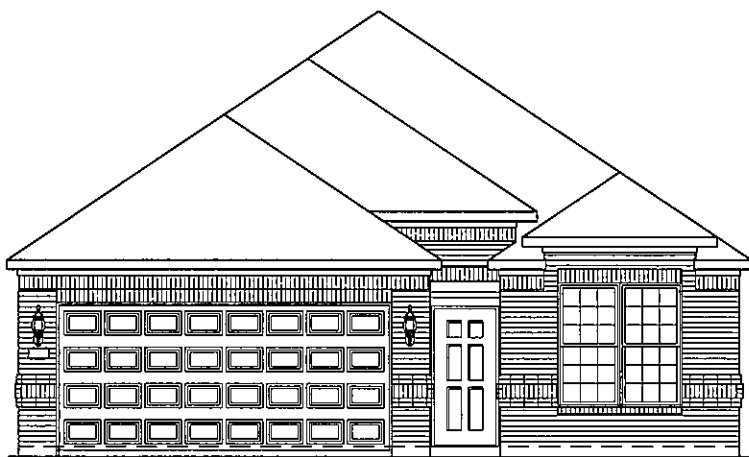
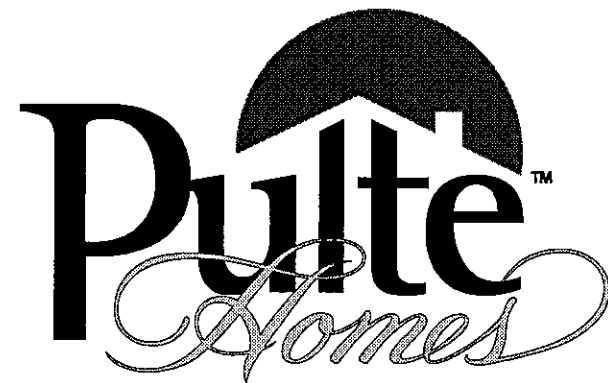


Orleans - 0921.100.00 - TCG 5-35'



SHEET LEGEND

SHT.	DESCRIPTION
COVER	COVER SHEET -- IRC BUILDING CODE, SPECIFICATIONS & GENERAL NOTES
RM.	REVISION LOG
A1.1	BASE FLOOR PLAN
A2.1	FLOOR PLAN OPTIONS
A2.2	FLOOR PLAN OPTIONS
E1.1a	ELEVATION "A" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1b	ELEVATION "B" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1c	ELEVATION "C" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1d	ELEVATION "D" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1e	ELEVATION "E" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1f	ELEVATION "F" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1g	ELEVATION "G" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1h	ELEVATION "H" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E3.1	TYPICAL SIDE AND REAR ELEVATIONS
E3.2	TYPICAL SIDE AND REAR ELEVATIONS
E4.1	MASONRY PERCENTAGE CALCULATIONS
B1.1	ELECTRICAL PLAN
FZ.1	FLOORING ZONES
TZ.1	TRIM ZONES
CZ.1	CABINET ZONES
D1.1	EXTERIOR DETAILS
D1.2	EXTERIOR DETAILS
D1.3	EXTERIOR DETAILS
D1.4	EXTERIOR DETAILS
D2.1	EXTERIOR DETAILS
D2.2	EXTERIOR DETAILS
D2.3	EXTERIOR DETAILS
D2.4	CRICKET DETAILS
D2.5	CRICKET DETAILS
D2.6	MUDBENCH DETAILS

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Texas
 4800 Regent Blvd., Suite 100
 Irving, TX 75063



1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.

2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (972)304-2800.

3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.

4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.

5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

2) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

3 - CONCRETE

1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND PATIOS SHALL BE 1/8" PER FOOT AWAY FROM HOUSE.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS

3) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER R703.7.6 - I.R.C.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/300 IN OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE

4) PROVIDE ATTIC VENTILATION PER IRC-R602.1

8 - DOORS AND WINDOWS

1) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS

2) TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - I.R.C.

3) FRONT DOOR W/TH PER IRC-R311.3

4) GARAGE DOOR PER IRC-R309.1

5) EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - I.R.C. 2006 - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1.

2) EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) GROUND FAULT INTERRUPTERS SHALL BE LOCATED PER THE NEC.

5) ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.

6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.

9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC SECTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

10) CONDUCTORS SHALL BE OF COPPER.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH SECTION I.R.C.

2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 - I.R.C.

3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED ACCORDING TO IRC.

4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF 1/2" GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILING WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN IRC.

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED IN IRC.

3) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER.

2) ALL BEARING HEADERS TO BE PER ENGINEERING PLANS.

3) FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.

2) REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO.

SQUARE FOOTAGE AREAS (FRAME) ELEV "BASE"

A/C LIVING AREAS	SQ. FT.
1st FLOOR - Frame	1721 SF
	1721 SF
OPT. BAY WINDOW	+ 27 SF

SQUARE FOOTAGE AREAS (MASONRY) ELEV "BASE"

A/C LIVING AREAS	SQ. FT.
1st FLOOR - Masonry	1760 SF
	1760 SF
OPT. FULL BRICK @ REAR	+ 12 SF
OPT. BAY WINDOW w/ BRICK @ REAR	+ 32 SF

FOUNDATION SQUARE FOOTAGE NOTES "BASE"

SLAB AREAS	SQ. FT.
COV. PATIO	138 SF
GARAGE	444 SF
PORCH	26 SF
	607 SF
OPT. FULL BRICK @ REAR	- 6 SF
OPT. EXTENDED COV. PATIO	+ 69 SF

ATTIC VENT CALC's

ALL ELEVATIONS

ATTIC VENTILATION

SQ. FT. ATTIC AREA	LOWER ROOF (SOFFIT) VENTING	UPPER ROOF VENTING
	NET FREE AREA SOFFIT VENTING REQUIRED	NET FREE AREA ROOF VENTING REQUIRED
2533	608 sq in	608 sq. in.
# of Vents	* 24	** 4

* QTY SOFFIT VENTS BASED ON 25 SQ.IN. PER VENT
 ** QTY ROOF VENTS BASED ON 150 SQ.IN. PER VENT

REVISION DATE: **05/11/15**

REDLINES DATE: **10/01/17**

5202 Rue Dela Croix Drive

Plan: Orlean
 Elevation: E
 Hand: Left

Owner: Myers

PRINTED 05/11/15
 0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER
 ERIC MENENDEZ
 INITIAL RELEASE
 DATE: 05/11/15

REV#	DATE/DESCRIPTION

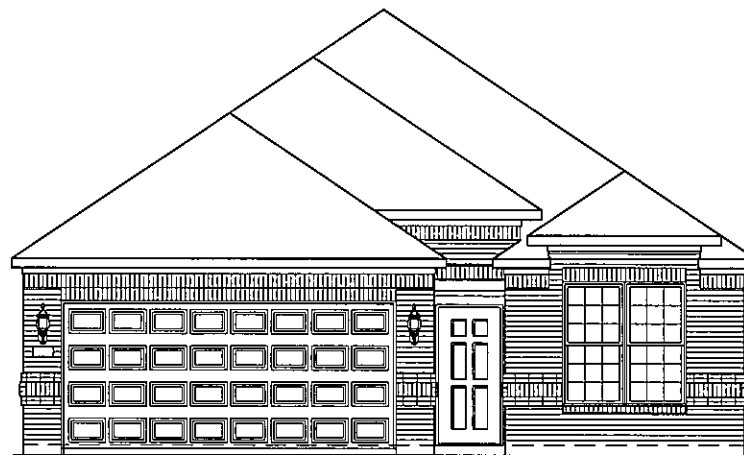
PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
Orleans
 NPC CHILD NUMBER
 0921.100.00

SHEET
Cover

Orleans - 0921.100.00 - TCG 5-35'



SHEET LEGEND

SHT.	DESCRIPTION
COVER-H	COVER SHEET - IRC BUILDING CODE, SPECIFICATIONS & GENERAL NOTES
RM.	REVISION LOG
A1.1	BASE FLOOR PLAN
A2.1	FLOOR PLAN OPTIONS
A2.2	FLOOR PLAN OPTIONS
E1.1a	ELEVATION "A" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1b	ELEVATION "B" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1c	ELEVATION "C" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1d	ELEVATION "D" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1e	ELEVATION "E" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1f	ELEVATION "F" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1g	ELEVATION "G" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E1.1h	ELEVATION "H" PARTIAL FLOOR PLAN, ELEVATIONS & ROOF PLAN
E3.1	TYPICAL SIDE AND REAR ELEVATIONS
E3.2	TYPICAL SIDE AND REAR ELEVATIONS
E4.1	MASONRY PERCENTAGE CALCULATIONS
E1.1	ELECTRICAL PLAN
F2.1	FLOORING ZONES
T2.1	TRIM ZONES
C2.1	CABINET ZONES
D1.1	EXTERIOR DETAILS
D1.2	EXTERIOR DETAILS
D1.3	EXTERIOR DETAILS
D1.4	EXTERIOR DETAILS
D2.1	INTERIOR DETAILS
D2.2	INTERIOR DETAILS
D2.3	INTERIOR DETAILS
D2.5	CRICKET DETAILS
D2.6	MUDBENCH DETAILS

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 Irving, TX 75063



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2 - SITE CONSTRUCTION

- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

3 - CONCRETE

- SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND PATIOS SHALL BE 1/8" PER FOOT AWAY FROM HOUSE.

4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER R703.7.6 - I.R.C.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/300 in OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE
- PROVIDE ATTIC VENTILATION PER IRC-R606.1

8 - DOORS AND WINDOWS

- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - I.R.C. 2006
- FRONT DOOR WIDTH PER IRC-R311.3
- GARAGE DOOR PER IRC-R309.1
- EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - I.R.C. 2006 - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- GARAGE DOOR TO BE SOLID CORE DOOR WITH MINIMUM 20 MIN FIRE RATING AND INSTALLED WITH SELF-CLOSING HINGES WHERE REQUIRED BY CODE.
- ATTIC SCUTTLES IN GARAGES HAVING HABITABLE SPACE ABOVE TO BE 5/8 TYPE X GYPSUM BOARD.
- ATTIC SCUTTLES IN GARAGES HAVING NO HABITABLE SPACE ABOVE TO BE 20 MIN. FIRE RATED.
- ATTIC STAIRS TO BE DESIGNED FOR 350 #LL.
- ATTIC STAIRS IN GARAGES TO BE 30 MIN. FIRE-RATED.

15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1.
- EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTERS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC SECTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.
- CONDUCTORS SHALL BE OF COPPER.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH SECTION I.R.C.
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 - I.R.C.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED ACCORDING TO IRC.
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.
- GUARDRAILS: BALCONIES OR RAISED FLOOR SPACES MORE THAN 30" ABOVE THE FLOOR SHALL HAVE A GUARDRAIL OF NOT LESS THAN 36" IN HGT, MEASURED FROM THE NOSING OF THE TREADS. ALL GUARD RAILS SHALL WITHSTAND 200 LB LIVE LOAD.
- HORIZONTAL SPACING IN BETWEEN VERTICAL MEMBERS AT REQUIRED GUARDRAILS SHALL BE A MAX OF 4" O.C.
- ENCLOSED ACCESSIBLE SPACE AND/OR SOFFITS UNDER ANY STAIR WITH 1/2" GYPSUM BOARD.

WALLS:

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
- SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF 1/2" GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILING WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN IRC.
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED IN IRC.
- ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER.
- ALL BEARING HEADERS TO BE PER ENGINEERING PLANS.
- FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO.

SQUARE FOOTAGE AREAS (FRAME) ELEV "BASE"

A/C LIVING AREAS	SQ. FT.
1st FLOOR - Frame	1721 SF
	1721 SF
OPT. BAY WINDOW	+ 27 SF

SQUARE FOOTAGE AREAS (MASONRY) ELEV "BASE"

A/C LIVING AREAS	SQ. FT.
1st FLOOR - Masonry	1760 SF
	1760 SF
OPT. FULL BRICK @ REAR	+ 12 SF
OPT. BAY WINDOW w/ BRICK @ REAR	+ 32 SF

FOUNDATION SQUARE FOOTAGE NOTES "BASE"

SLAB AREAS	SQ. FT.
COV. PATIO	138 SF
GARAGE	444 SF
PORCH	26 SF
	607 SF
OPT. FULL BRICK @ REAR	- 6 SF
OPT. EXTENDED COV. PATIO	+ 89 SF

ATTIC VENT CALC's

ALL ELEVATIONS

ATTIC VENTILATION		
	LOWER ROOF (SOFFIT) VENTING	UPPER ROOF VENTING
SQ. FT. ATTIC AREA	NET FREE AREA SOFFIT VENTING REQUIRED	NET FREE AREA ROOF VENTING REQUIRED
2533	608 sq in	608 sq. in.
# of Vents	* 24	** 4

* QTY SOFFIT VENTS BASED ON 25 SQ.IN. PER VENT
 ** QTY ROOF VENTS BASED ON 150 SQ.IN. PER VENT

REVISION DATE: 05/11/15

REDLINES DATE: 10/01/17

PRINTED 05/11/15

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER ERIC MENENDEZ INITIAL RELEASE DATE: 05/11/15
REV. DATE/DESCRIPTION
△
△
△
△
△
△
△
△
PROJECT TYPE Single Family
SPECIFICATION LEVEL Pulte
PLAN NAME Orleans NPC CHILD NUMBER 0921.100.00
SHEET Cover-H

REVISION NOTES

REV #	REV DATE	REVISED BY	DESCRIPTION	SHEETS CHANGED
BID	02/09/15	EM	BID RELEASE	
NEW	05/11/15	LBBAE	<p>THE FOLLOWING UPDATES HAVE BEEN MADE DURING BID, AND ARE REPRESENTED IN THIS CONSTRUCTION RELEASE: [GENERAL] MASONRY AND FOUNDATION SQ. FT'S REVISED, CHANGED 5.5" BRICK VENEER TO 4" (ELEVATION A) CHANGED 5.5" BRICK VENEER TO 4", (ELEVATION B) CHANGED 5.5" BRICK VENEER TO 4", (ELEVATION C) CHANGED 5.5" BRICK VENEER TO 4", CHANGED 5.5" STONE VENEER TO 4" AT SIDES RETURN, CHANGED COLUMNS PEDESTAL VENEER TO 4" AT PORCH, (ELEVATION D) CHANGED 5.5" BRICK VENEER TO 4", (ELEVATION E) CHANGED 5.5" BRICK VENEER TO 4", CHANGED 5.5" STONE VENEER TO 4" AT SIDES RETURN, CHANGED STONE CAP TO 3" (ELEVATION F) CHANGED 5.5" BRICK VENEER TO 4", CHANGED 5.5" STONE VENEER TO 4" AT SIDES RETURN, CHANGED COLUMNS PEDESTAL VENEER TO 4" AT PORCH, CHANGED STONE CAP TO 3", (ELEVATION G) CHANGED 5.5" BRICK VENEER TO 4", CHANGED 5.5" STONE VENEER TO 4" AT SIDES RETURN, CHANGED STONE CAP TO 3", (ELEVATION H) CHANGED 5.5" BRICK VENEER TO 4", CHANGED 5.5" STONE VENEER TO 4" AT SIDES RETURN, CHANGED COLUMNS PEDESTAL VENEER TO 4" AT PORCH, CHANGED STONE CAP TO 3" [FLOOR PLAN] (GARAGE) OPT. WATER SOFTENER AT WATER HEATER ADDED, (OWNER'S SUITE) OPT. CAN LIGHTS ADDED (OPTIONS) (OWNER'S BATH OPTION) OPTION # CHANGED TO 69441, BOOY JETS REMOVED, 3 1/2" x 3 1/2" COLUMN ADDED AT LOW WALL (BAY WINDOW) FLOORING ZONE CHANGED TO 13 (DETAILS) BRICK VENEER CHANGED TO 4" ON WALL AND COLUMN DETAILS, DETAIL 6.3 ADDED ON SHEET D1.1, DETAILS 1 & 2 ADDED ON SHEET D1.3, PANTRY AND LINEN SHELVING (8'-8" DOOR) ADDED ON D2.1, BOOY JETS REMOVED FROM OWNER'S BATH OPTION DETAIL ON SHEET D2.1, D1 AND D3 DETAILS ADDED ON SHEET D2.2, E6.2/D1.1 REVISED, REFERENCES TO "CEDAR" REMOVED FROM SQUASHBLOCKS ON DETAILS E10.2 & E14 ON SHEET D1.2, DETAIL 3 REMOVED FROM D2.4</p>	COVER, COVER-H, RVL, A1.1, A2.1, A2.2, E1.1a, E1.1b, E1.1c, E1.1d, E1.1e, E1.1f, E1.1g, E1.1h, E3.1, E3.2, E1.1, E1.2, B1.3, FZ1.1, D1.1, D1.2, D1.3, D1.4, D2.1, D2.2, D2.4 SHEETS ADDED: D2.3

Zone Release Date	Request ID	TCG#	Plans	Solution	Engineering Affected	Cabinets Affected	Elevations Affected	Brochures Affected
10/3/2017	5997	5	Fifth Avenue 1955.100; Clermont 1827.100; Tafalla 1826.100; Orleans 0921.100; Mooreville	Moved shower valve location to exterior wall to match the TCG 5-40 and 5-50 product.				

Zone Release Date	Request ID	TCG#	Plans	Solution	Engineering Affected	Cabinets Affected	Elevations Affected	Brochures Affected
10/1/2015	3318	3; 5	Harrison - 2087.100; Nelson - 2088.100; Clermont 1827.100; Calais 0991.100; Tafalla 1826.100; Orleans 0921.100; Fifth Avenue 1955.100	Redlined the Nelson plan to remove the curb from optional shower at Optional Owner's bath and added note to Recess slab 3 1/2". Reviewed rest of lineup. Fifth Avenue plan has been redlined to add the 3" curb to optional spa shower since it is on 2nd floor. Clermont, Tafalla, Calais, and Orleans plans has been redlined to note 3 1/2" recessed slab at spa shower with bath on floor 1.	No	No	No	No
10/1/2015	3711	5	Orleans - 0921.100; Orleans 0921.100	The 2040 window in bath 2 has been redlined to be a tempered window. This went out in the delivery of the 2-1-16 plan sets and was in the PDF but now just approving to complete. Removed brick from Hill Country front elevations for TCG 5-35 fine up. See elevations below. Clermont: Elevation "H" Calais: Elevation "H" Orleans: Elevation "E", "H" Tafalla: Elevation "H", "G" Fifth Avenue: No work done on Fifth Avenue at this time.	No	No	No	No
2/1/2016	4332	5	Calais 0991.100; Clermont 1827.100; Orleans 0921.100; Tafalla 1826.100; Fifth Avenue 1955.100	Redlined elevations to note brick through or brick on wood from plan review.	No	No	yes	No
4/1/2016	4410	5	Calais 0991.100; Orleans 0921.100; Clermont 1827.100; Tafalla 1826.100; Fifth Avenue 1955.100	Redline note for Gable brackets on elevation "E" for Fifth Avenue, Clermont and Tafalla plans to be updated to refer to detail E4 D1.1.	No	No	No	No
4/1/2016	4475	5	Calais 0991.100; Orleans 0921.100; Tafalla 1826.100	TCG 5-40: Soledad - Changed roof pitch at front porch to 5/12 ilo 6/12 on elevations B & D. TCG 5-50: Winsford - Changed roof pitch at front porch to 2/12 ilo 3.5/12 on elevation B Argenta - Changed HDR height on windows at dormer to 14'-10" ilo 14'-7" on elevation D. TCG 5-35: Clermont - Changed metal roof above porch to 3/12 ilo 4/12 on elevation G. Fifth Avenue - Changed roof pitch above garage to 4/12 ilo 5/12 on elevation A. On elevation C, roof @ front porch was changed to 3/12 ilo 4/12.	No	No	No	No
5/1/2016	4774	5	Soledad - 1713.100; Winsford - 1716.100; Argenta - 1704.100; Clermont 1827.100; Fifth Avenue 1955.100; Orleans 0921.100	Orleans - Pulled dormer out 4 inches to the front to gain 6" below window on elevation F and G.	yes	No	yes	No

Zone Release Date	Request ID	TCG#	Plans	Solution	Engineering Affected	Cabinets Affected	Elevations Affected	Brochures Affected
4/1/2016	4416	5	17	Redline elevations for cricket notes and add details to set per cricket review work.	No	No	No	No

Zone Release Date	Request ID	TCG#	Plans	Solution	Engineering Affected	Cabinets Affected	Elevations Affected	Brochures Affected
1/1/2016	3965	5; 6; 3	(blank)	TCG 5 - 40' and 5-50': Add a DWF marked up cabinet zone sheet to plan set. Need to add plans that already had cabinet zones but there were redlines and list out here.	No	No	No	No

Zone Release Date	Request ID	TCG#	Plans	Solution	Engineering Affected	Cabinets Affected	Elevations Affected	Brochures Affected
5/1/2017	5310	5	Orleans 0921.100	Raised front porch roof on Elevation "A" and "B" 1ft to create more separation between porch roof and roof over flex room to allow space to install cricket properly.	yes	No	yes	No

Texas
4800 Regent Blvd., Suite 100
Irving, TX 75063



PRINTED 05/11/15

REV#	DATE	DESCRIPTION

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

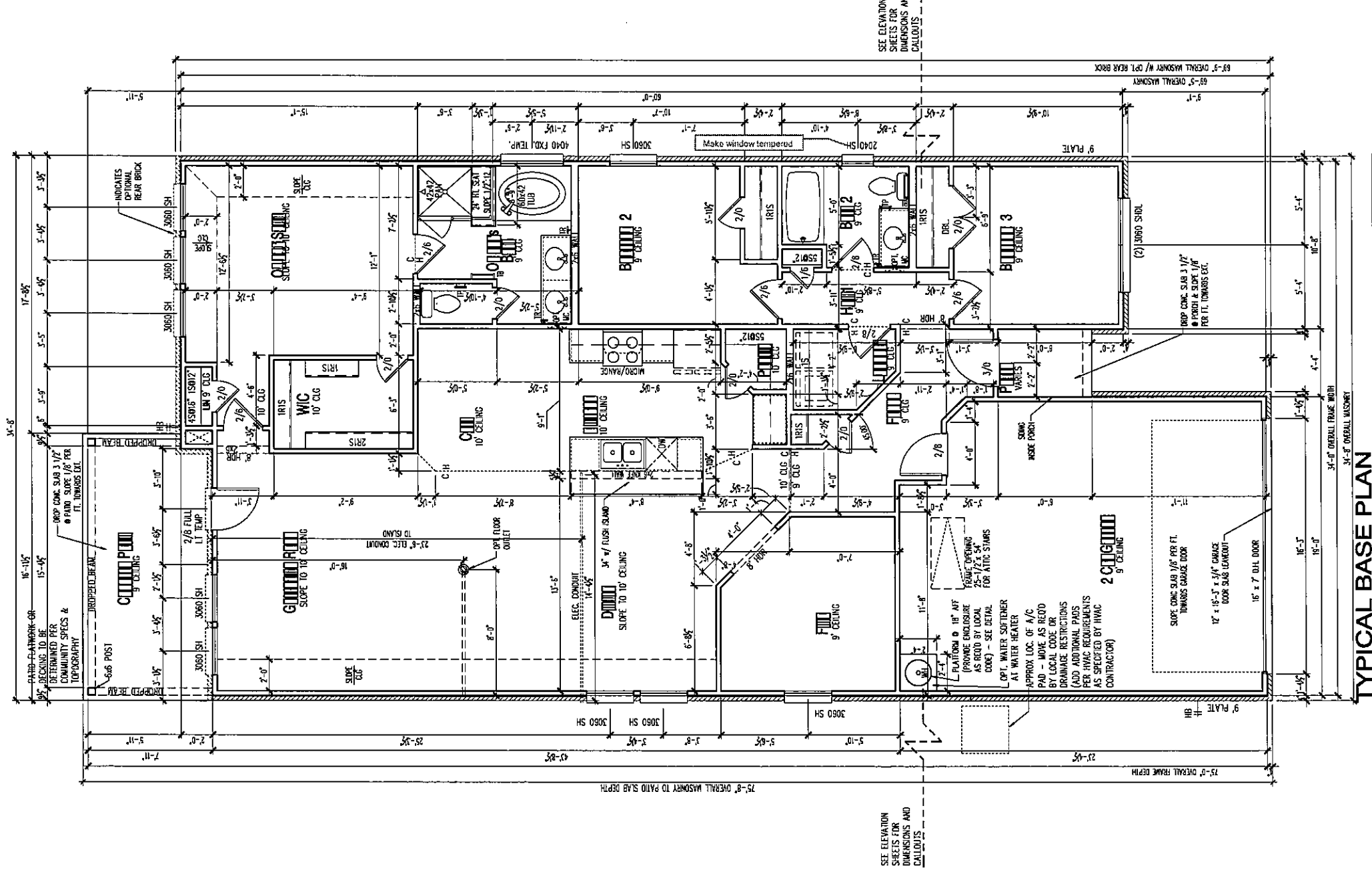
PLAN NAME
Orleans
NPC CHILD NUMBER
0921.100.00

SHEET
RVL

PULTE: May 12, 2015 / Update Source / 0921.100.00 CONSTRUCTION SET 05.11.15.DWG

PLOTTER: May 12, 2015 / Medio Suarez / 0921.100.00_ORLEANS_LIN_CONSTRUCTION SET 05.11.15.DWG

SQUARE FOOTAGE AREAS (FRAME) ELEV "BASE"	
A/C LIVING AREAS	SQ. FT.
1st FLOOR - Frame	1721 SF
	1721 SF
OPT. BAY WINDOW	+ 27 SF
SQUARE FOOTAGE AREAS (MASONRY) ELEV "BASE"	
A/C LIVING AREAS	SQ. FT.
1st FLOOR - Masonry	1780 SF
	1780 SF
OPT. FULL BRICK @ REAR	+ 12 SF
OPT. BAY WINDOW w/ BRICK @ REAR	+ 32 SF
FOUNDATION SQUARE FOOTAGE NOTES "BASE"	
SLAB AREAS	SQ. FT.
COV. PATIO	139 SF
GARAGE	444 SF
PORCH	28 SF
	607 SF
OPT. FULL BRICK @ REAR	- 6 SF
OPT. EXTENDED COV. PATIO	+ 69 SF



TYPICAL BASE PLAN
 SCALE: 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

0921.100.00 CONSTRUCTION SET
 PRINTED 05/11/15

REVI	DATE/DESCRIPTION

PRODUCT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans

NPC CHILD NUMBER
0921.100.00

SHEET
A1.1

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Texas

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Base Floor Plan

Texas
 4800 Regent Blvd., Suite 100
 Irving, TX 75063

Pulte
 Homes

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Floor Plan Options

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER
 ERIC MENENDEZ
 INITIAL RELEASE
 DATE: 05/11/15

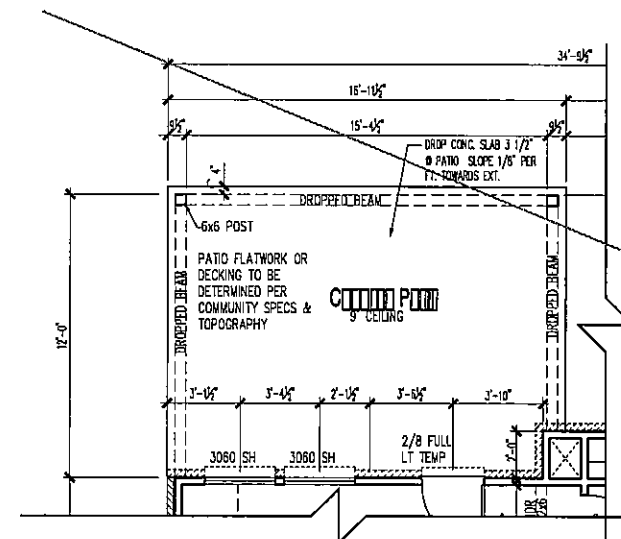
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PROJECT TYPE
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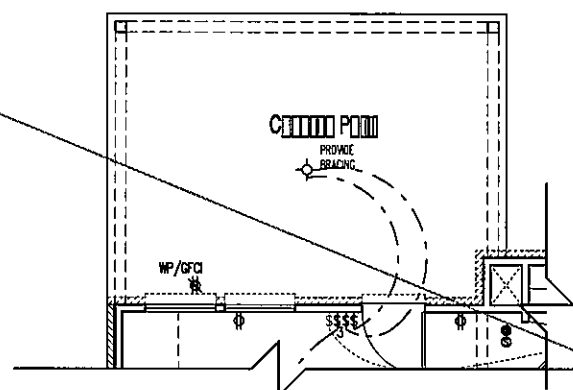
SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Orleans
 NPC CHILD NUMBER
 0921.100.00

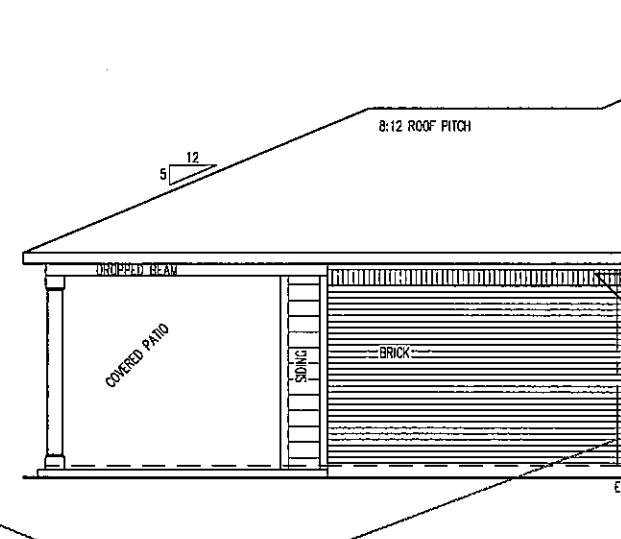
SHEET
 A2.1



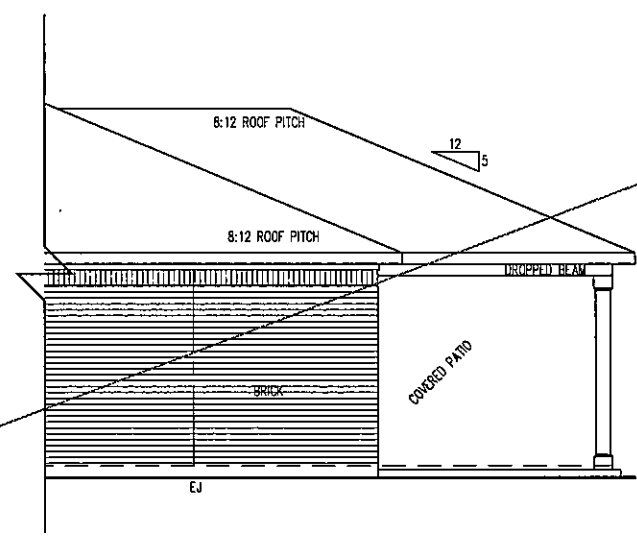
OPT. COVERED PATIO E.T. [63411]
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



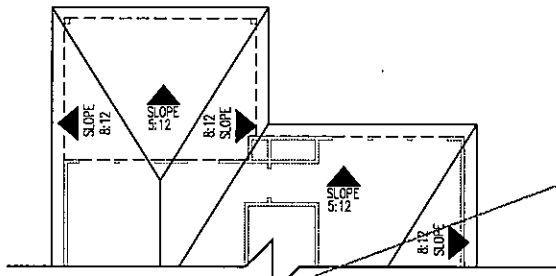
OPT. COVERED PATIO E.T. [ELEC. PLAN]
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



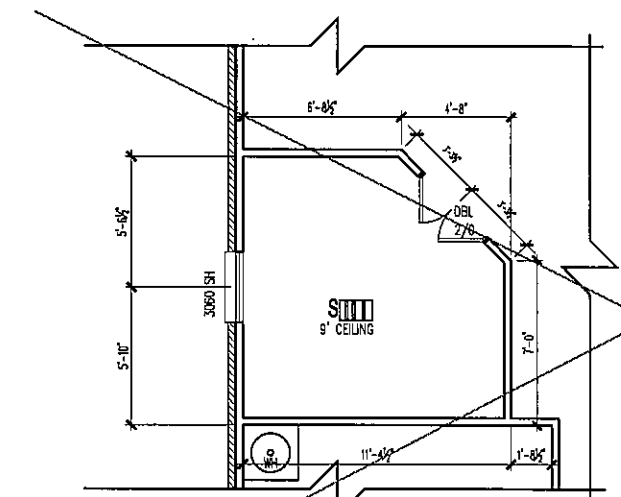
OPT. COVERED PATIO E.T. PARTIAL LEFT SIDE
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



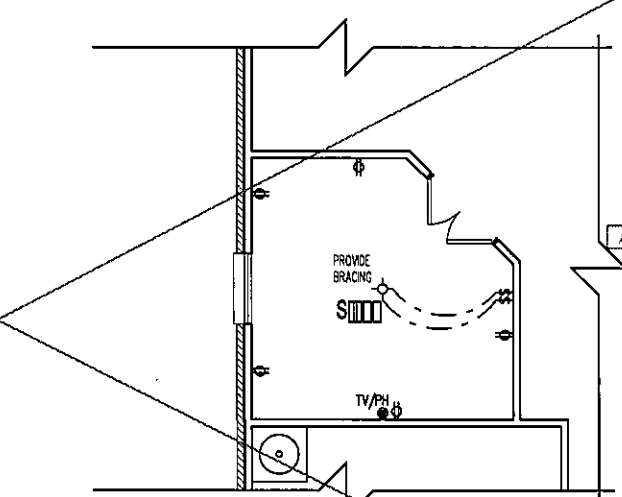
OPT. COVERED PATIO E.T. PARTIAL RIGHT SIDE
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



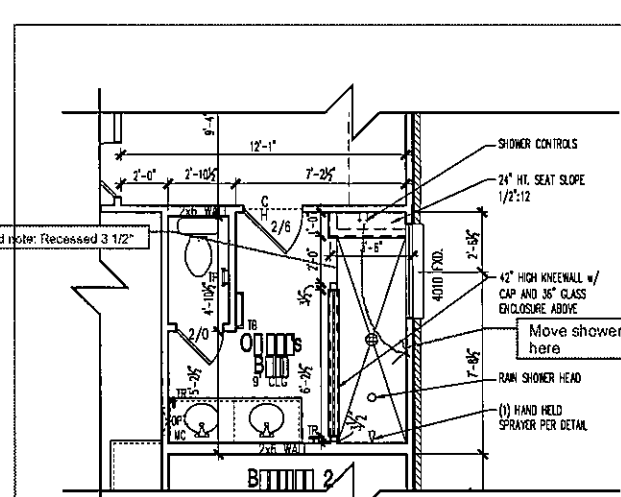
OPT. COVERED PATIO E.T. [PARTIAL ROOF PLAN]
 SCALE 1/16" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 22x34 PAPER)



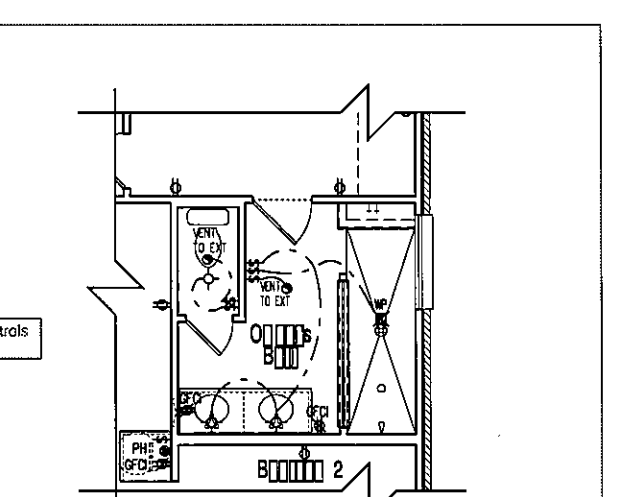
OPT. STUDY ILO FILE [69404]
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



OPT. STUDY ILO FILE [ELEC. PLAN]
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



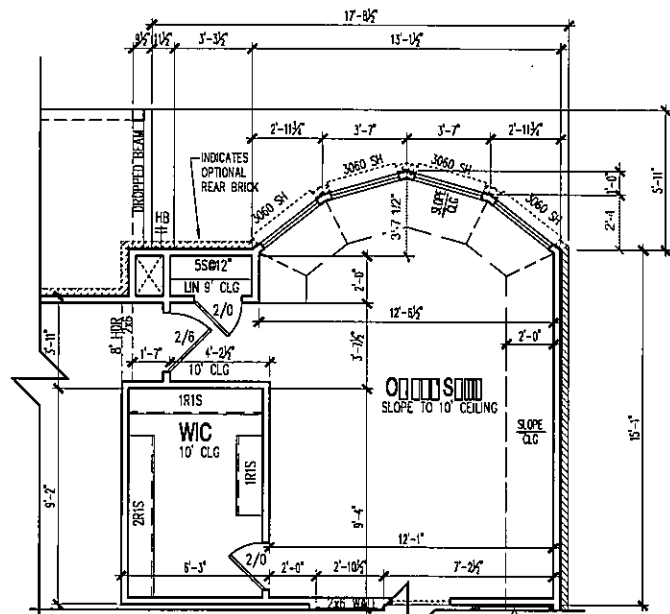
OWNER'S BATH OPT. [69441]
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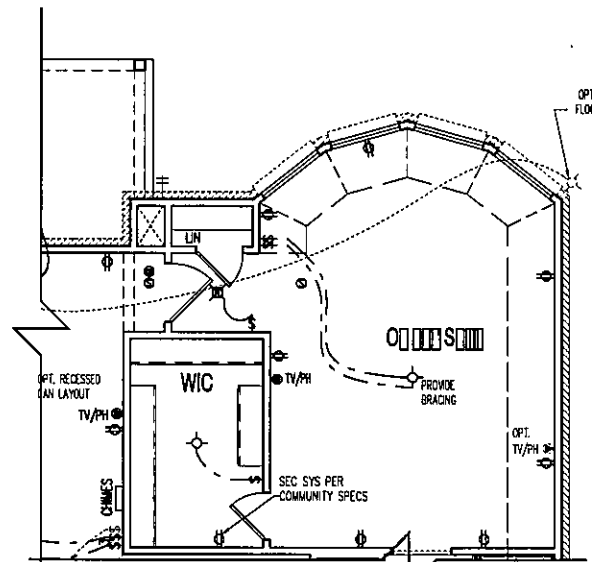
OWNER'S BATH OPT. [ELEC. PLAN]
 SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

PLOTTED: May 12, 2015 / Maria Suarez / 0921.100.00_ORLEANS_JH_CONSTRUCTION_SET_05.11.15.DWG

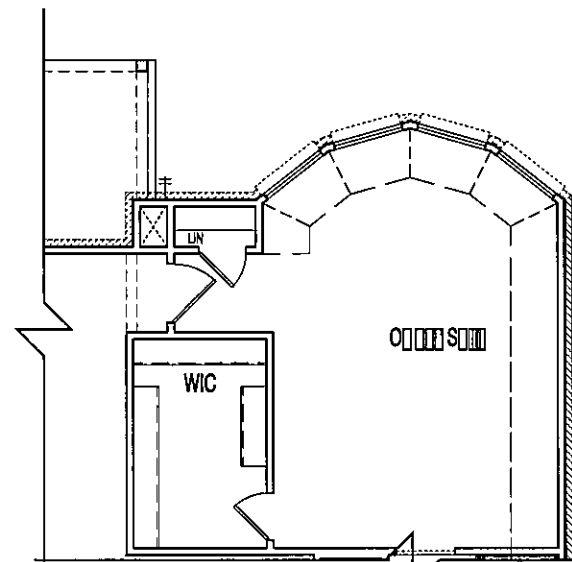
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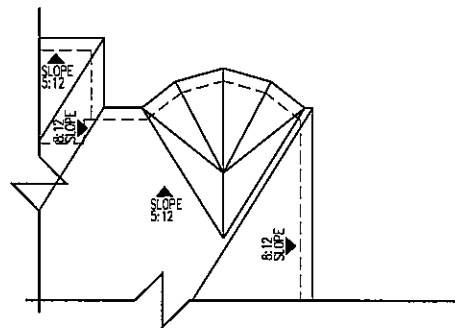
OPT. BAY WINDOW AT OWNER'S SUITE
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



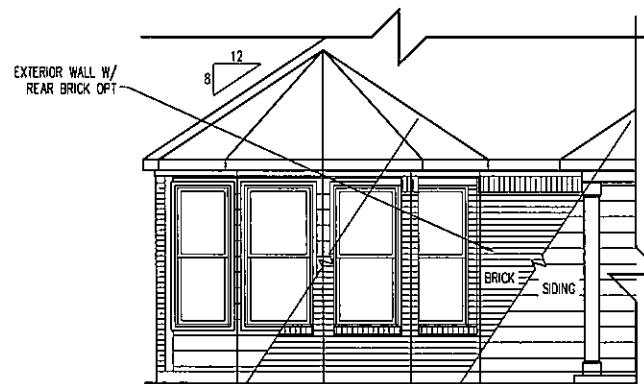
OPT. BAY WINDOW AT OWNER'S SUITE [ELEC.]
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



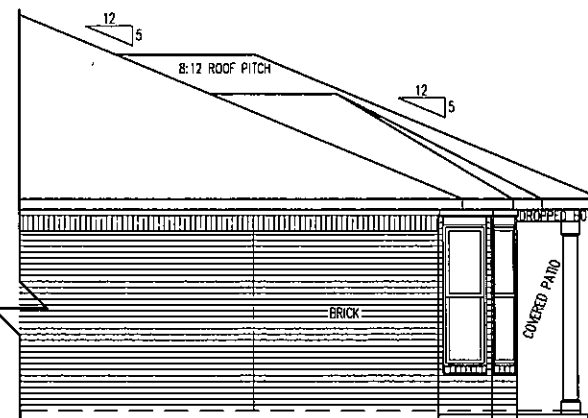
OPT. BAY WINDOW AT OWNER'S SUITE



OPT. BAY WINDOW AT OWNER'S SUITE PARTIAL ROOF PLAN
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



OPT. BAY WINDOW AT OWNER'S SUITE PARTIAL REAR ELEVATION
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



OPT. BAY WINDOW AT OWNER'S SUITE PARTIAL RIGHT ELEVATION
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

PRINTED 05/11/15

0921.100.00 CONSTRUCTION SET

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Floor Plan Options

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

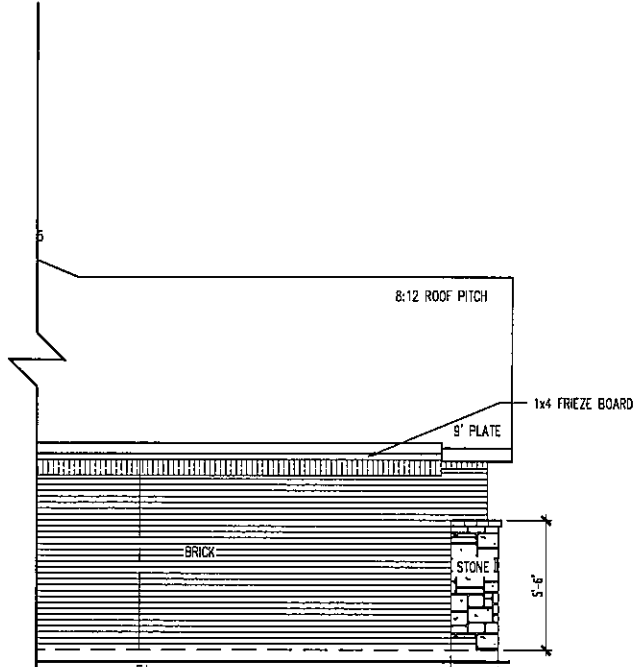
REV	DATE/DESCRIPTION

PROJECT TYPE
Single Family

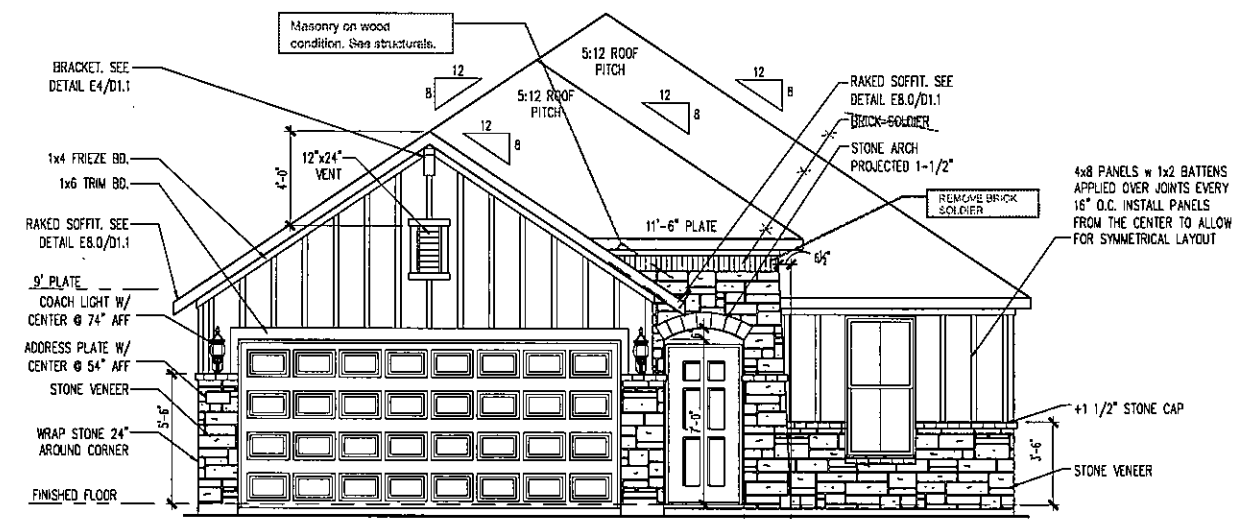
SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans
XPC CHILD NUMBER
0921.100.00

SHEET
A2.2

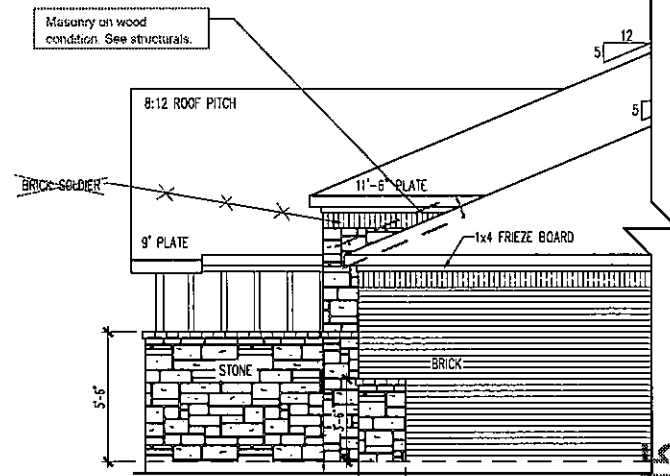


PARTIAL LEFT SIDE
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

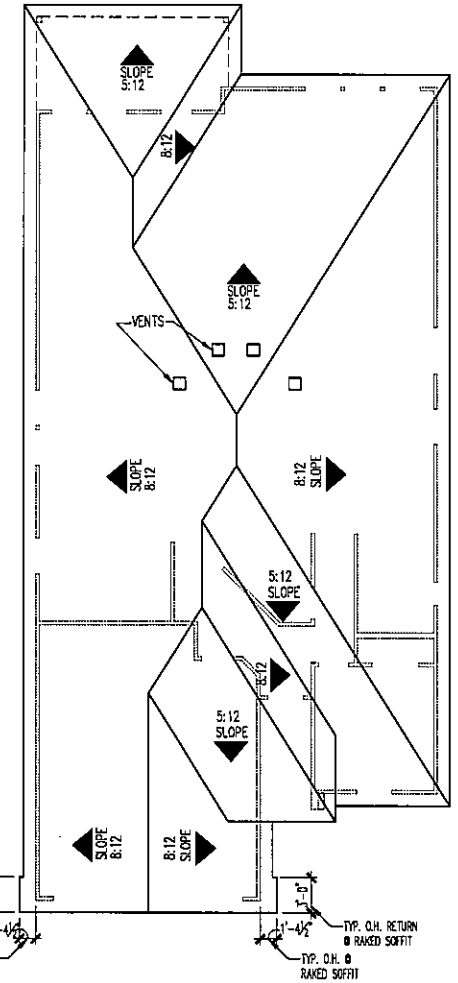


ELEVATION E
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

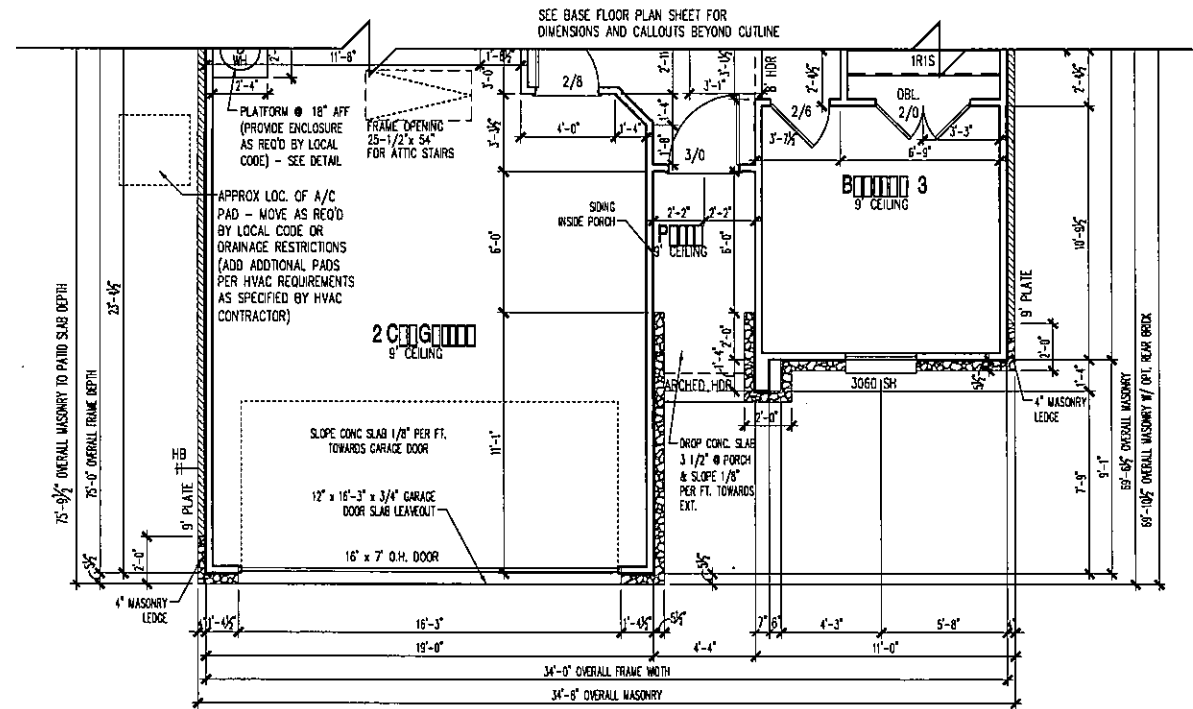
TYP. OVERALL ROOF PITCH: AS NOTED
TYP. FIRST FLOOR PLATE HEIGHT: 9' PLATE
TYP. WINDOW HEADER HEIGHT: (SEE DETAIL)



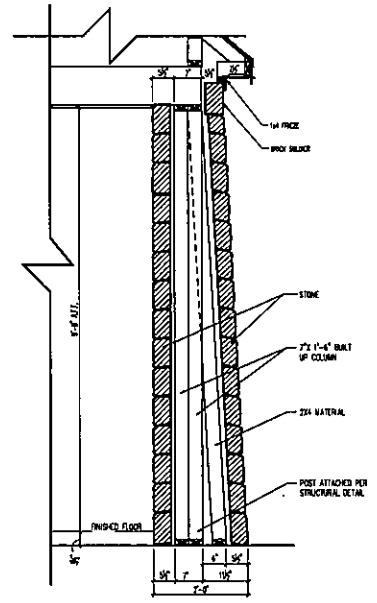
PARTIAL RIGHT SIDE
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



ROOF PLAN ELEVATION E
SCALE 1/16" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 22x34 PAPER)
ALL ROOF SLOPES AS NOTED
ALL ROOF OVERHANGS 1'-0" 1/2" FROM FRAME WALL



FIRST FLOOR PLAN ELEVATION E
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



TAPERED COLUMN SECTION
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/2" = 1'-0" ON 22x34 PAPER)

SQUARE FOOTAGE AREAS (FRAME) ELEV "E"	
A/C LIVING AREAS	SQ. FT.
1st FLOOR - Frame E	1721 SF
	1721 SF
OPT. BAY WINDOW	+ 27 SF

SQUARE FOOTAGE AREAS (MASONRY) ELEV "E"	
A/C LIVING AREAS	SQ. FT.
1st FLOOR - Masonry E	1782 SF
	1782 SF
OPT. FULL BRICK @ REAR	+ 12 SF
OPT. BAY WINDOW w/ BRICK @ REAR	+ 32 SF

FOUNDATION SQUARE FOOTAGE NOTES "E"	
SLAB AREAS	SQ. FT.
COV. PATIO	138 SF
ELEV E PORCH	42 SF
GARAGE E	447 SF
	627 SF
OPT. FULL BRICK @ REAR	+ 6 SF
OPT. EXTENDED COV. PATIO	+ 69 SF

0921.100.00 CONSTRUCTION SET
PRINTED 05/11/15



0921.100.00 CONSTRUCTION SET
PRINTED 05/11/15

REV#	DATE/DESCRIPTION

PROJECT TYPE: Single Family
SPECIFICATION LEVEL: Pulte
PLAN NAME: Orleans
NPC CHILD NUMBER: 0921.100.00
SHEET: E1.1e

PLOTTED: May 12, 2015 / Media Server / 0921.100.00 CONSTRUCTION SET 05/11/15.DWG

PRINTED 05/11/15

Typical Side & Rear Elevations

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

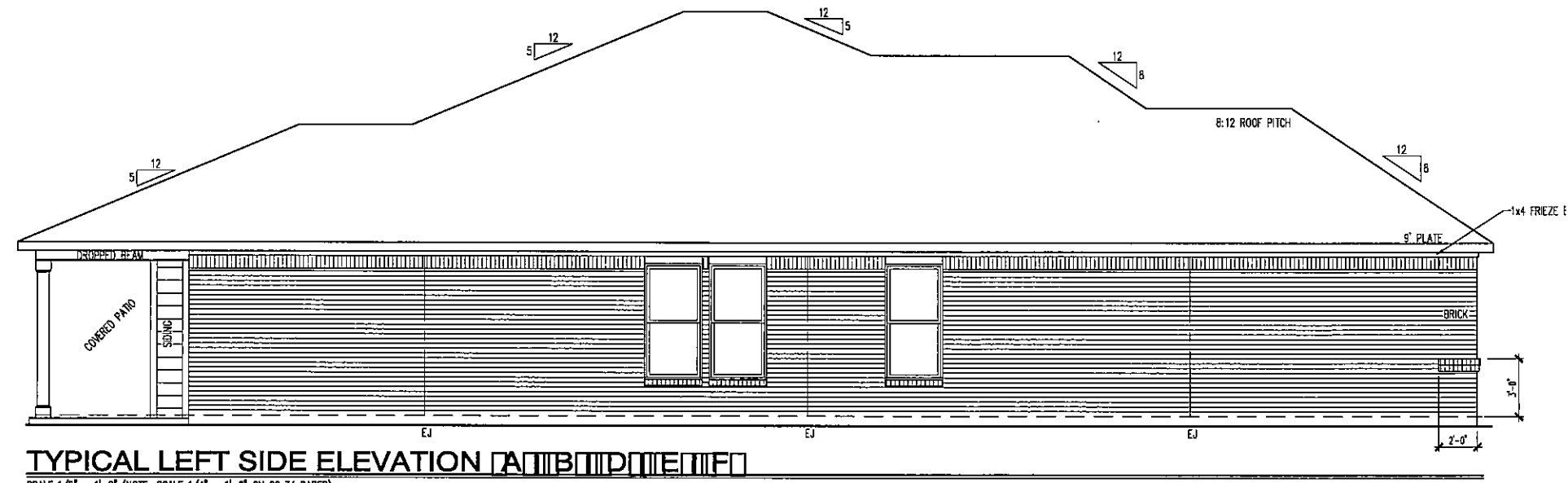
REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

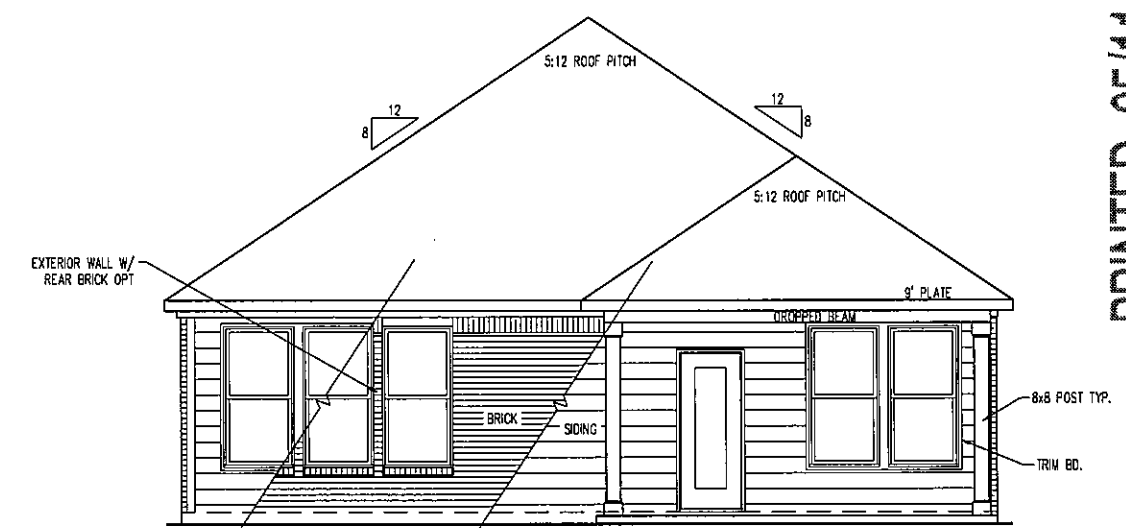
SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans
NPC CHILD NUMBER
0921.100.00

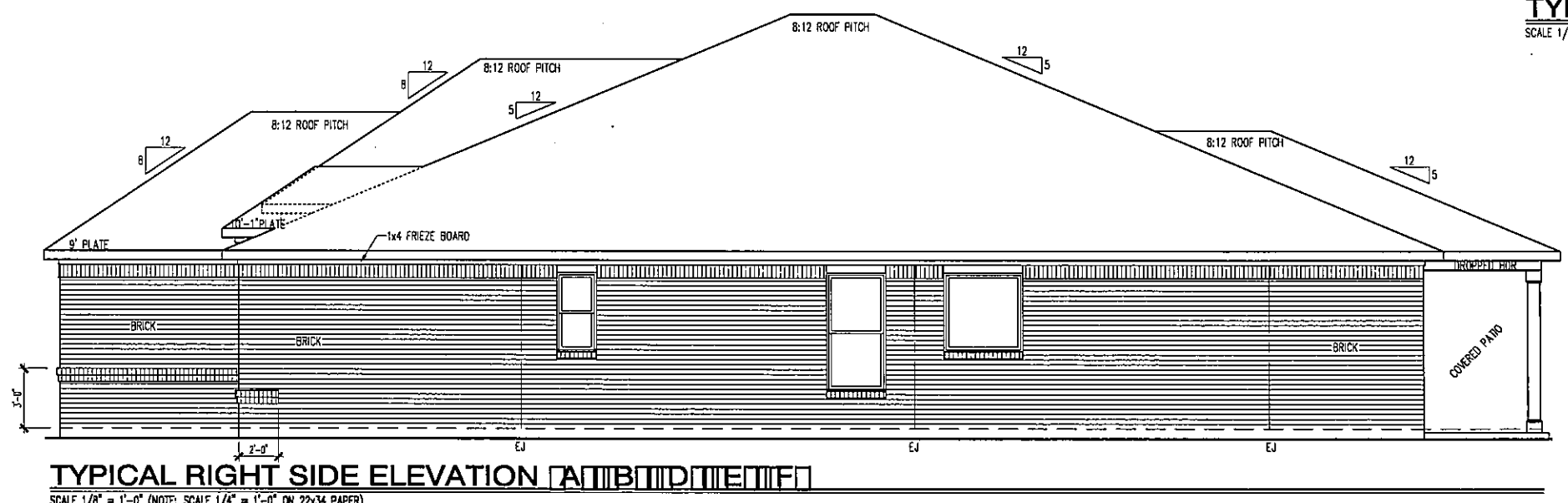
SHEET
E3.1



TYPICAL LEFT SIDE ELEVATION A B C D E F
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



TYPICAL REAR ELEVATION A B C D E F
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)
TYP. OVERALL ROOF PITCH: AS NOTED
TYP. FIRST FLOOR PLATE HEIGHT: 9' PLATE
TYP. WINDOW HEADER HEIGHT: (SEE DETAIL)



TYPICAL RIGHT SIDE ELEVATION A B C D E F
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

MASONRY PERCENTAGE CALCULATIONS - 0921.100.00 - 011111s

NOTE: THESE WALL AREAS ARE FOR THE SOLE PURPOSE OF PROVIDING BRICK PERCENTAGES IN ORDER TO MEET LOCAL CODE/BUILDING RESTRICTIONS AND SHOULD NOT BE USED FOR ESTIMATING PURPOSES.

ELEVATION [A]		ELEVATION [B]		ELEVATION [C]		ELEVATION [D]		ELEVATION [E]		ELEVATION [F]		ELEVATION [G]		ELEVATION [H]	
EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY	
WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA
.BRK FRONT	125 SF	.BRK FRONT	140 SF	.BRK FRONT	210 SF	.BRK FRONT	214 SF	.BRK FRONT	82 SF	.BRK FRONT	71 SF	.BRK FRONT	41 SF	.BRK FRONT	114 SF
.BRK LT SIDE	507 SF	.BRK LT SIDE	507 SF	.BRK LT SIDE	518 SF	.BRK LT SIDE	507 SF	.BRK LT SIDE	490 SF	.BRK LT SIDE	490 SF	.BRK LT SIDE	516 SF	.BRK LT SIDE	517 SF
.BRK RT SIDE	535 SF	.BRK RT SIDE	532 SF	.BRK RT SIDE	545 SF	.BRK RT SIDE	535 SF	.BRK RT SIDE	507 SF	.BRK RT SIDE	518 SF	.BRK RT SIDE	518 SF	.BRK RT SIDE	546 SF
	1167 SF		1179 SF		1273 SF		1256 SF		1079 SF		1080 SF		1075 SF		1177 SF
EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING	
WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA
.SDG FRONT	4 SF	.SDG FRONT	4 SF	.SDG FRONT	65 SF	.SDG FRONT	4 SF	.SDG FRONT	134 SF	.SDG FRONT	155 SF	.SDG FRONT	214 SF	.SDG FRONT	161 SF
.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF
.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	211 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	211 SF	.SIDING LT SIDE	211 SF
.SIDING RT SIDE	169 SF	.SIDING RT SIDE	189 SF	.SIDING RT SIDE	195 SF	.SIDING RT SIDE	169 SF	.SIDING RT SIDE	18 SF	.SIDING RT SIDE	9 SF	.SIDING RT SIDE	246 SF	.SIDING RT SIDE	195 SF
					639 SF				337 SF		349 SF		840 SF		735 SF
TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA	
TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.
MASONRY + SIDING =	1360	MASONRY + SIDING =	1370	MASONRY + SIDING =	1915	MASONRY + SIDING =	1447	MASONRY + SIDING =	1418	MASONRY + SIDING =	1429	MASONRY + SIDING =	1913	MASONRY + SIDING =	1910
MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %	
ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE
FRONT	97%	FRONT	97%	FRONT	77%	FRONT	98%	FRONT	36%	FRONT	32%	FRONT	16%	FRONT	42%
RIGHT SIDE	100%	RIGHT SIDE	100%	RIGHT SIDE	74%	RIGHT SIDE	100%	RIGHT SIDE	97%	RIGHT SIDE	98%	RIGHT SIDE	68%	RIGHT SIDE	74%
LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	71%	LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	71%	LEFT SIDE	71%
REAR	0%	REAR	0%	REAR	0%	REAR	0%	REAR	0%	REAR	0%	REAR	0%	REAR	0%
OVERALL TOTAL	73%	OVERALL TOTAL	74%	OVERALL TOTAL	55%	OVERALL TOTAL	74%	OVERALL TOTAL	57%	OVERALL TOTAL	57%	OVERALL TOTAL	39%	OVERALL TOTAL	47%

MASONRY PERCENTAGE CALCULATIONS W/ OPT REAR BRICK - 0921.100.00 - 011111s

NOTE: THESE WALL AREAS ARE FOR THE SOLE PURPOSE OF PROVIDING BRICK PERCENTAGES IN ORDER TO MEET LOCAL CODE/BUILDING RESTRICTIONS AND SHOULD NOT BE USED FOR ESTIMATING PURPOSES.

ELEVATION [A]		ELEVATION [B]		ELEVATION [C]		ELEVATION [D]		ELEVATION [E]		ELEVATION [F]		ELEVATION [G]		ELEVATION [H]	
EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY		EXTERIOR WALL CALC's FOR MASONRY	
WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA
.BRK FRONT	125 SF	.BRK FRONT	140 SF	.BRK FRONT	210 SF	.BRK FRONT	214 SF	.BRK FRONT	82 SF	.BRK FRONT	71 SF	.BRK FRONT	41 SF	.BRK FRONT	114 SF
.BRK LT SIDE	507 SF	.BRK LT SIDE	507 SF	.BRK LT SIDE	518 SF	.BRK LT SIDE	507 SF	.BRK LT SIDE	490 SF	.BRK LT SIDE	490 SF	.BRK LT SIDE	516 SF	.BRK LT SIDE	517 SF
.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF	.BRK OPT REAR	176 SF
.BRK RT SIDE	535 SF	.BRK RT SIDE	532 SF	.BRK RT SIDE	545 SF	.BRK RT SIDE	535 SF	.BRK RT SIDE	507 SF	.BRK RT SIDE	518 SF	.BRK RT SIDE	518 SF	.BRK RT SIDE	546 SF
	1344 SF		1355 SF		1449 SF		1432 SF		1256 SF		1256 SF		1251 SF		1354 SF
EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING		EXTERIOR WALL CALC's FOR SIDING	
WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA	WALL TYPE	AREA
.SDG FRONT	4 SF	.SDG FRONT	4 SF	.SDG FRONT	65 SF	.SDG FRONT	4 SF	.SDG FRONT	134 SF	.SDG FRONT	155 SF	.SDG FRONT	214 SF	.SDG FRONT	161 SF
.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF	.SDG REAR	169 SF
.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	211 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	16 SF	.SIDING LT SIDE	211 SF	.SIDING LT SIDE	211 SF
.SIDING RT SIDE	21 SF	.SIDING RT SIDE	20 SF	.SIDING RT SIDE	195 SF	.SIDING RT SIDE	21 SF	.SIDING RT SIDE	18 SF	.SIDING RT SIDE	9 SF	.SIDING RT SIDE	246 SF	.SIDING RT SIDE	195 SF
					470 SF				168 SF		180 SF		671 SF		566 SF
TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA		TOTAL WALL AREA	
TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.	TOTAL WALL AREA:	TOTAL S.F.
MASONRY + SIDING =	1367	MASONRY + SIDING =	1377	MASONRY + SIDING =	1922	MASONRY + SIDING =	1454	MASONRY + SIDING =	1425	MASONRY + SIDING =	1435	MASONRY + SIDING =	1920	MASONRY + SIDING =	1917
MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %		MASONRY %	
ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE	ELEVATION OF HOUSE:	PERCENTAGE
FRONT	97%	FRONT	97%	FRONT	77%	FRONT	98%	FRONT	36%	FRONT	32%	FRONT	16%	FRONT	42%
RIGHT SIDE	100%	RIGHT SIDE	100%	RIGHT SIDE	74%	RIGHT SIDE	100%	RIGHT SIDE	97%	RIGHT SIDE	98%	RIGHT SIDE	68%	RIGHT SIDE	74%
LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	71%	LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	97%	LEFT SIDE	71%	LEFT SIDE	71%
REAR	100%	REAR	100%	REAR	100%	REAR	100%	REAR	100%	REAR	100%	REAR	100%	REAR	100%
OVERALL TOTAL	98%	OVERALL TOTAL	99%	OVERALL TOTAL	80%	OVERALL TOTAL	99%	OVERALL TOTAL	82%	OVERALL TOTAL	82%	OVERALL TOTAL	64%	OVERALL TOTAL	72%

PRINTED 05/11/15

Texas
4800 Regent Blvd., Suite 100
Irving, TX 75063



Masonry Percentage Calculations

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15































REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

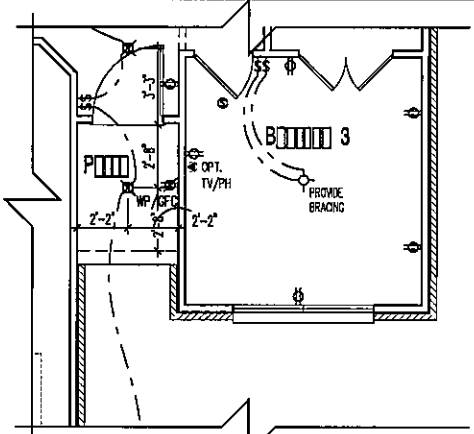
PLAN NAME
Orleans
HPC CHILD NUMBER
0921.100.00

SHEET
E4.1

ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
FLOOR OUTLET	
110V OUTLET	
220V OUTLET	
1/2 HOT OUTLET	
GFCI OUTLET	
WP GFCI OUTLET	
CARAGE DOOR OPENER OUTLET	
SECURITY SYSTEM	
DISHWASHER	
IRRIGATION SYSTEM RECEPTACLE	
GOLF CART RECEPTACLE	
CEILING MOUNTED LIGHT	
RECESSED CEILING LIGHT	
RECESSED WATER PROOF LIGHT	
WALL MOUNTED LIGHT	
UNDER CABINET LIGHT	
TWO WAY SWITCH	
THREE WAY SWITCH	
FOUR WAY SWITCH	
DIMMER SWITCH	
FIREPLACE IGNITOR	
EXHAUST VENTS	
LIGHT/FAN COMBO	
PHONE OUTLET	
TV OUTLET	
TV/PH	
SMOKE DETECTOR	
CARBON MONOXIDE DETECTOR	
DOOR CHIMES	
ELECTRICAL PAND.	

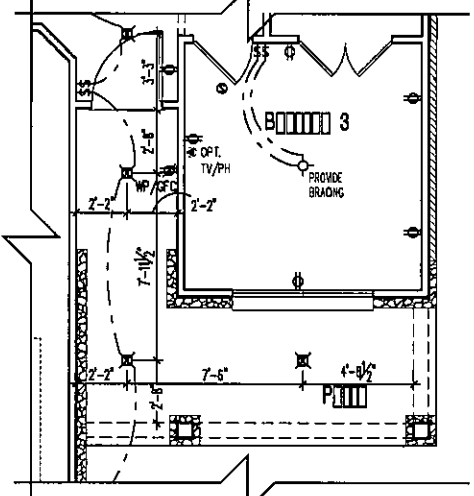
ELECTRICAL NOTES

- # EXPLANATION
- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE LOCAL MUNICIPALITIES ADOPTED CODES.
 - THE ELECTRICAL OPENINGS AND FIXTURES ON THIS DRAWING ARE ALL SHOWN IN APPROXIMATE LOCATIONS. LOCATIONS ARE NOT TO BE SCALED FROM THIS DRAWING. PULTE STANDARDS AND ANY CODE REQUIREMENTS THAT APPLY ARE TO BE FOLLOWED FOR ACTUAL PLACEMENT OF OPENINGS AND FIXTURES IN THE FIELD.
 - REMOVE 220V AT WATER HEATER WHEN GAS & CAN BE VENTED PROPERLY.
 - CARBON MONOXIDE DETECTORS ARE IN APPROXIMATE LOCATIONS. CHECK WITH LOCAL MUNICIPALITY FOR REQUIREMENTS.
 - REPLACE 220V WITH 110V AT COOKTOP/ RANGE AND DRYER WHEN GAS.



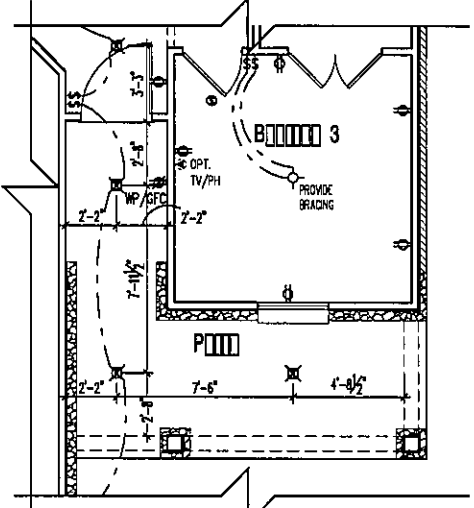
FIRST FLOOR ELEVATION A

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



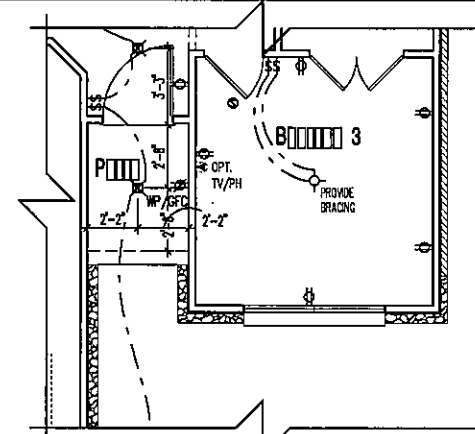
FIRST FLOOR ELEVATION C

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



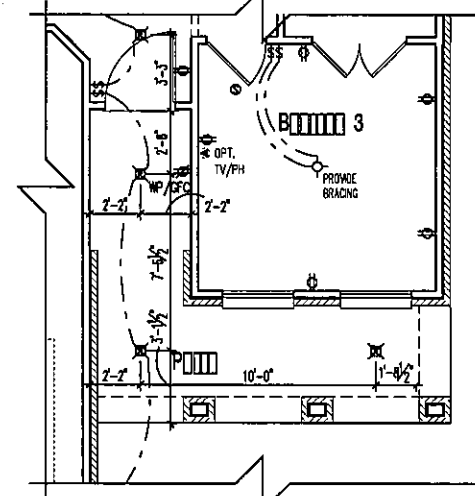
FIRST FLOOR ELEVATION F

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



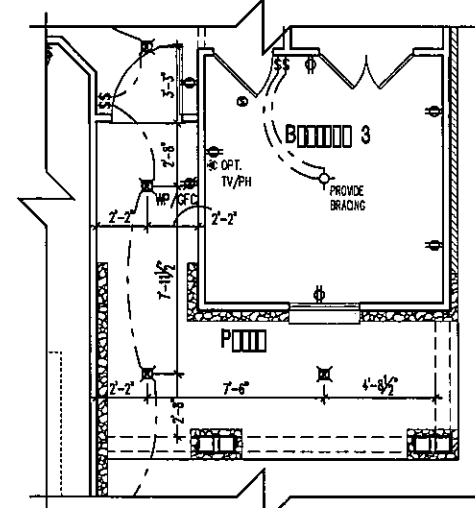
FIRST FLOOR ELEVATION B

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



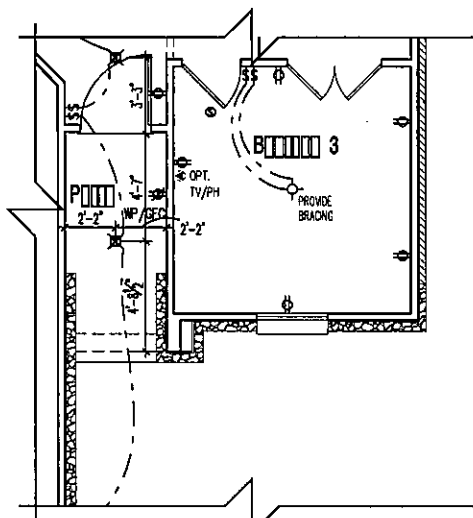
FIRST FLOOR ELEVATION D

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



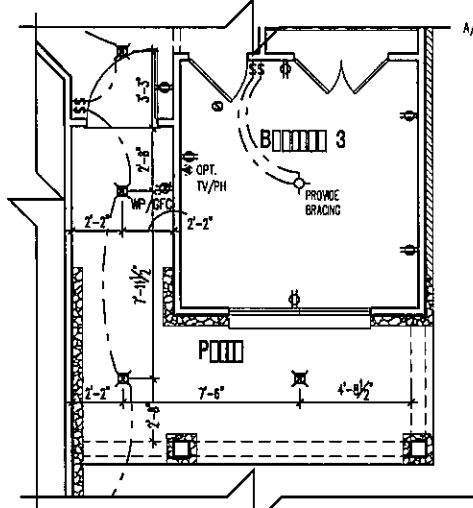
FIRST FLOOR ELEVATION G

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



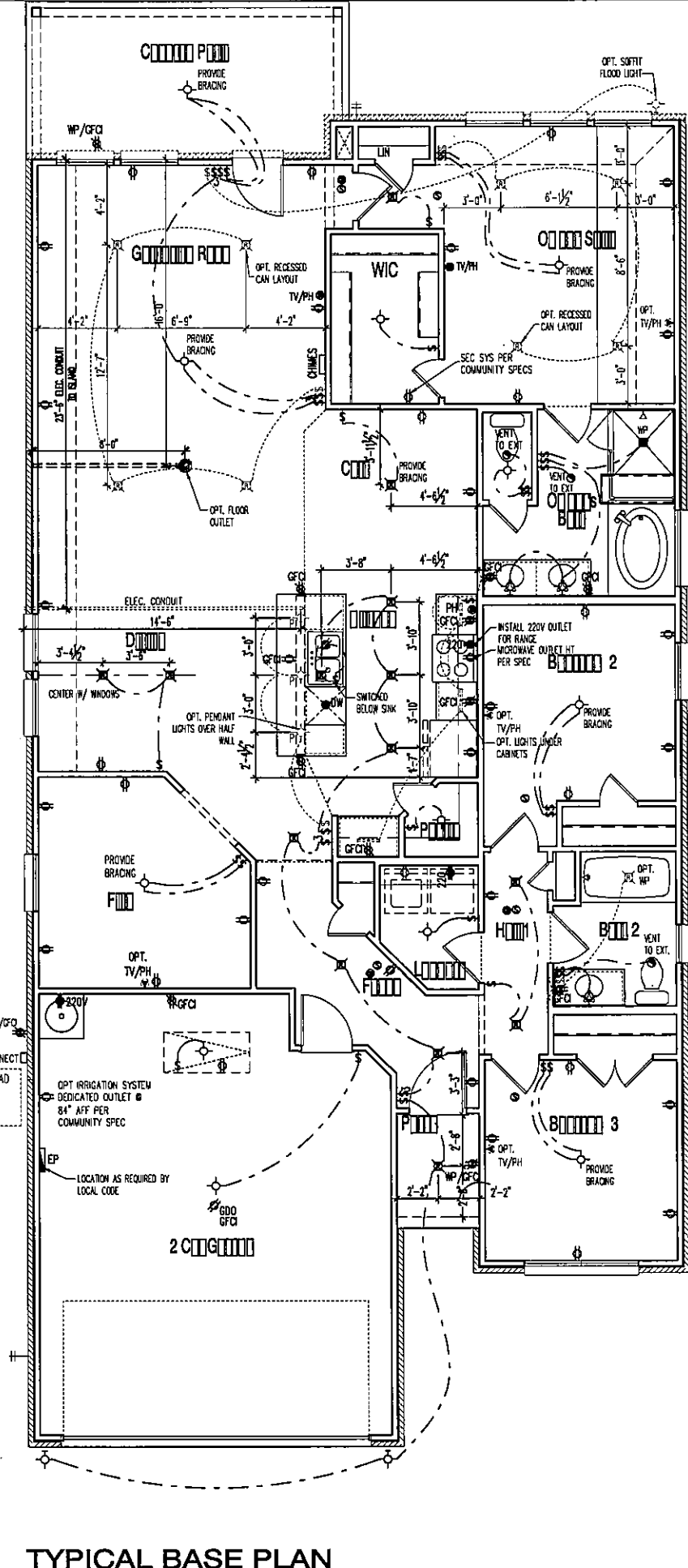
FIRST FLOOR ELEVATION E

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



FIRST FLOOR ELEVATION H

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



TYPICAL BASE PLAN

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Pulte
 4800 Regent Blvd., Suite 100
 Irving, TX 75063

PRINTED 05/11/15

Electrical Plan

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER	ERIC MENENDEZ
INITIAL RELEASE	DATE: 05/11/15
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	

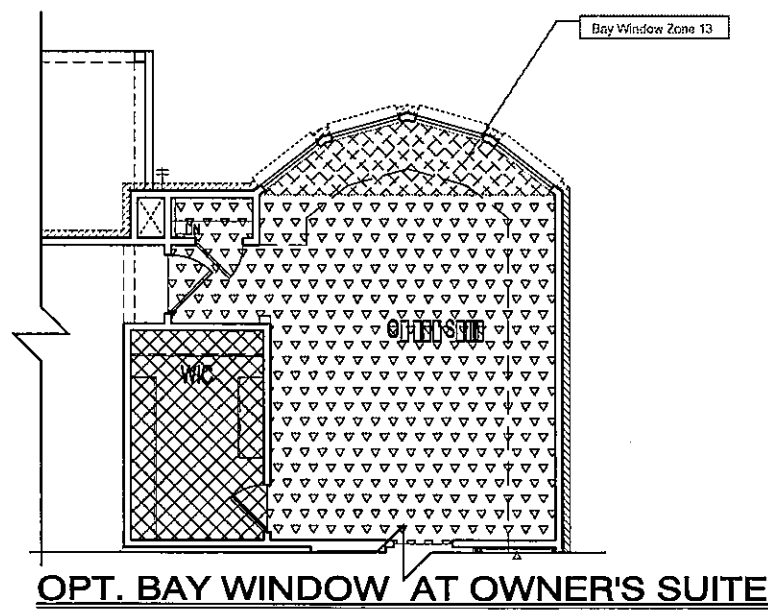
PROJECT TYPE: Single Family
 SPECIFICATION LEVEL: Pulte
 PLAN NAME: Orleans
 NRC CHILD NUMBER: 0921.100.00
 SHEET: **B1.1**

FLOORING ZONE LEGEND

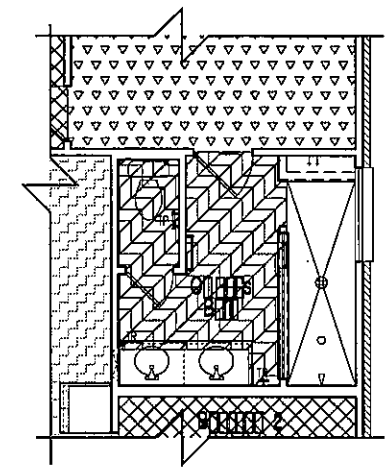
	FLOORING ZONE 0 FOYER
	FLOORING ZONE 1 KITCHEN
	FLOORING ZONE 3 GATHERING ROOM
	FLOORING ZONE 4 OWNERS SUITE
	FLOORING ZONE 5 OWNERS BATHROOM
	FLOORING ZONE 6 SECONDARY BEDROOMS
	FLOORING ZONE 7 SECONDARY BATHROOMS
	FLOORING ZONE 8 DINING
	FLOORING ZONE 9 FLE
	FLOORING ZONE 13 OWNERS SUITE
	FLOORING ZONE 20 HALL
	FLOORING ZONE 37 LAUNDRY

Owner's Suite Bay window

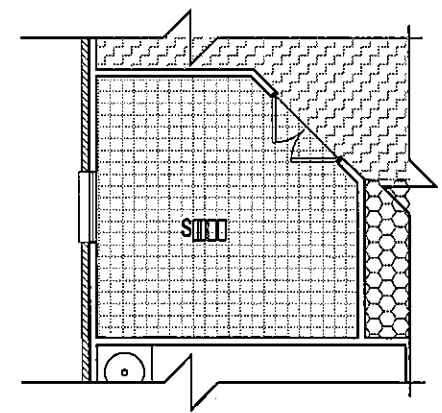
PLOTFILE: May 12, 2015 / Ardena Suarez / 0921.100.00 ORLEANS.UH CONSTRUCTION SET 05.11.15.DWG



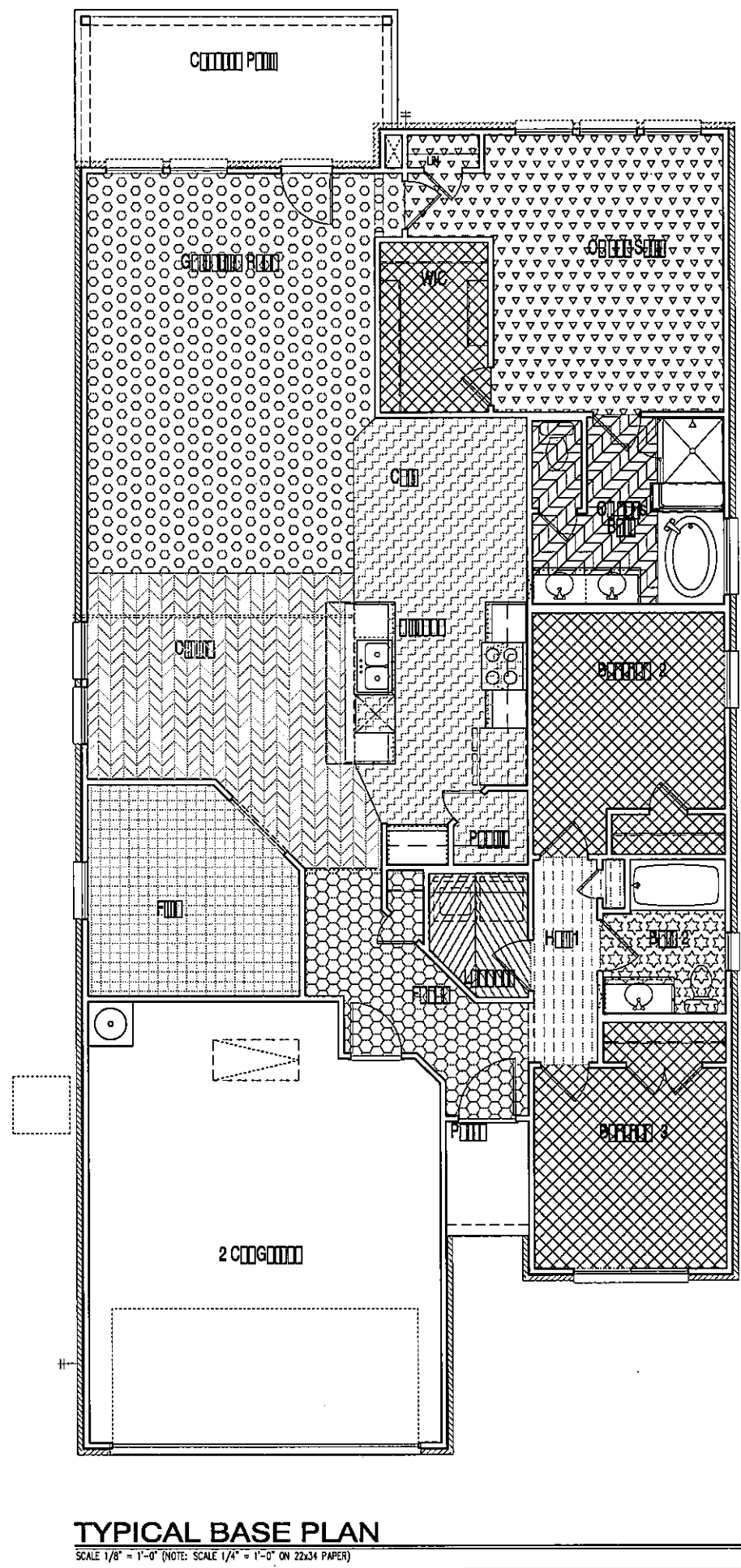
OPT. BAY WINDOW AT OWNER'S SUITE



OWNER'S BATH OPT.
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



OPT. STUDY ILO FLE
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



TYPICAL BASE PLAN
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

0921.100.00 CONSTRUCTION SET

PRINTED 05/11/15

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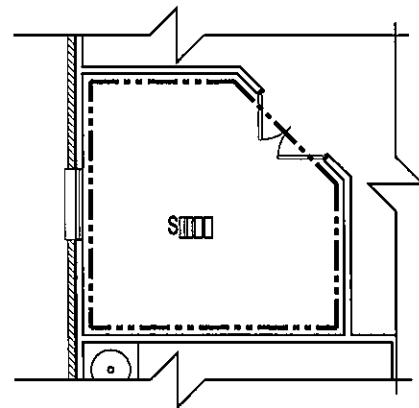


Flooring Zones

PRODUCT MANAGER ERIC MENENDEZ	
INITIAL RELEASE DATE: 05/11/15	
REV#	DATE/DESCRIPTION
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	
PROJECT TYPE Single Family	
SPECIFICATION LEVEL Pulte	
PLAN NAME Orleans	
NPC CHILD NUMBER 0921.100.00	
SHEET FZ1.1	

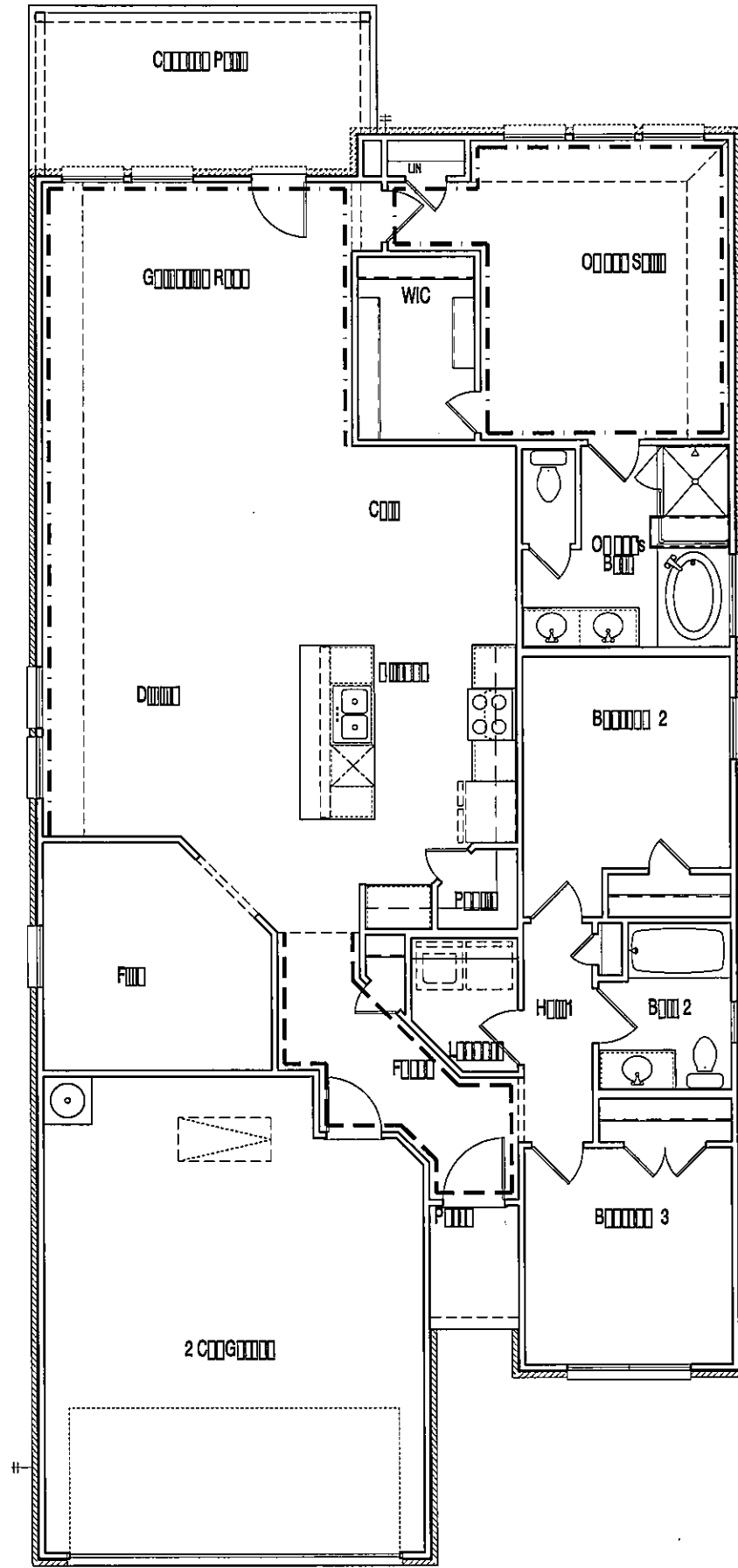
TRIM ONE LEGEND

- OPT. CROWN 1
- OPT. CROWN 2
- STD. CROWN



OPT. STUDY ILO FLE

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)



TYPICAL BASE PLAN

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

PLOTED: May 12, 2015 / Maple, Suarez / 0921.100.00_ORLEANS_LJI_CONSTRUCTION SET 05.11.15.DWG

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Trim Zones

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

REV#	DATE	DESCRIPTION

PROJECT TYPE
Single Family

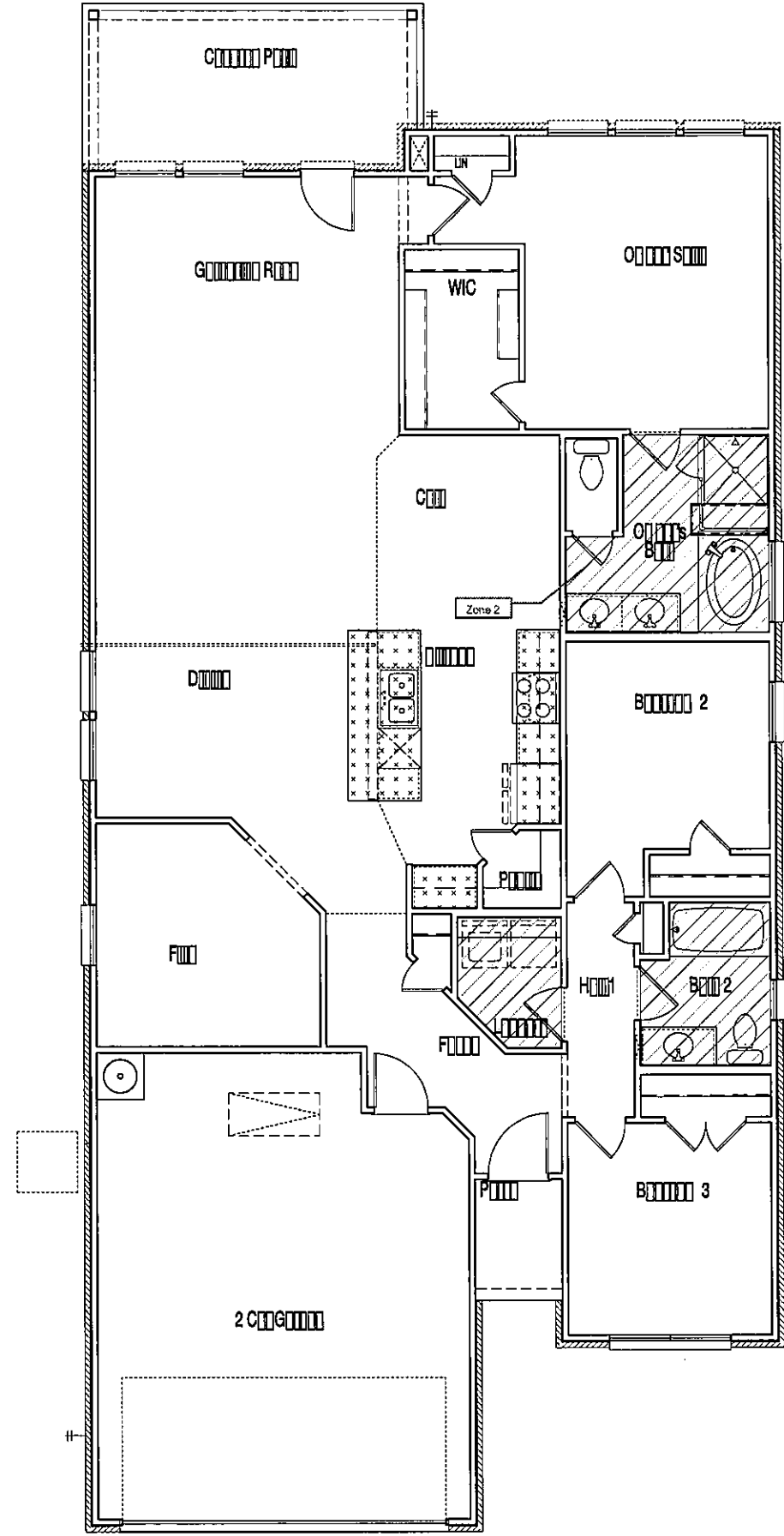
SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans
NPC CHILD NUMBER
0921.100.00

SHEET
T71.1

CABINET ONE LEGEND

	CABINET ONE 1
	CABINET ONE 2
	CABINET ONE 3



TYPICAL BASE PLAN
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/4" = 1'-0" ON 22x34 PAPER)

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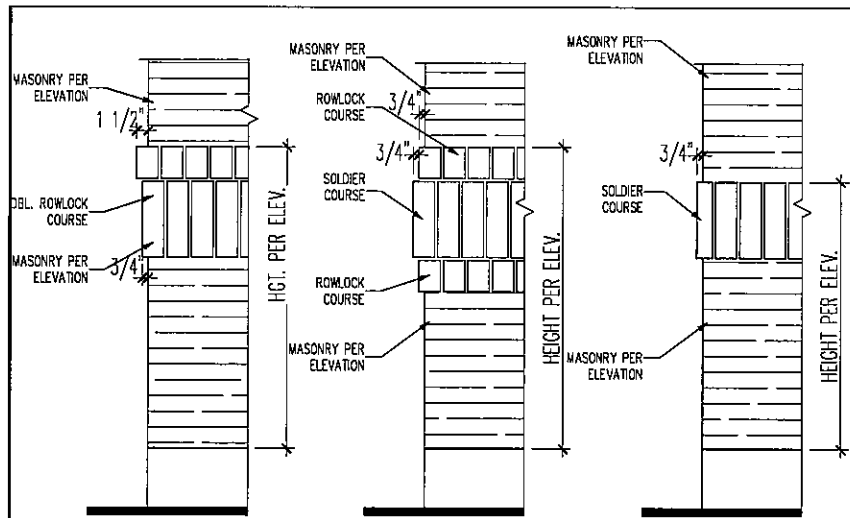


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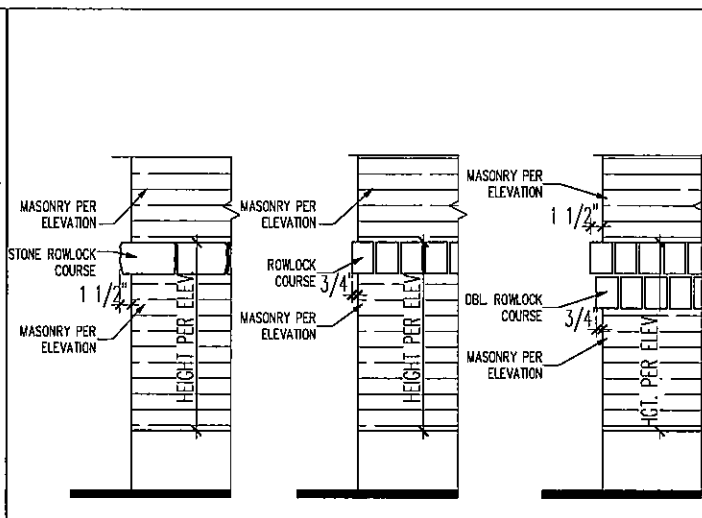
Cabinet Zones

0921.100.00 CONSTRUCTION SET

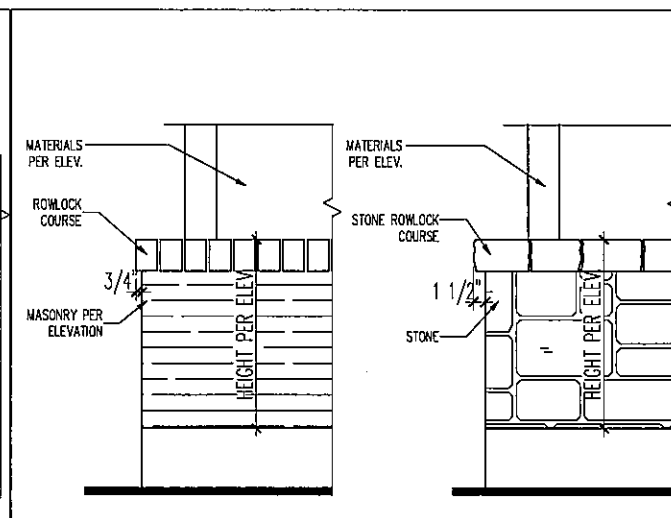
PRODUCT MANAGER ERIC MENENDEZ
INITIAL RELEASE DATE: 05/11/15
REV# DATE/DESCRIPTION
△
△
△
△
△
△
△
PROJECT TYPE Single Family
SPECIFICATION LEVEL Pulte
PLAN NAME Orleans
NPC CHILD NUMBER 0921.100.00
SHEET CZ1.1



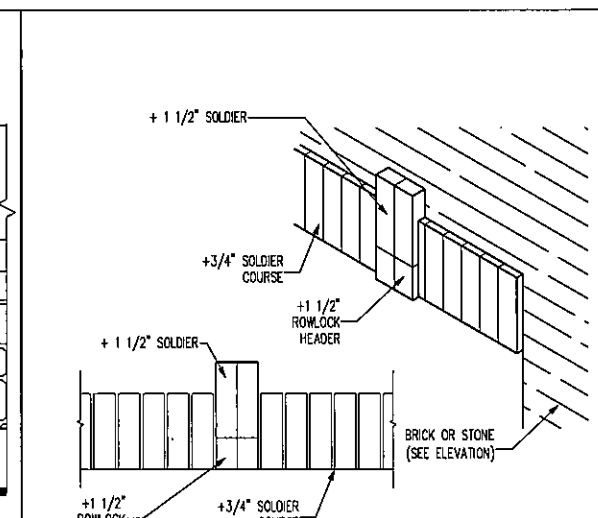
E1 ROWLOCK/SOLDIER DETAILS
SCALE 1/2" = 1'-0" (NOTE: 1" SCALE ON 22x34 PAPER)



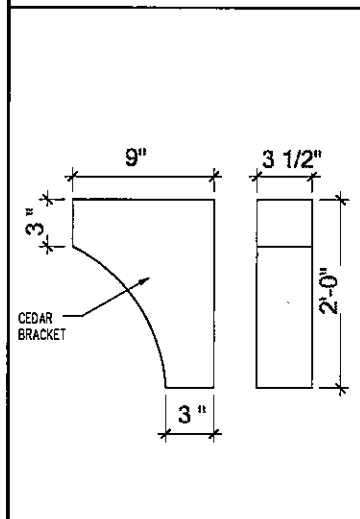
E2 SINGLE & DBL ROWLOCK DETAILS
SCALE 1/2" = 1'-0" (NOTE: 1" SCALE ON 22x34 PAPER)



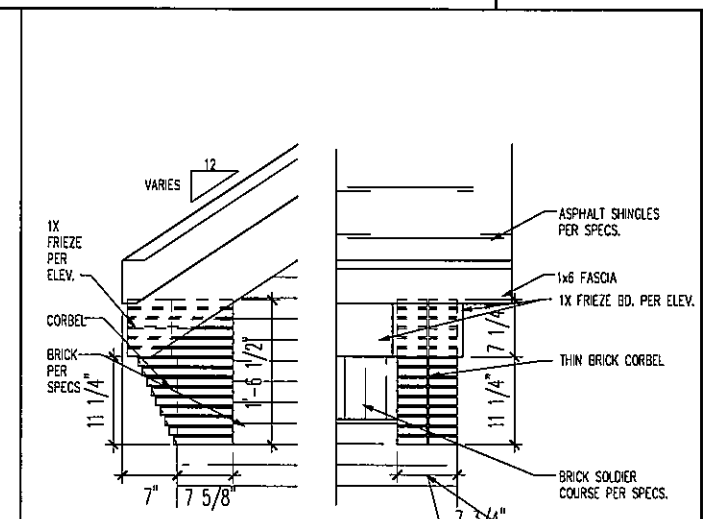
E3 BOARD & BATTEN OVER 5 1/2\"/>



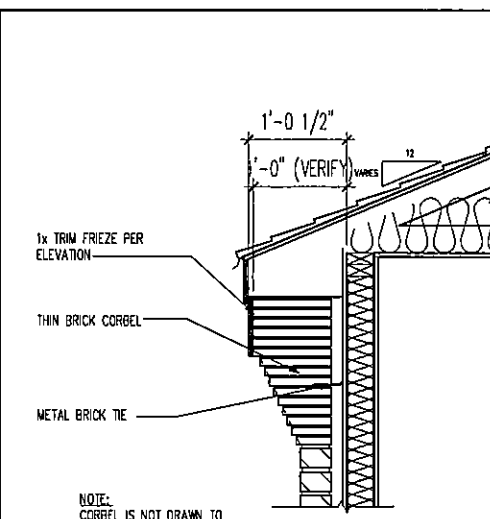
E5 MASONRY PEYSTONE / MASONRY SOLDIER COURSE
SCALE 1/2" = 1'-0" (NOTE: 1" SCALE ON 22x34 PAPER)



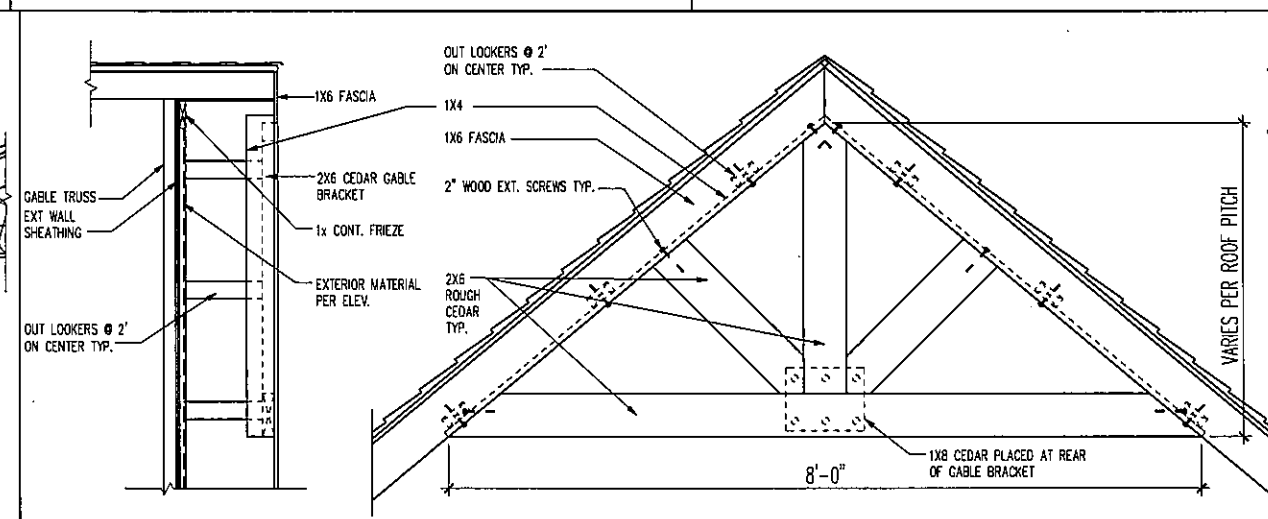
E4 BRACKET DETAIL
SCALE 1/2" = 1'-0" (NOTE: 1" SCALE ON 22x34 PAPER)



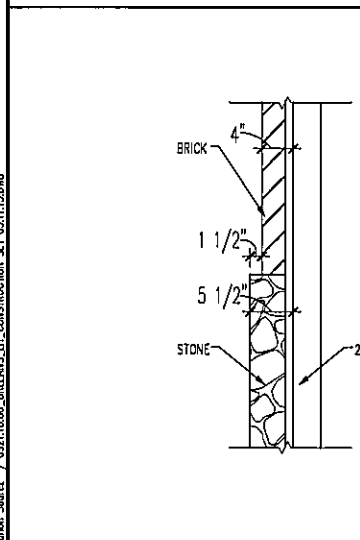
E6 THIN BRICK CORBEL DETAIL - FRONT-SIDE
NOT TO SCALE



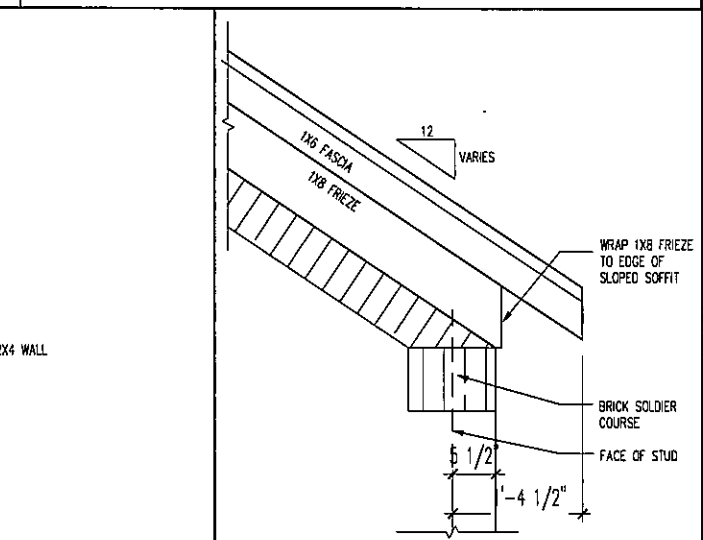
E6.1 THIN BRICK CORBEL DETAIL - SECTION
NOT TO SCALE



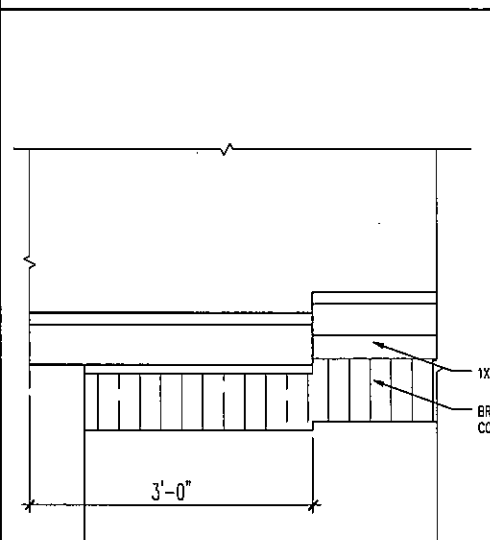
E6.2 CEDAR GABLE BRACKET - 10:12 PITCH
NOT TO SCALE



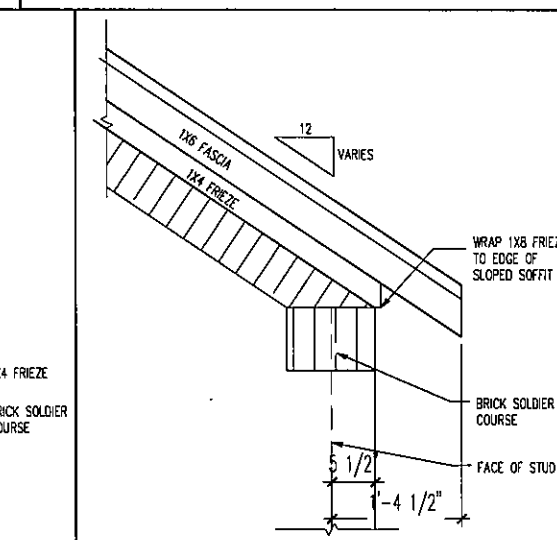
E6.3 5.5 INCH STONE & 4 INCH BRICK CONDITION
NOT TO SCALE



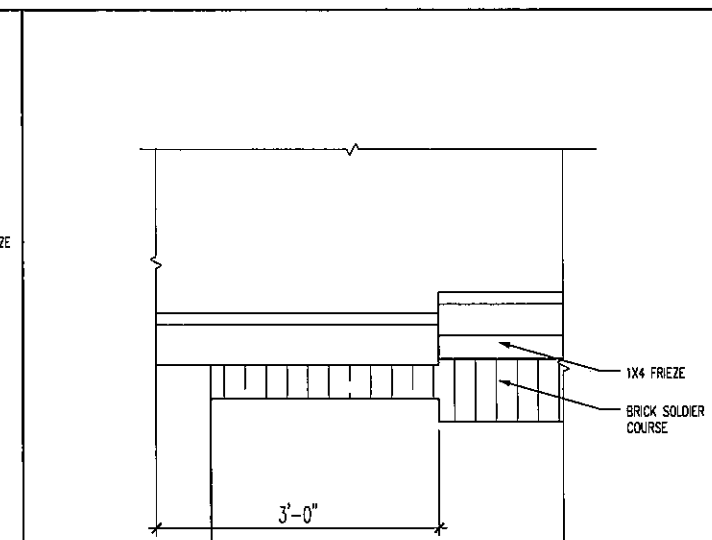
E7.0 RATED SOFFIT CORNICE DETAIL W/ 1\"/>



E7.1 RATED SOFFIT CORNICE DETAIL W/ 1\"/>



E8.0 RATED SOFFIT CORNICE DETAIL W/ 1\"/>



E8.1 RATED SOFFIT CORNICE DETAIL W/ 1\"/>

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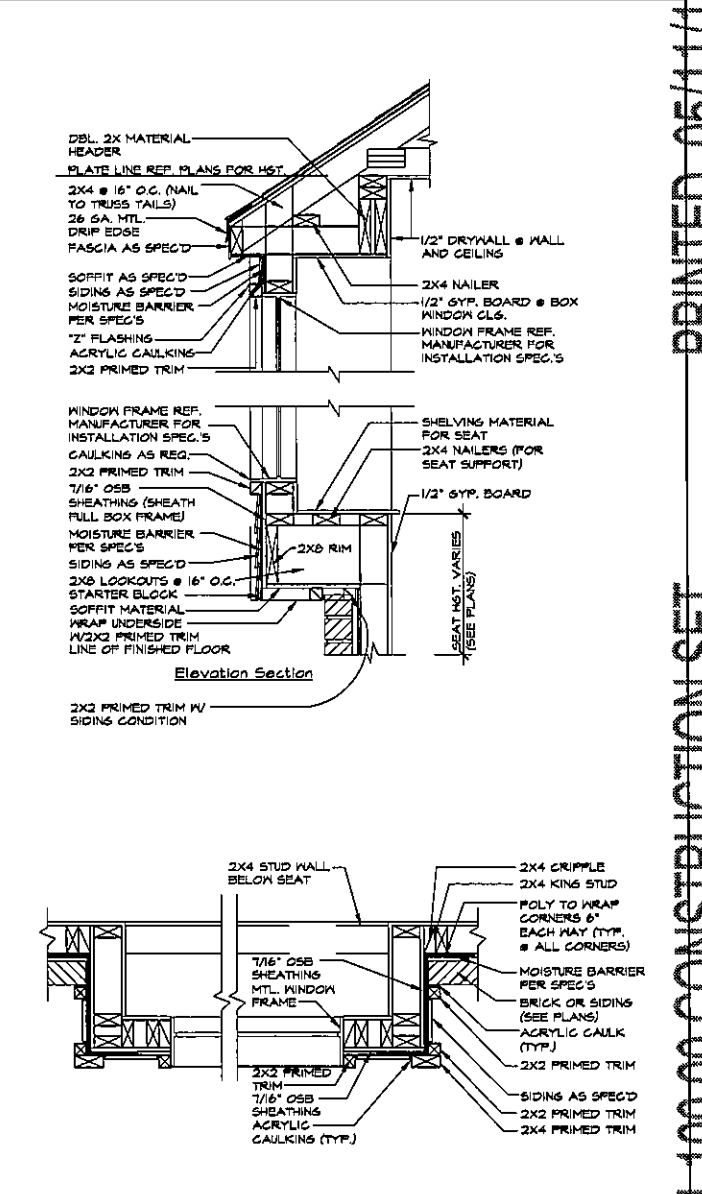
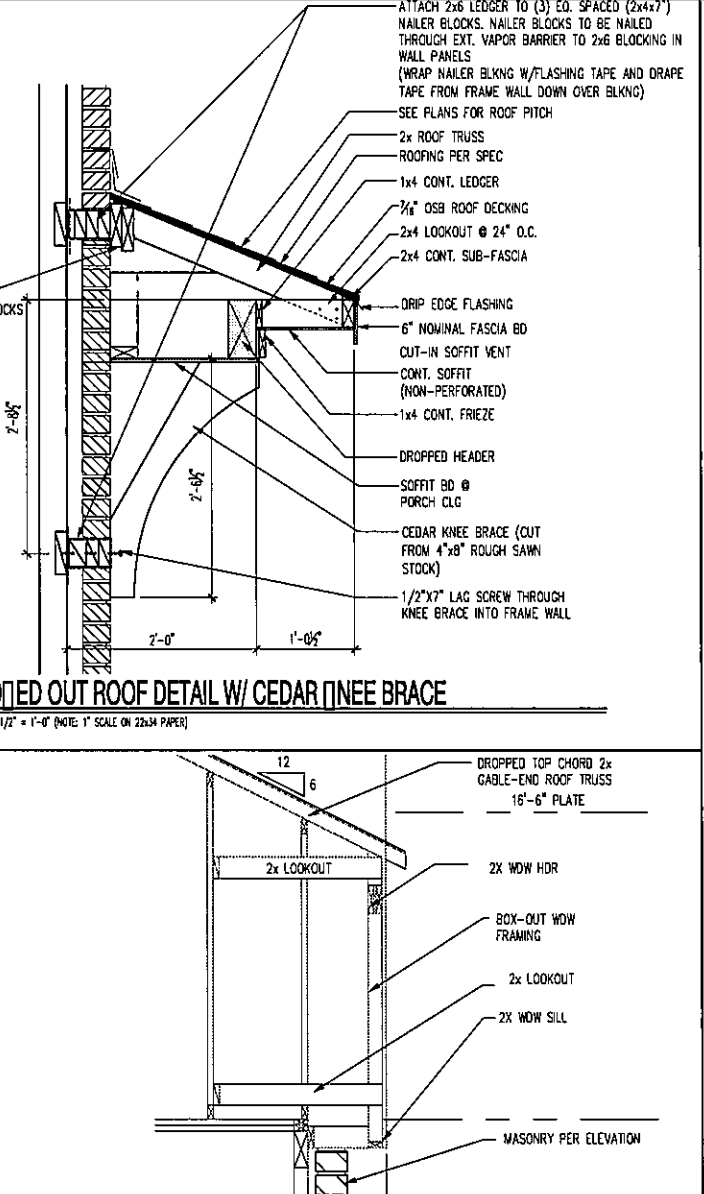
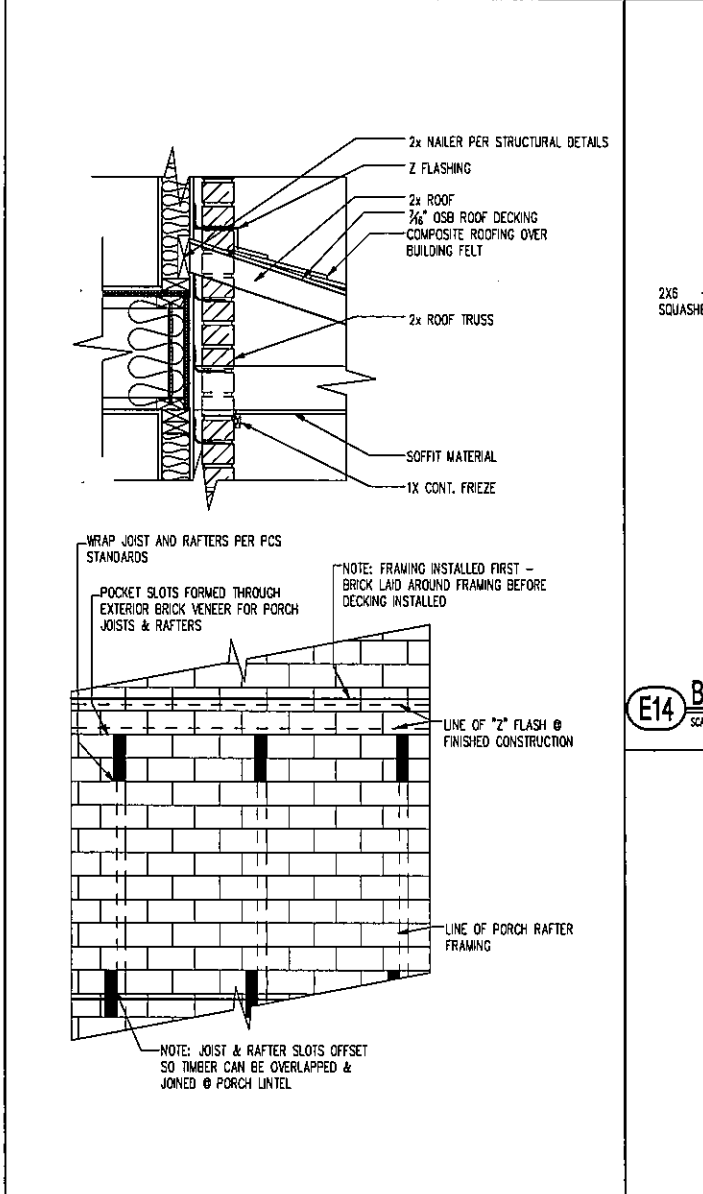
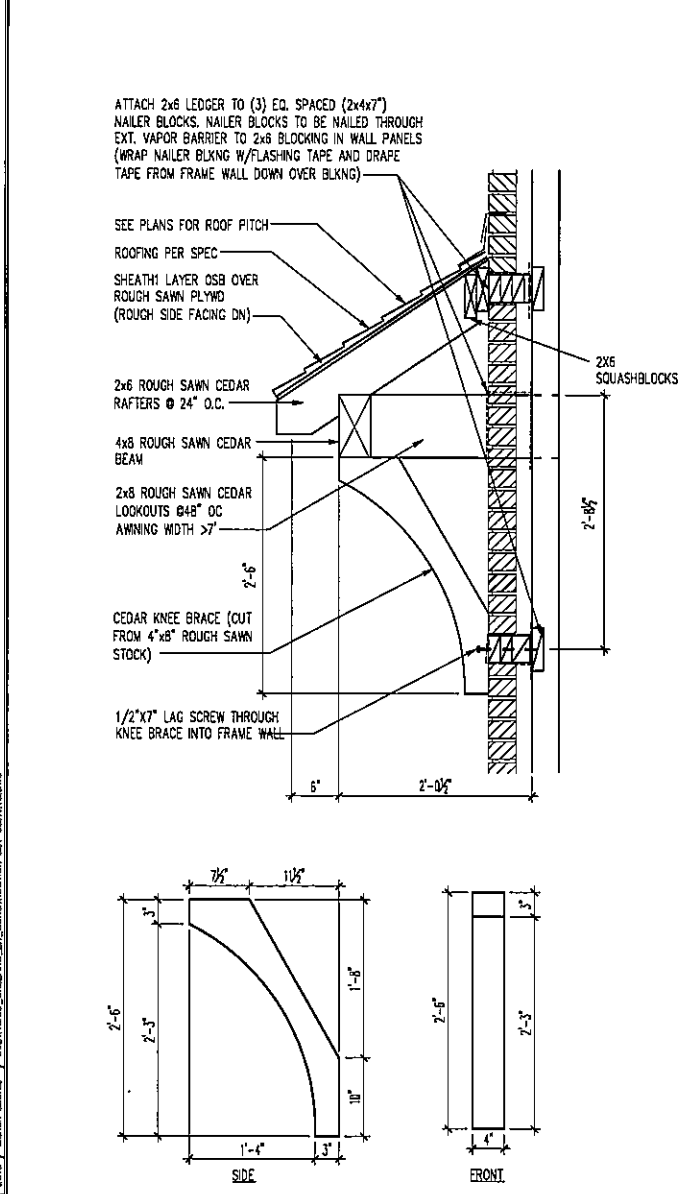
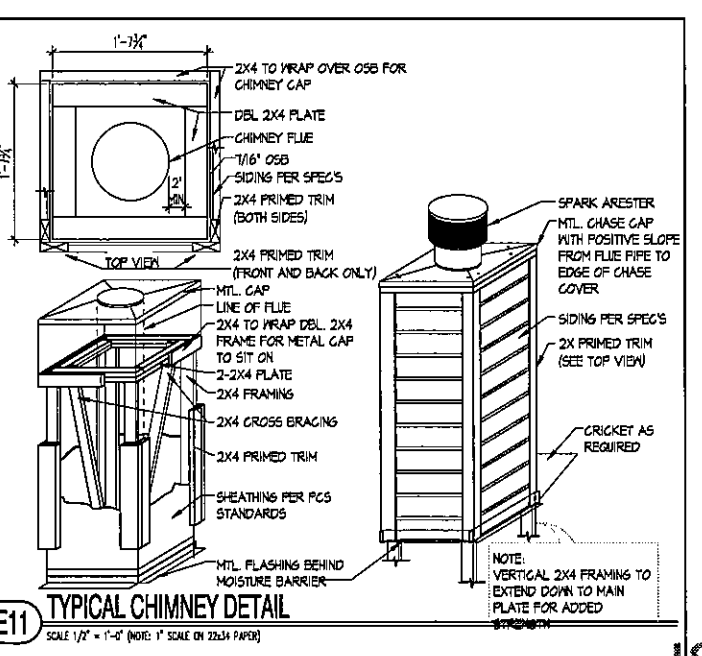
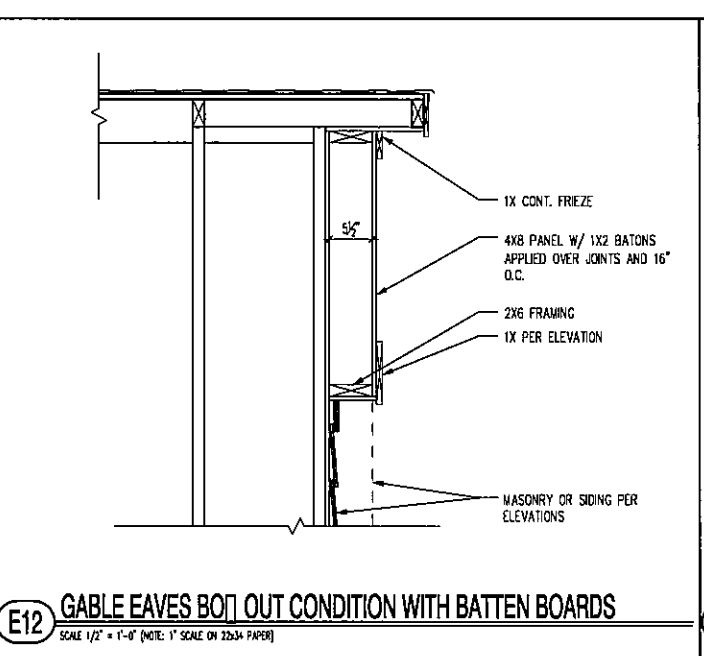
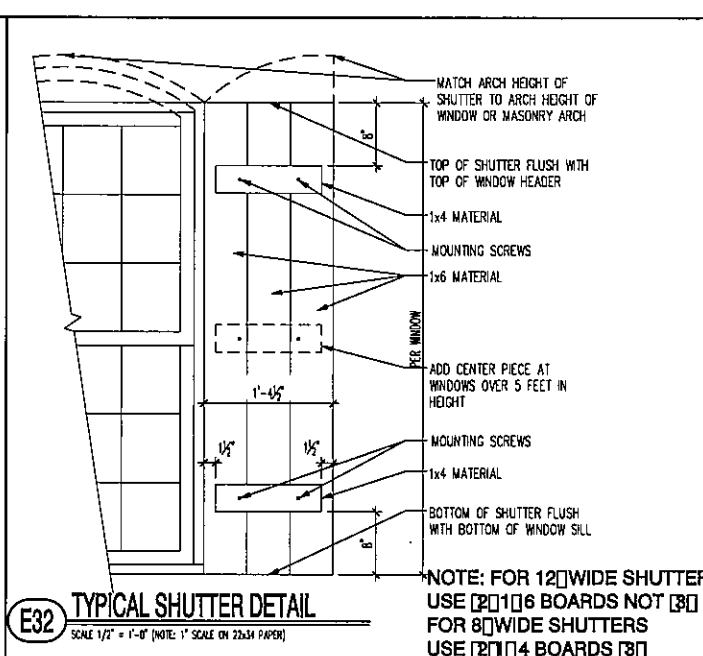
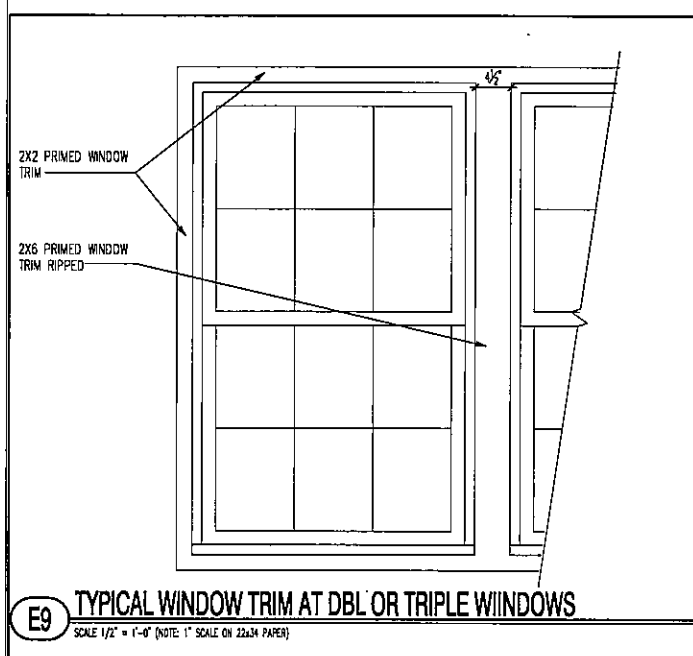
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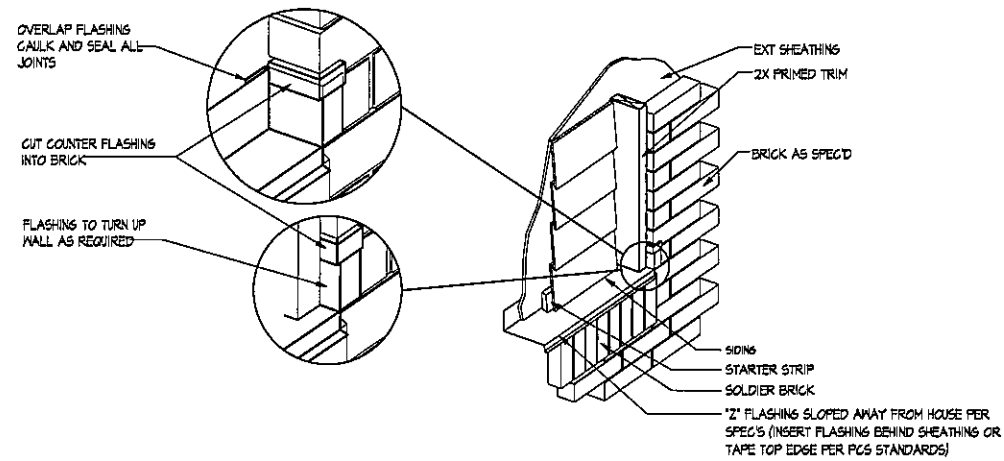
Exterior Details

PRODUCT MANAGER	ERIC MENENDEZ
INITIAL RELEASE	DATE: 05/11/15
REV#	DATE/DESCRIPTION
PROJECT TYPE	Single Family
SPECIFICATION LEVEL	Pulte
PLAN NAME	Orleans
HPC CHILD NUMBER	0921.100.00
SHEET	D1.1

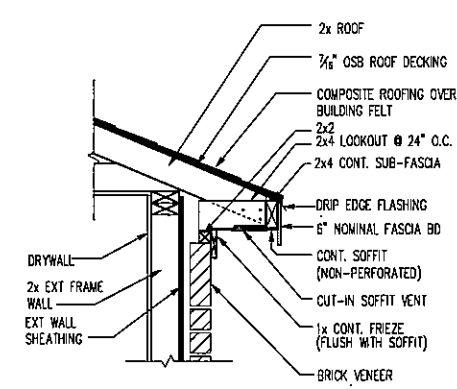


PRINTED 05/11/15
 0921.100.00 CONSTRUCTION SET
 Exterior Details
 Pulte Homes
 PRODUCT MANAGER: ERIC MENENDEZ
 INITIAL RELEASE DATE: 05/11/15
 PROJECT TYPE: Single Family
 SPECIFICATION LEVEL: Pulte
 PLAN NAME: Orleans
 NPC CHILD NUMBER: 0921.100.00
 SHEET: D1.2

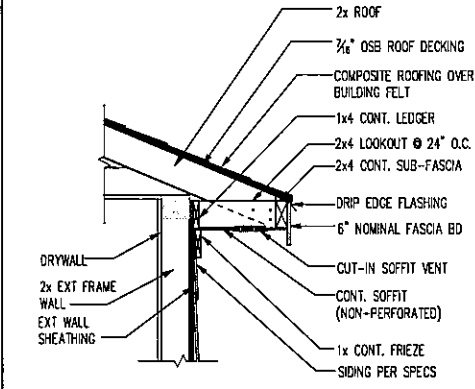
PLOTTED: May 12, 2015 / Media Source / 0921.100.00_0921.100.00_CONSTRUCTION SET 05.11.15.DWG



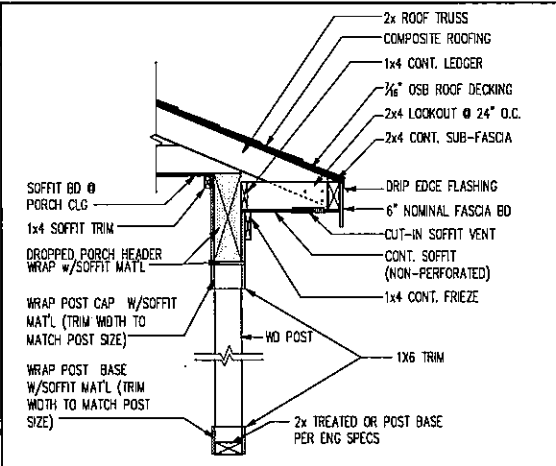
63 BRICK WATERTABLE FLASHING DETAIL AT MASONRY TO SIDING
SCALE: 3/4" = 1'-0" (SEE 1/17" & 1/4" @ 20X PAPER)



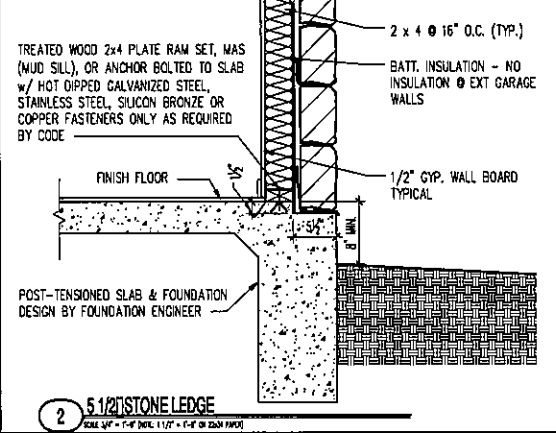
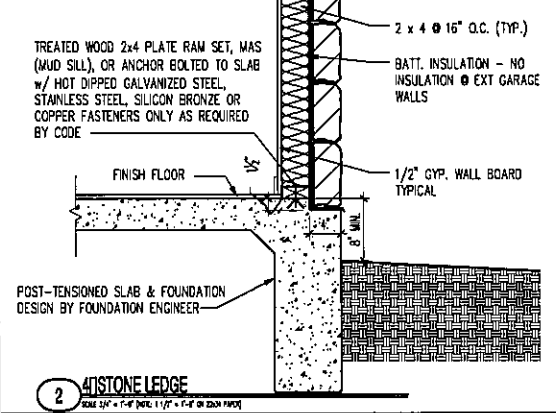
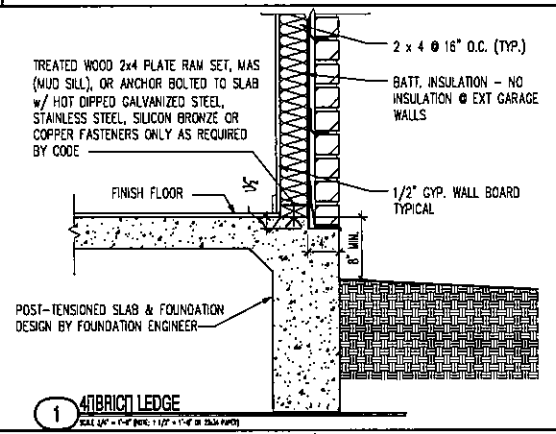
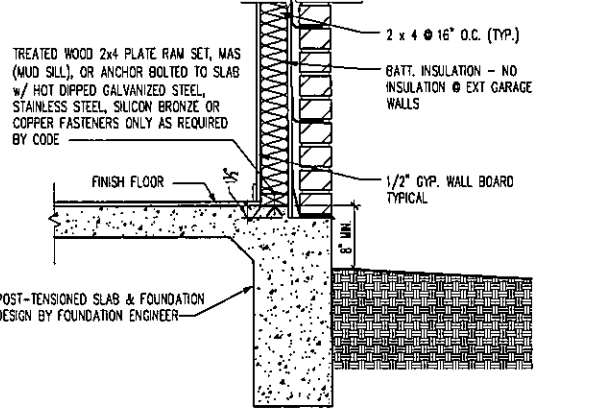
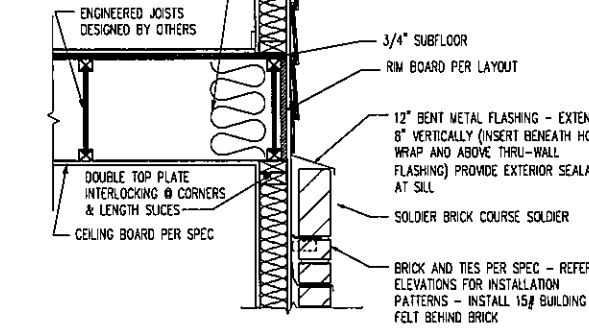
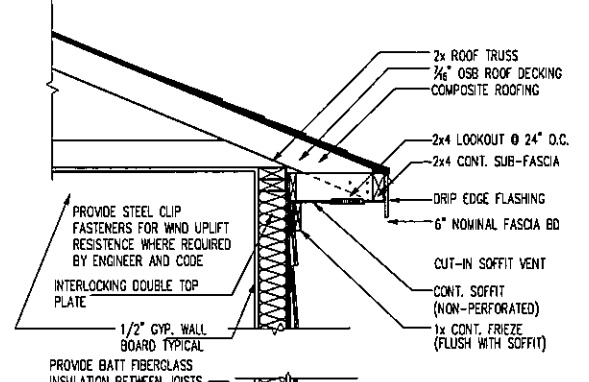
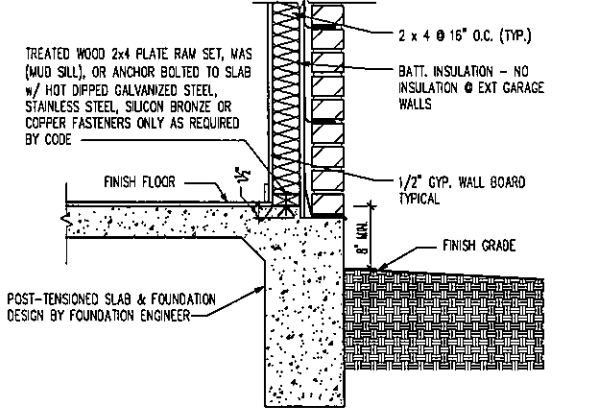
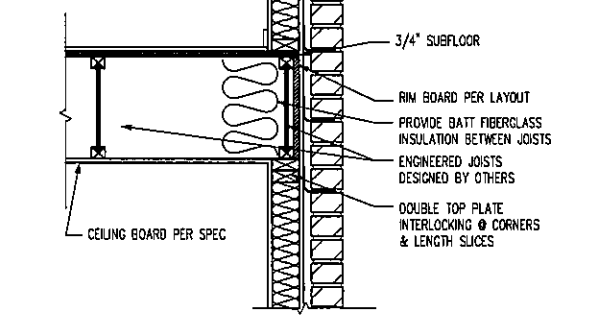
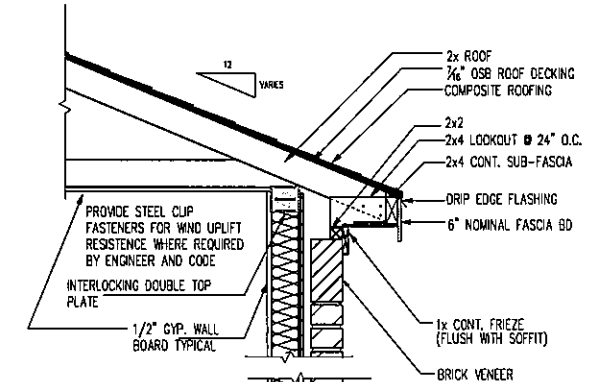
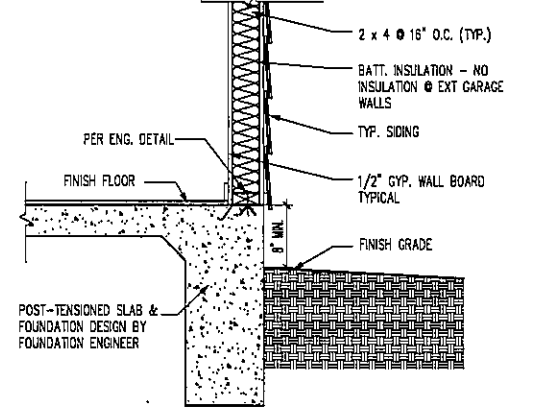
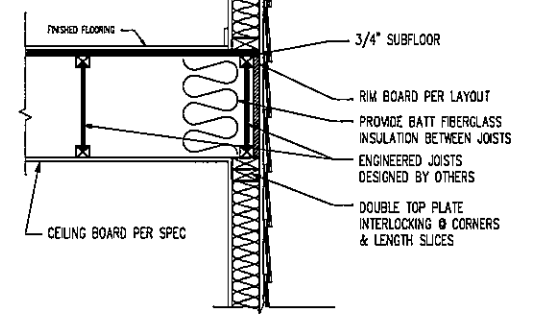
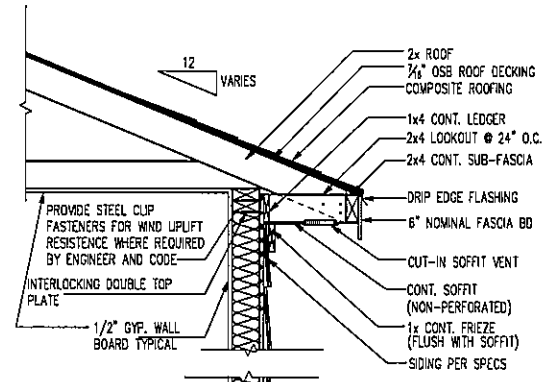
1B CORNICE DETAIL FRIEZE TRIM MASONRY WALL
SCALE: 3/4" = 1'-0" (SEE 1/17" & 1/4" @ 20X PAPER)



2C CORNICE DETAIL FRIEZE TRIM SIDING WALL
SCALE: 3/4" = 1'-0" (SEE 1/17" & 1/4" @ 20X PAPER)



3D CORNICE DETAIL PATIO COLUMN & HEADER TRIM
SCALE: 3/4" = 1'-0" (SEE 1/17" & 1/4" @ 20X PAPER)



PLOT DATE: May 12, 2015 / Author: Suarez / 0921.100.00 ORLEANS LH CONSTRUCTION SET 05/11/15.DWG

PRINTED 05/11/15

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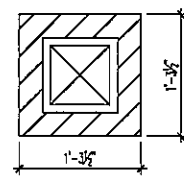
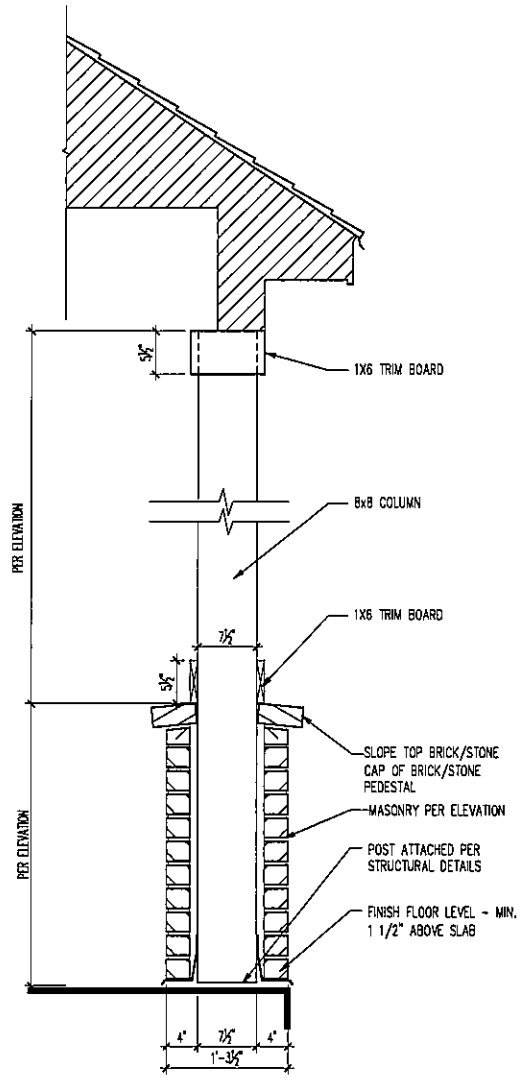
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Pulte
Home

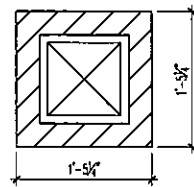
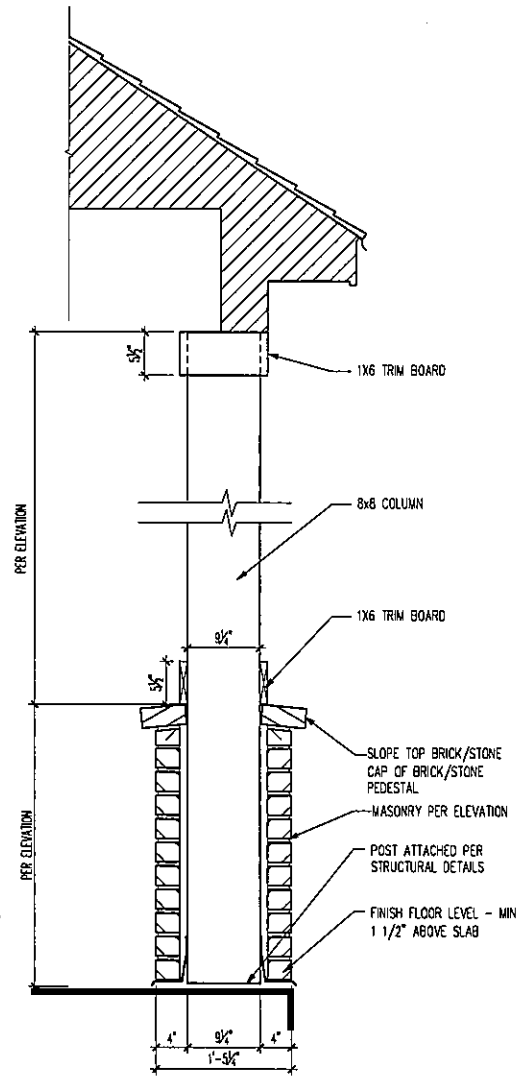
Exterior Details

PRODUCT MANAGER	ERIC MENENDEZ
INITIAL RELEASE DATE:	05/11/15
REV#	DATE/DESCRIPTION
PROJECT TYPE	Single Family
SPECIFICATION LEVEL	Pulte
PLAN NAME	Orleans
IPC CHILD NUMBER	0921.100.00
SHEET	D1.3

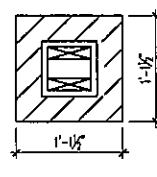
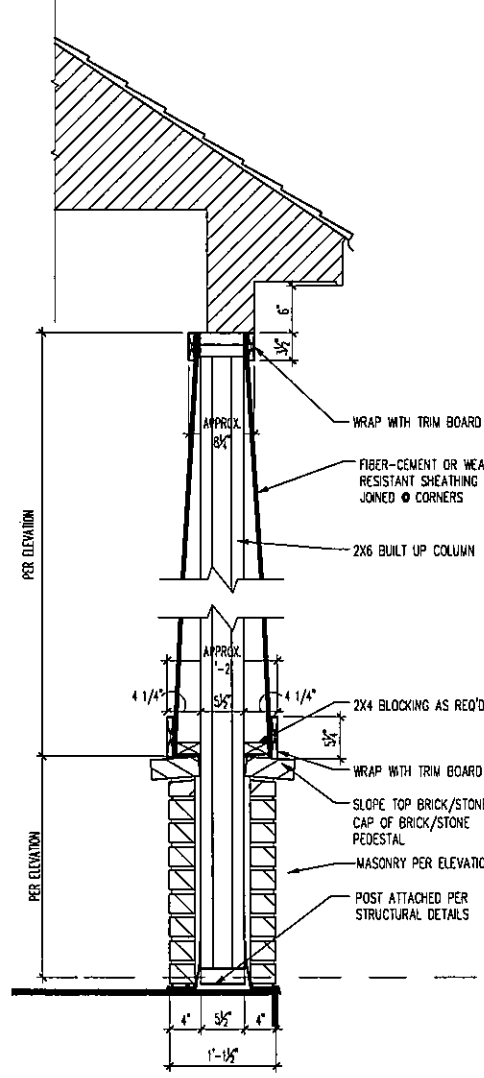
PLOTED: May 12, 2015 / Merida Suarez / 0921.100.00_ORLEANS_IJL_CONSTRUCTION SET 05/11/15.DWG



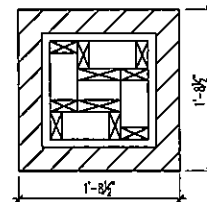
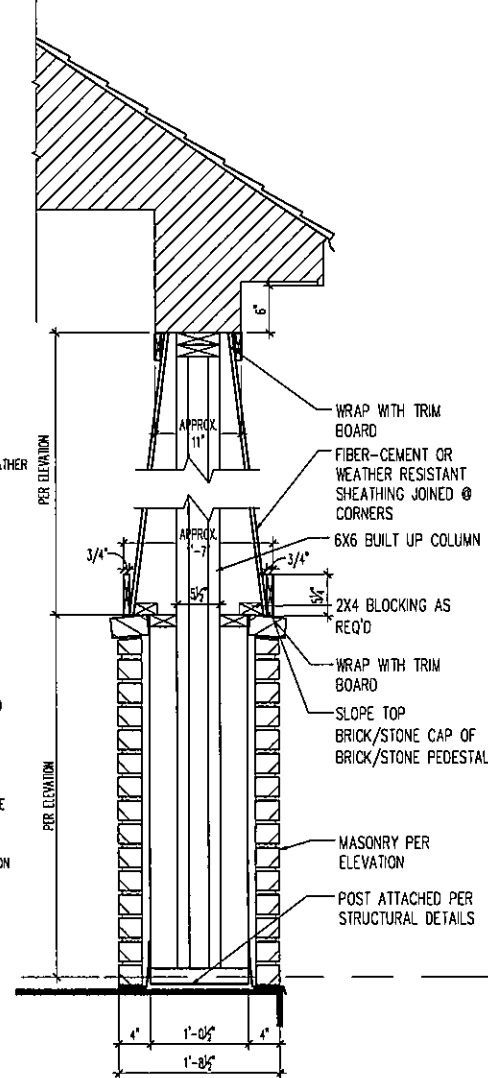
C1 TYPICAL 8x8 WOOD POST // MASONRY WAINSCOT
SCALE: 3/4" = 1'-0" (SEE 11/17" & 1'-0" ON 20/24 PAGES)



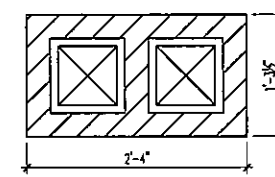
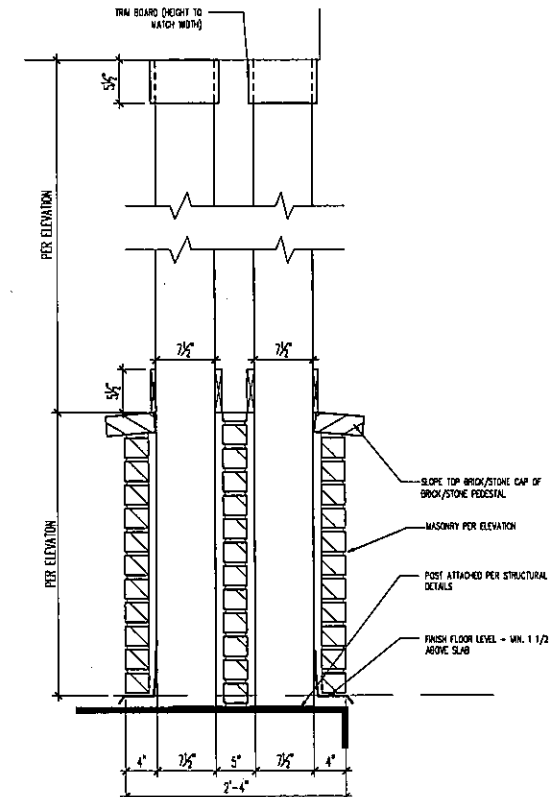
C2 TYPICAL 10x10 WOOD POST // MASONRY WAINSCOT
SCALE: 3/4" = 1'-0" (SEE 11/17" & 1'-0" ON 20/24 PAGES)



C3 TYPICAL 2x6 BUILT UP POST WITH TAPERED COLUMN & MASONRY WAINSCOT
SCALE: 3/4" = 1'-0" (SEE 11/17" & 1'-0" ON 20/24 PAGES)



C4 CRAFTSMAN 2x6 BUILT UP POST // TAPERED COLUMN & MASONRY WAINSCOT
SCALE: 3/4" = 1'-0" (SEE 11/17" & 1'-0" ON 20/24 PAGES)



C5 TYPICAL DBL 8x8 COLUMN // MASONRY WAINSCOT
SCALE: 3/4" = 1'-0" (SEE 11/17" & 1'-0" ON 20/24 PAGES)

NOTE: FLASH PER PCS DETAILS

0921.100.00 CONSTRUCTION SET PRINTED 05/11/15

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

REV	DATE/DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

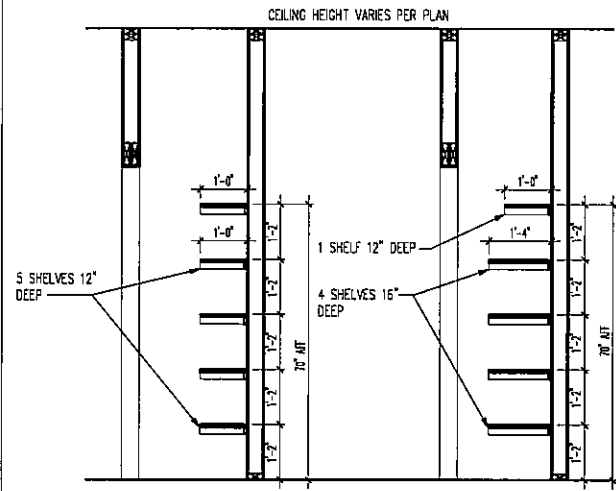
PLAN NAME
Orleans
NPC CHILD NUMBER
0921.100.00

SHEET
D1.4

Pulte
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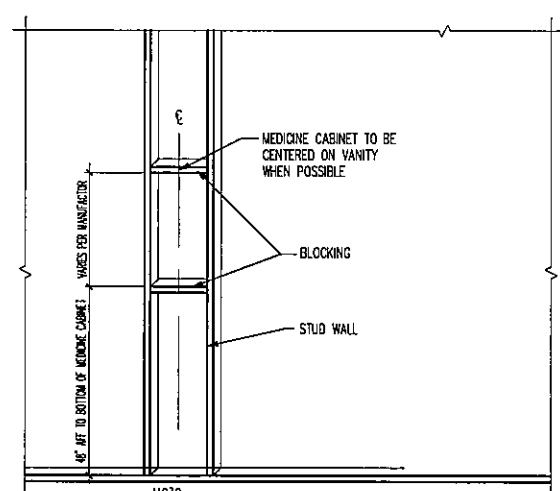
Exterior Details

PLOTTED: May 12, 2015 / Media Server / 0921.000_09LEANS_UH_CONSTRUCTION SET 05.11.15.DWG



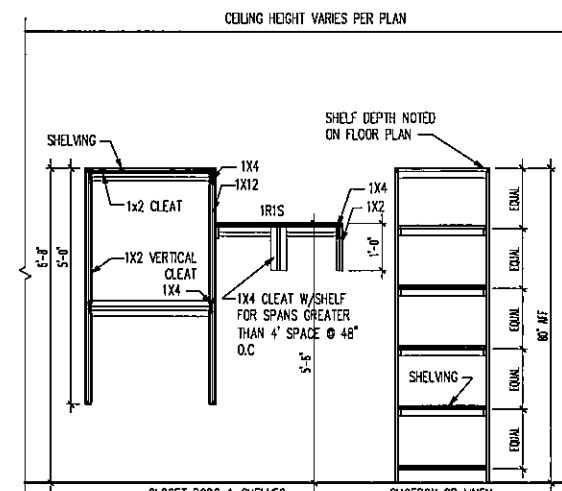
TYPICAL PANTRY AND LINEN SHELVING (B-8) DOOR

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



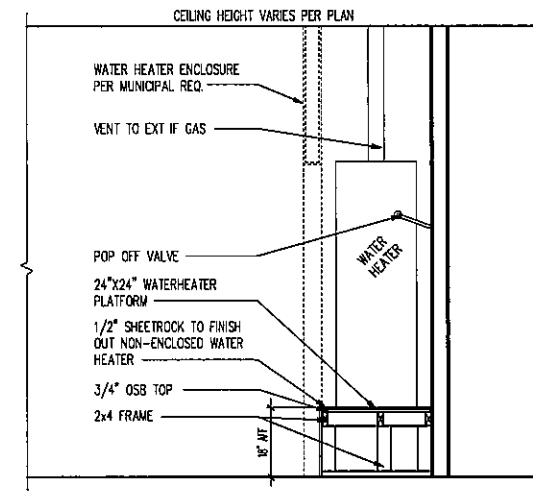
MEDICINE CABINET BLOCING

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



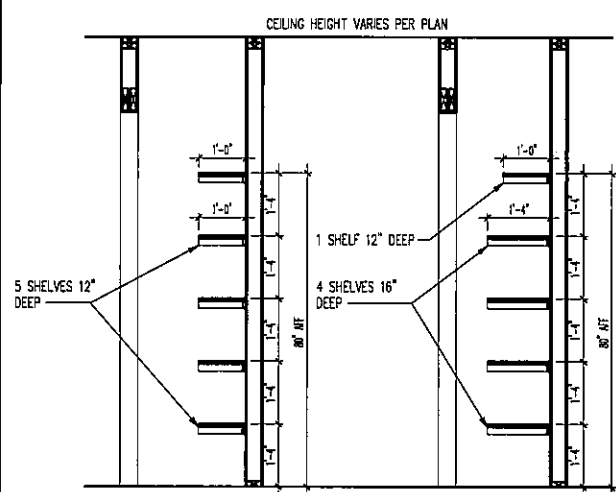
TYPICAL CLOSET SHELVING

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



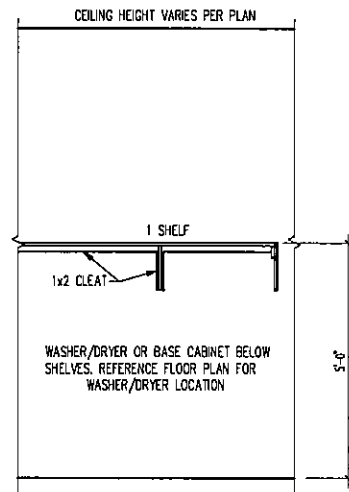
TYPICAL WATER HEATER INSTALLATION

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



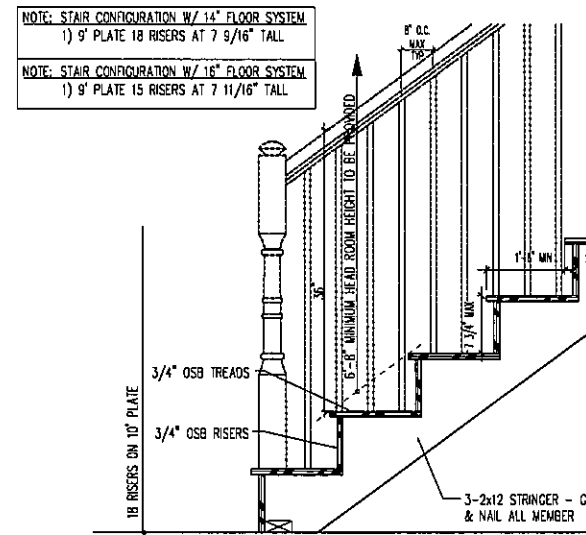
TYPICAL PANTRY AND LINEN SHELVING (B-0) DOOR

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



N2 TYPICAL LAUNDRY SHELVING

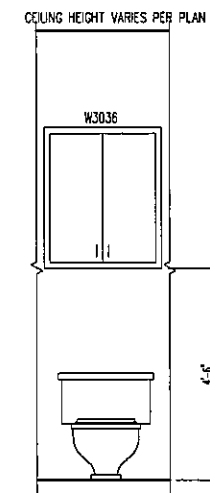
SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



E4 TYPICAL STAIR DETAIL WITH SPINDLES

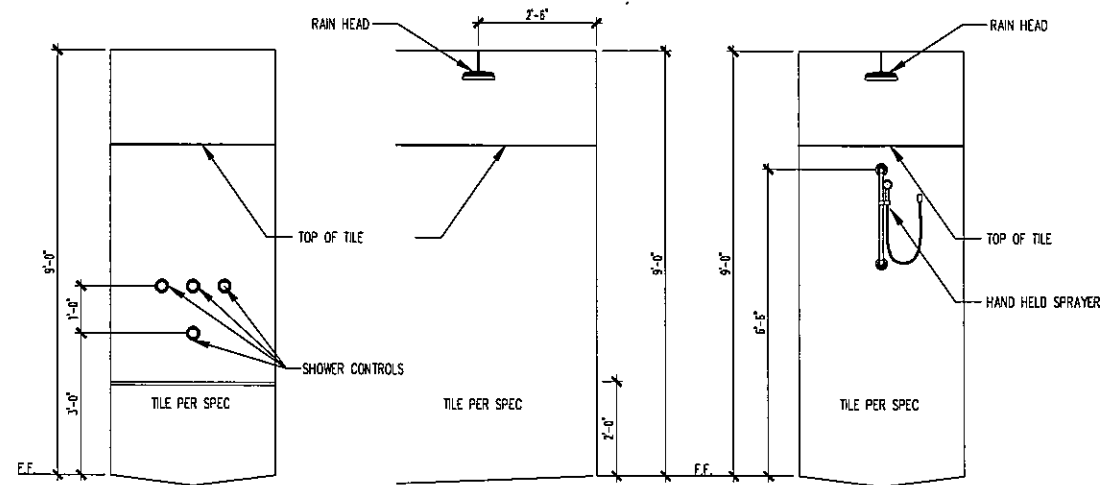
SCALE 1/2" = 1'-0" (NOTE: 1" SCALE ON 22x34 PAPER)

NOTE: PROVIDE HAND RAILS ON STAIRS/ STEPS w/ MINIMUM OF TWO RISERS



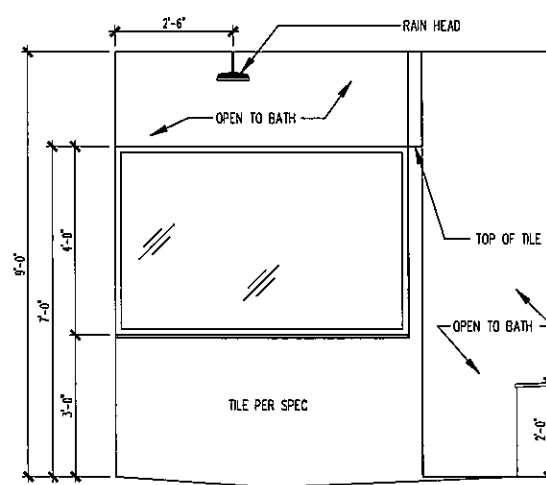
OPT. WALL CAB OWNERS TOILET

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



TYPICAL OWNERS BATH SHOWER OPTION INTERIOR ELEVATION

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)



OPT. WALL CAB LAUNDRY

SCALE 1/4" = 1'-0" (NOTE: 1/2" SCALE ON 22x34 PAPER)

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Pulte
Homeland

Interior Details

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

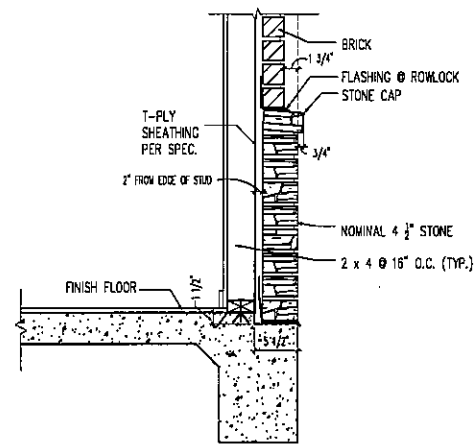
REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

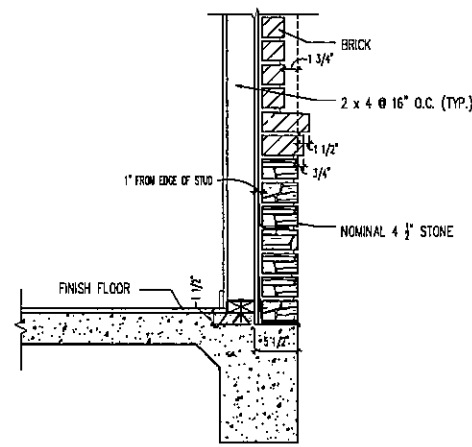
SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans
NSC CHILD NUMBER
0921.100.00

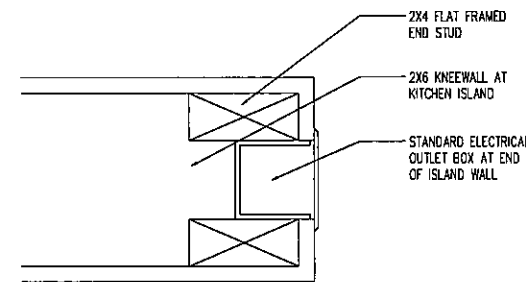
SHEET
D2.1



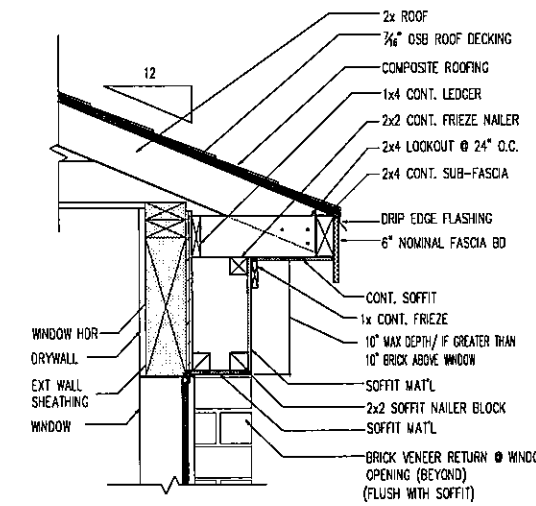
D1 BRICK OVER STONE DETAIL
SCALE: NOT TO SCALE



D3 STONE LEDGE W/BRICK ABOVE
SCALE: NOT TO SCALE

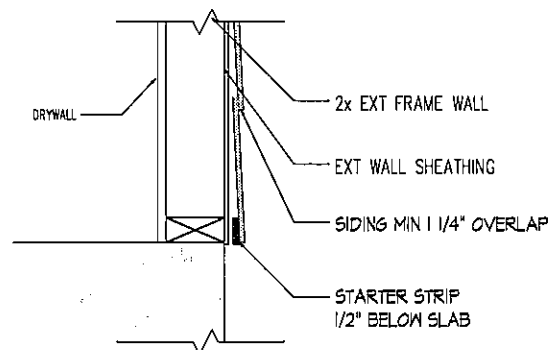


TYPICAL ISLAND OUTLET FRAMING
SCALE: 3/4\"/>

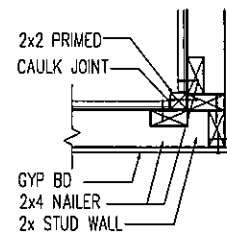


H10 WINDOW HEADER BRICK CONDITION
SCALE: 3/4\"/>

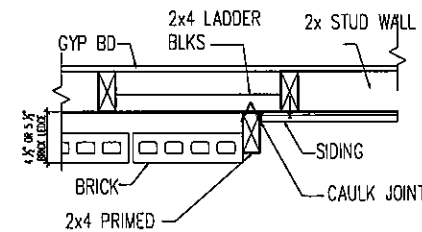
WINDOW HDR			
ROOF PITCH	HEADER FIT	HEADER FIT	HEADER FIT
	10\"/>		
ALL	6\"/>		



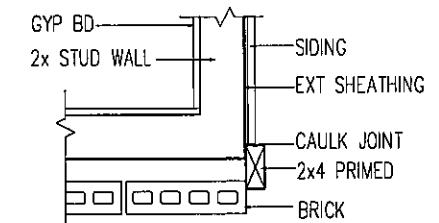
F2 TYP. SIDING STARTER STRIP DETAIL
SCALE: NOT TO SCALE



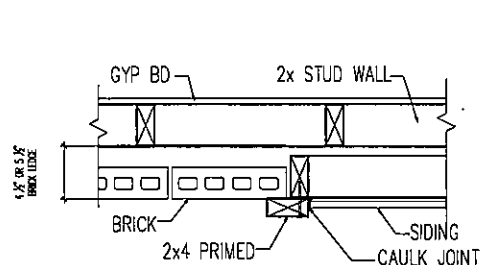
M1 WALL FRAMING / INSIDE CORNER TRIM DETAIL SIDING TO SIDING
SCALE: 3/4\"/>



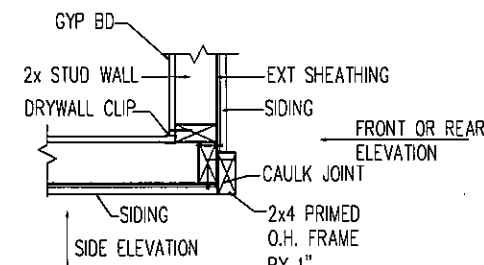
G1 WALL FRAMING TRANSITION DETAIL MASONRY TO SIDING
SCALE: 3/4\"/>



F3 CORNICE DETAIL OUTSIDE CORNER TRIM MASONRY TO SIDING COND.
SCALE: 3/4\"/>



G2 WALL FRAMING TRANSITION DETAIL MASONRY TO SIDING AT FURRED OUT WALL
SCALE: 3/4\"/>



A1 CORNICE DETAIL OUTSIDE CORNER TRIM SIDING TO SIDING COND.
SCALE: 3/4\"/>

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Pulte
Orleans

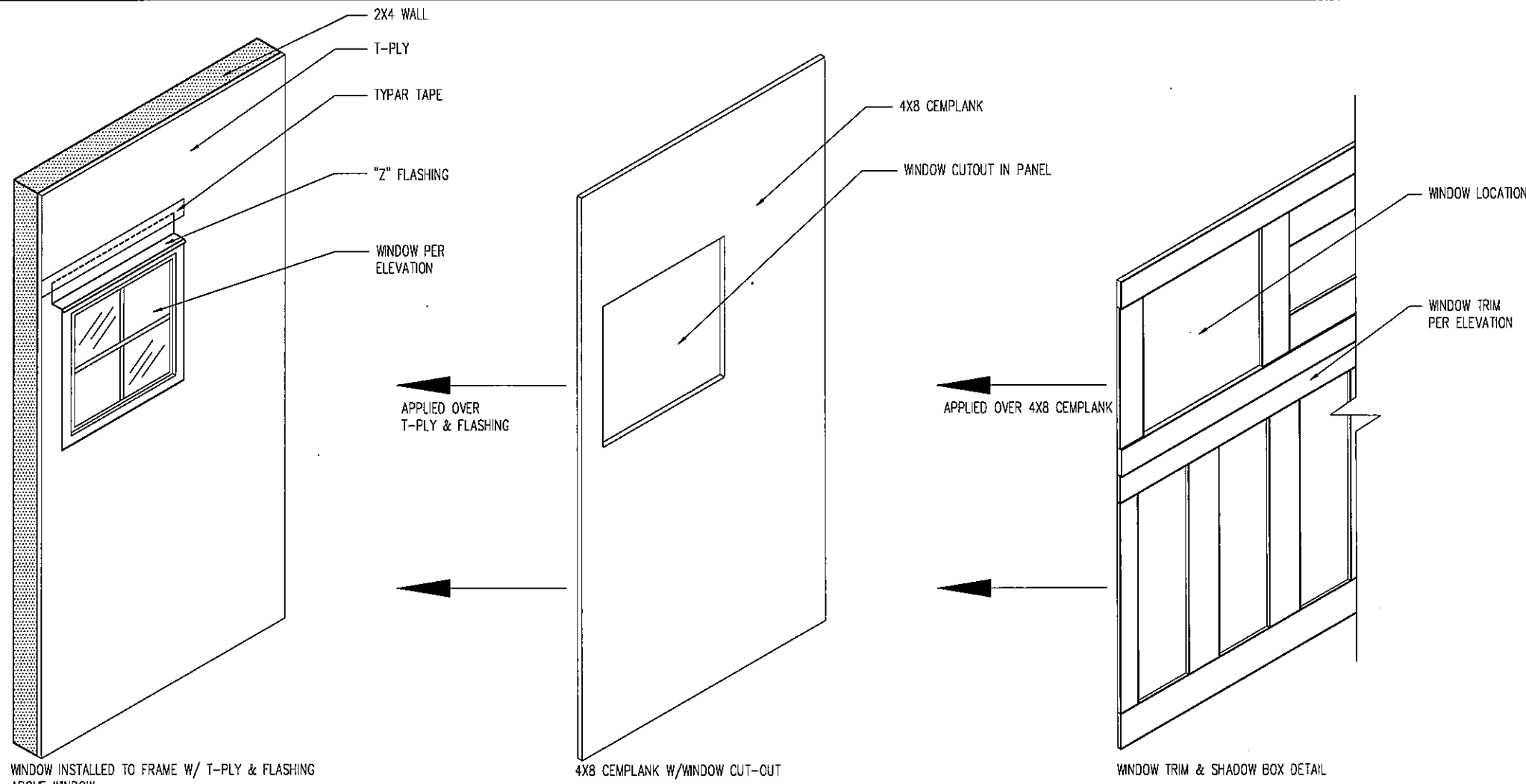
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Exterior Details

0921.100.00 CONSTRUCTION SET

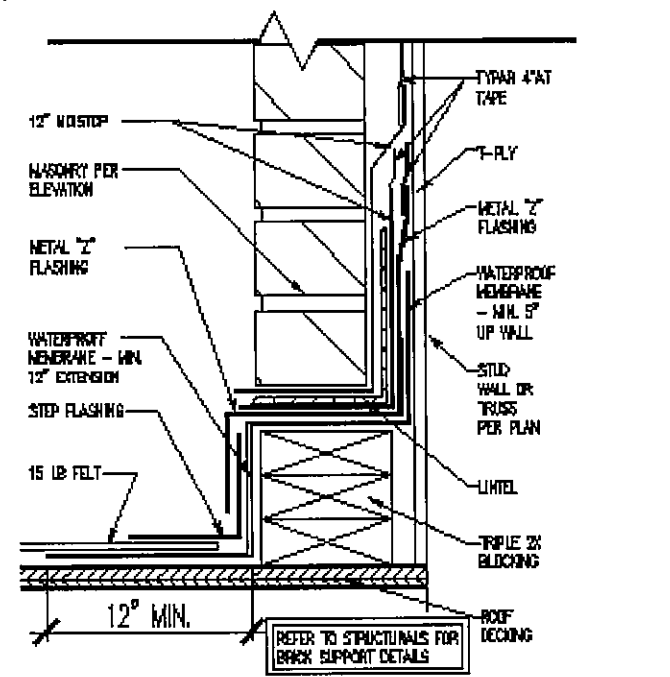
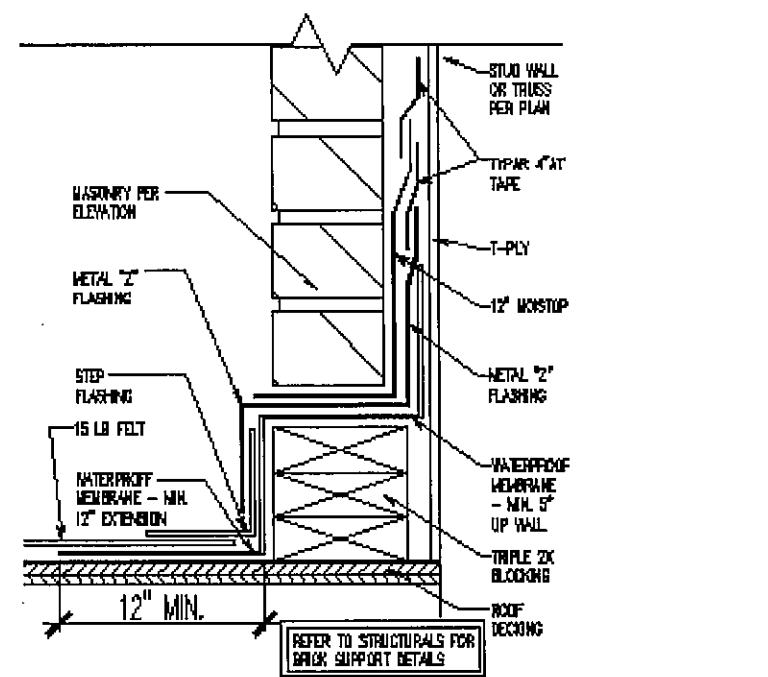
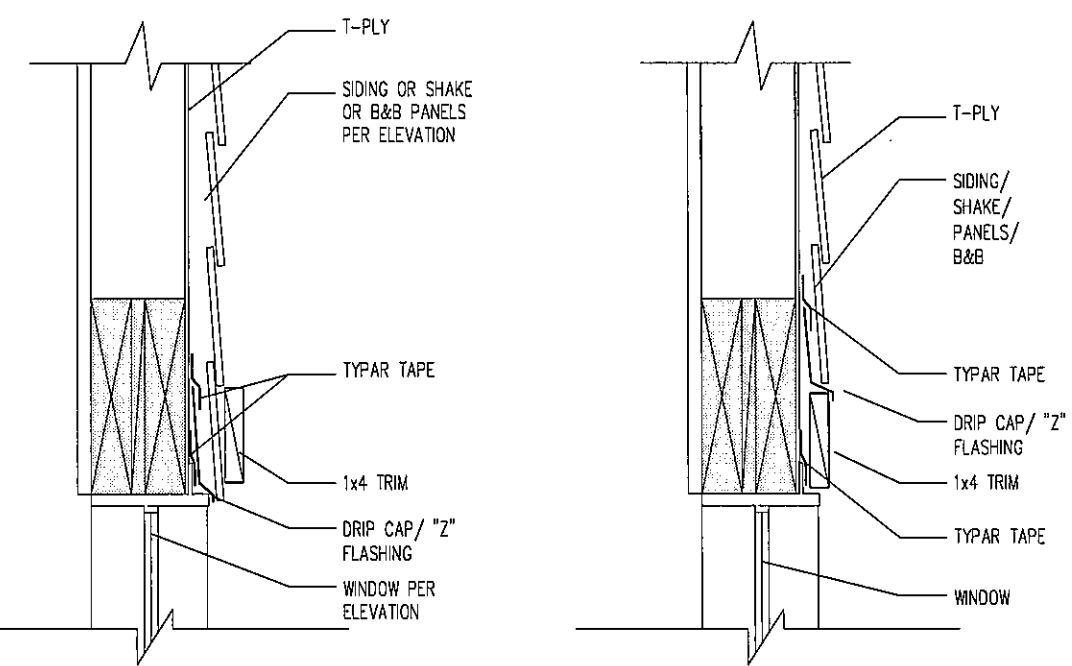
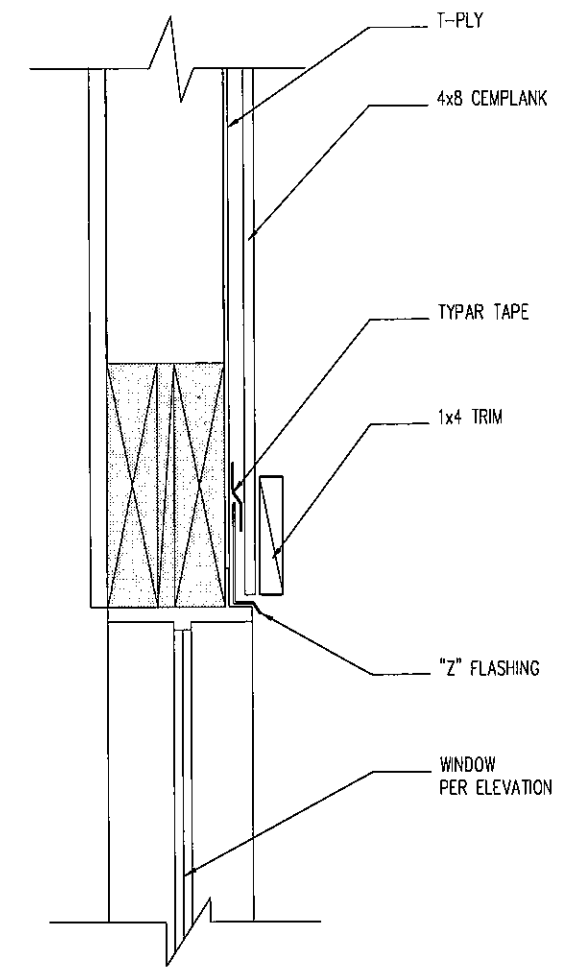
PRODUCT MANAGER	ERIC MENEDEZ
INITIAL RELEASE DATE:	05/11/15
REV#	DATE/DESCRIPTION
PROJECT TYPE	Single Family
SPECIFICATION LEVEL	Pulte
PLAN NAME	Orleans
NPC CHILD NUMBER	0921.100.00
SHEET	D2.2

PLOT DATE: May 12, 2015 / Medio Suarez / 0921.100.00 ORLEANS_UH CONSTRUCTION SET 05.11.15.DWG



1A WINDOW FLASHING/CEMLANK/TRIM ASSEMBLY
SCALE: N.T.S.

Add masonry on wood details



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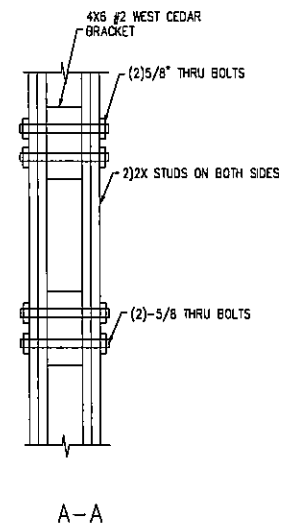
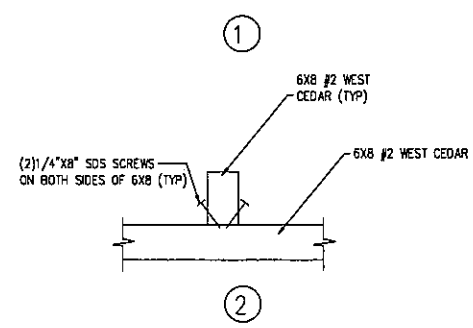
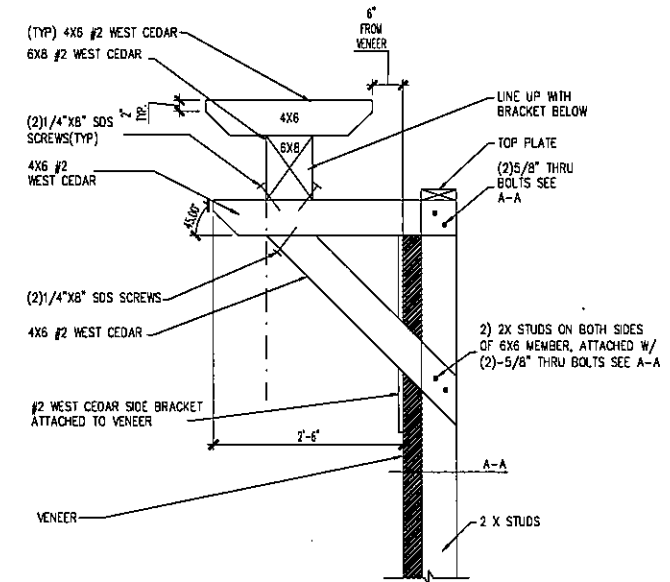
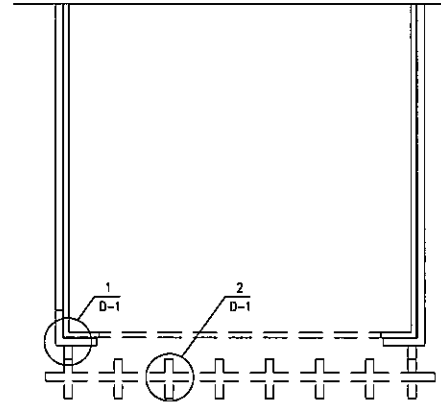
PRINTED 05/11/15

Exterior Details

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER	ERIC MENDREZ
INITIAL RELEASE	DATE: 05/11/15
REV	DATE/DESCRIPTION
PROJECT TYPE	Single Family
SPECIFICATION LEVEL	Pulte
PLAN NAME	Orleans
NPC CHILD NUMBER	0921.100.00
SHEET	D2.3

PLOTTED: May 12, 2015 / Metlan Suarez / 0921.100.00 ORLEANS LH CONSTRUCTION SET 05/11/15



TRELLIS DETAIL
NOT TO SCALE

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Trellis Details

0921.100.00 CONSTRUCTION SET

PRODUCT MANAGER
ERIC MENENDEZ
INITIAL RELEASE
DATE: 05/11/15

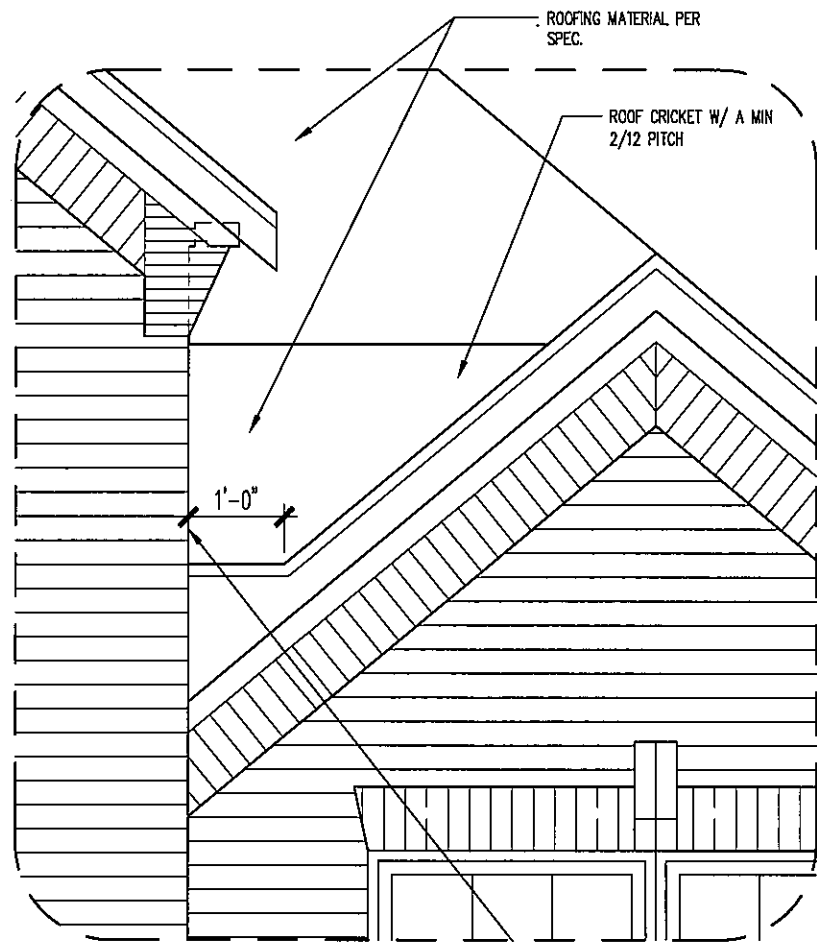
REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

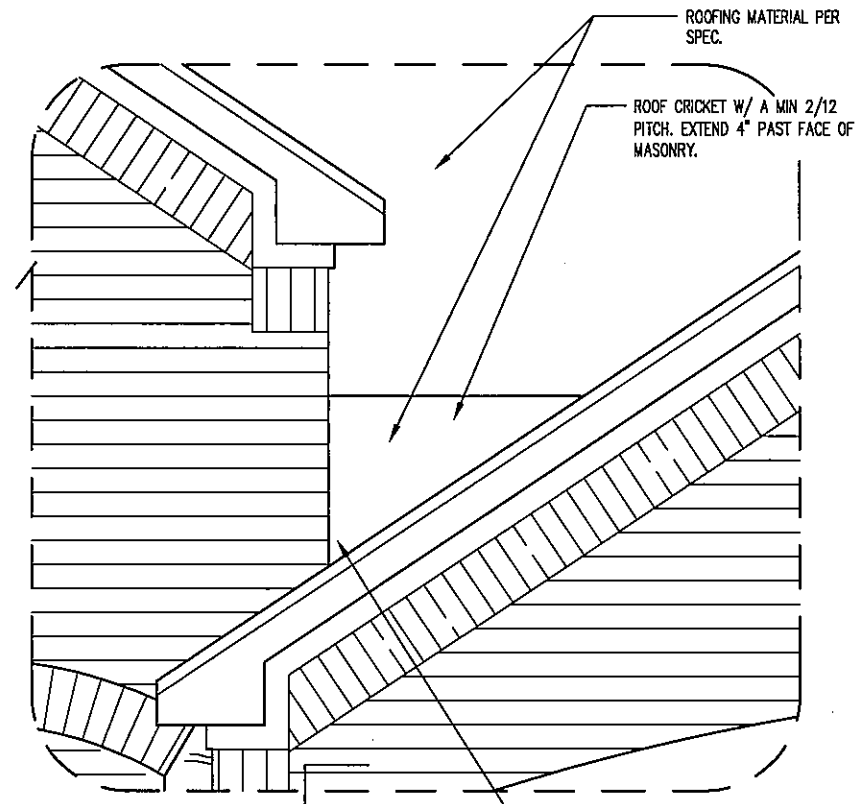
SPECIFICATION LEVEL
Pulte

PLAN NAME
Orleans
NPC CHILD NUMBER
0921.100.00

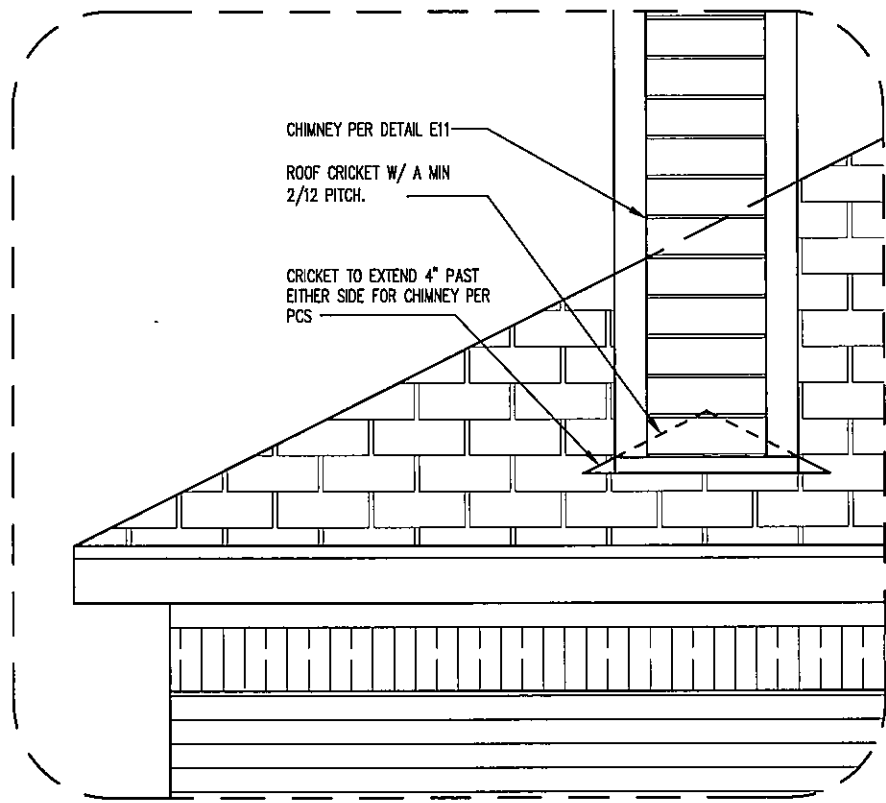
SHEET
D2.4



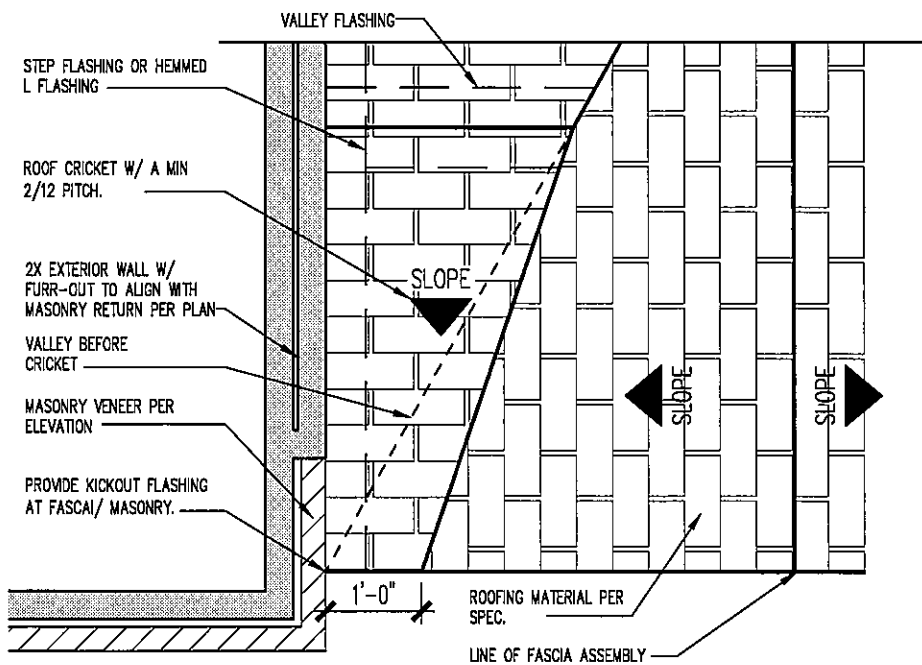
1A - FRONT VIEW



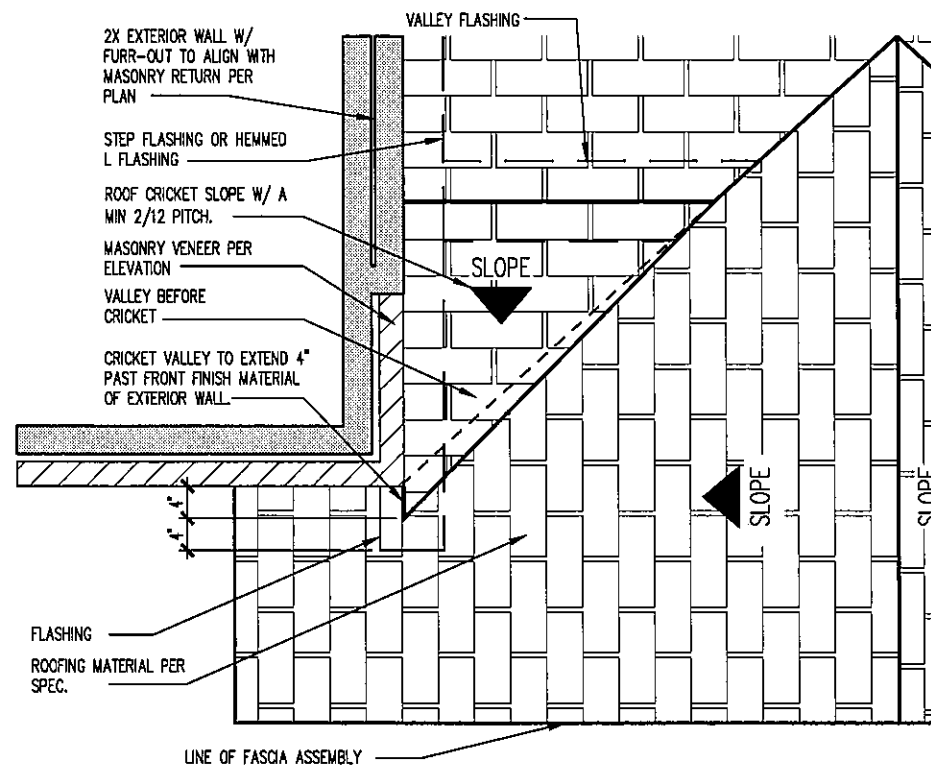
2A - FRONT VIEW



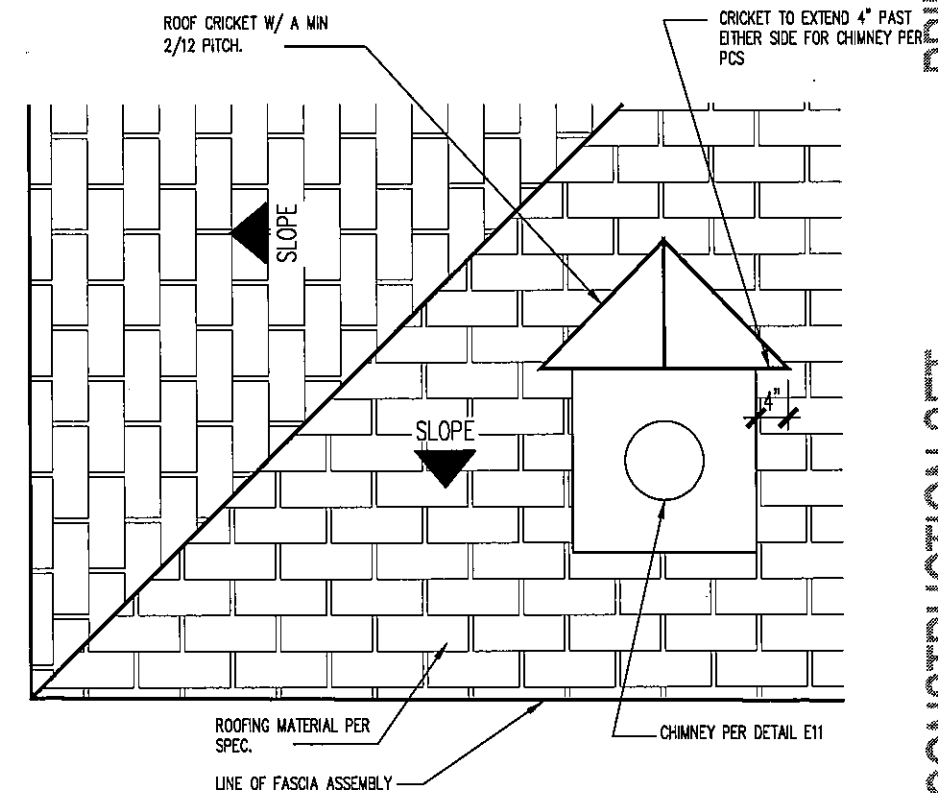
3A - FRONT VIEW



1B - PLAN VIEW



2B - PLAN VIEW



3B - PLAN VIEW

TYPICAL CRICKET DETAILS

SCALE 1/2" = 1'-0" (NOTE: SCALE 1" = 1'-0" ON 22x34 PAPER)

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TYPICAL CRICKET DETAILS

CONSTRUCTION SET

REV#	DATE/DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

SPECIFICATION LEVEL

PLAN NAME

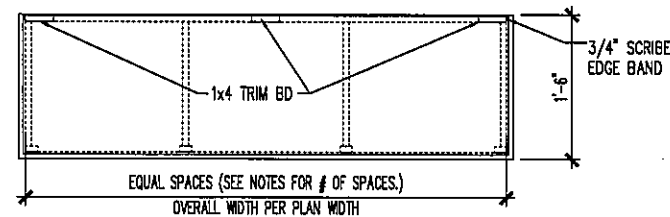
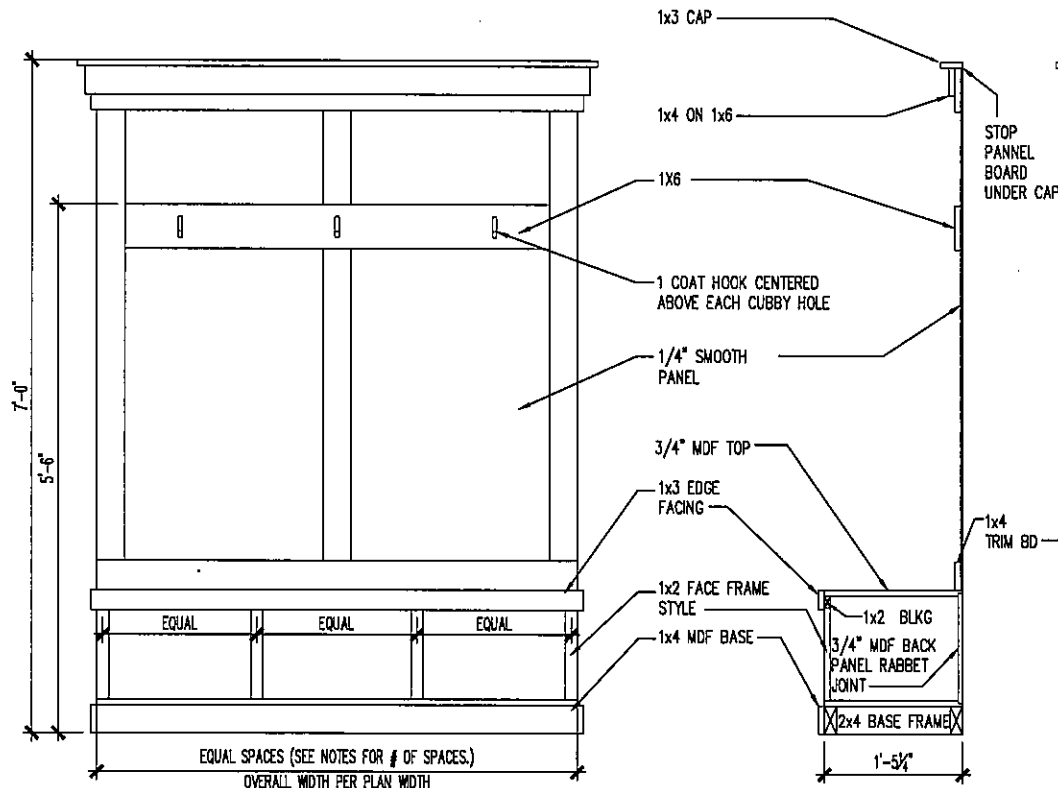
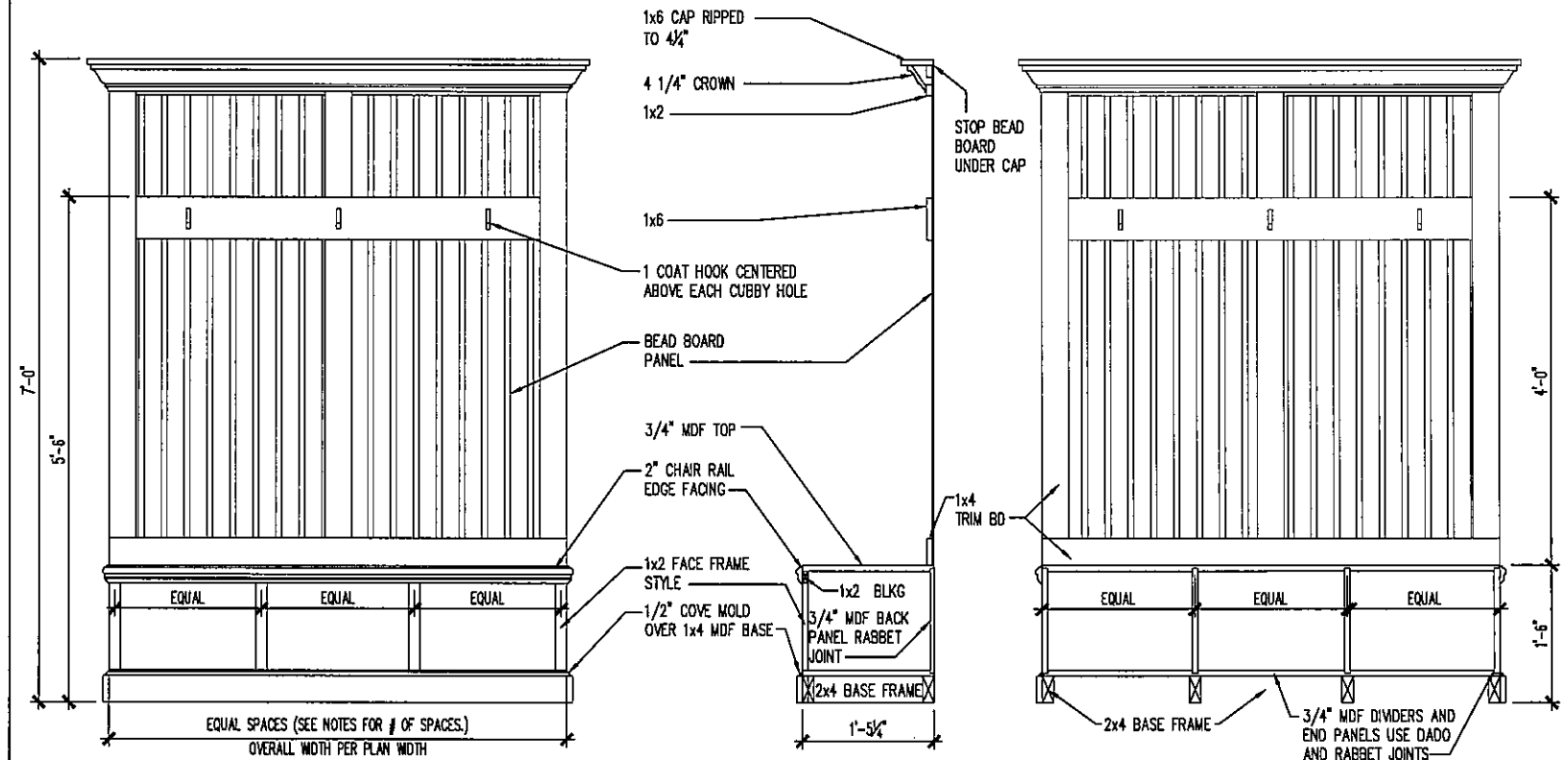
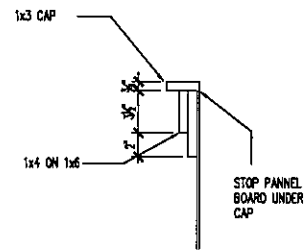
NPC CHILD NUMBER

SHEET

D2.5

CAP DETAIL CONTEMPORARY OPTION

SCALE 1/2" = 1'-0" (NOTE: SCALE 1" = 1'-0" ON 22x34 PAPER)

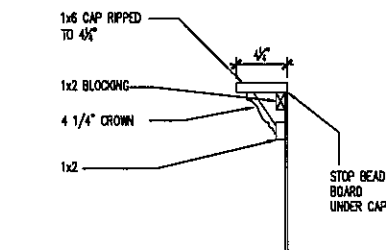
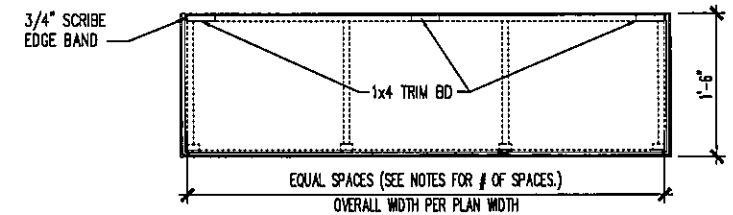


CONTEMPORARY MUD BENCH OPTION

SCALE 1/2" = 1'-0" (NOTE: SCALE 1" = 1'-0" ON 22x34 PAPER)

TRADITIONAL MUD BENCH OPTION

SCALE 1/2" = 1'-0" (NOTE: SCALE 1" = 1'-0" ON 22x34 PAPER)



CAP DETAIL TRADITIONAL OPTION

SCALE 1/2" = 1'-0" (NOTE: SCALE 1" = 1'-0" ON 22x34 PAPER)

# OF CUBBY QUANTITY BASED ON OVERALL WIDTH	
≤ 4'-0"	2 EQ CUBBIES
4'-1" TO 6'-0"	3 EQ CUBBIES
6'-1" TO 8'-0"	4 EQ CUBBIES
CUBBIES SHOULD NOT BE GREATER THAN 24" WIDE AT ANY TIME	

NOTE:
CABINET APPLICATION (OPTION #64845)
OR
SITE BUILT CONTEMPORARY OPTION # 41604
SITE BUILT TRADITIONAL OPTION # 41605

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INTERIOR DETAILS

0991.100.00 CONSTRUCTION SET

REV	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	

PRODUCT MANAGER ERIC MENENDEZ INITIAL RELEASE DATE: 05/11/15
PROJECT TYPE Single Family
SPECIFICATION LEVEL Pulte
PLAN NAME Calais NPC CHLD NUMBER 0991.100.00
SHEET D2.6

PLOTTED: April 27, 2017 / Alvarez Fernandez / 0991.100.00 - CALAIS_IH_051115.DWG