

LOT DESCRIPTION:
LOT 14
BLOCK 03
SECTION 00
RIO VISTA SUBDIVISION
27604 RIO BLANCO DRIVE
MONTGOMERY COUNTY, TX 77372

LOT CALCULATIONS:

MAIN SLAB TO BE 1'-6" MIN. ABOVE NEAREST HANKLE COVER.
 BLDG. TO VERIFY ALL SURVEY CORDS, BEARINGS & DISTANCES, SUBDIVISION RESTRAINTS & RESTRICTIONS PRIOR TO CONSTRUCTION.

GENERAL SITE NOTES:

FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 16 INCHES ABOVE THE TOP OF THE NEAREST SANITARY SEWER HANKLE.
 GRADED SITE - TOP OF FOUNDATION MIN. 12 IN. ABOVE STREET DRAIN. 205 R.C. 409.1.1.3
 THE BUILDER SHOULD VERIFY ALL DRAINAGE REQUIREMENTS & CONCERNS PRIOR TO STARTING PROJECT.

THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THIS STRUCTURE. THIS MEANS THESE PLANS MUST BE FIELD VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR OR SUBCONTRACTOR IN AUTHORITY FOR THE JOB. ANY DISCREPANCY, ERROR, AND/OR OMISSION, IF FOUND, IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF DESIGNER PRIOR TO COMMENCING CONSTRUCTION WORK OR PURCHASES.

ALL CODES, ORDINANCES, AND REQUIREMENTS FEDERAL, STATE AND LOCAL TAKE PRECEDENCE OVER ANY PART OF THESE DOCUMENTS WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION.

THESE PLANS AND THEIR USE ARE THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE REPRODUCED, USED FOR OTHER CONSTRUCTION, TRACED OR REUSED WITHOUT THE WRITTEN PERMISSION OF GARCIA & HERNANDEZ DESIGNS, LLC.

DIMENSIONS SHOWN ON THE FLOOR PLANS ARE "NOMINAL" SLIGHT FIELD ADJUSTMENTS MAY BE NECESSARY TO ALLOW FOR ACTUAL MATERIAL SIZES AND PRACTICALITY OF CONVENTIONAL CONSTRUCTION METHODS. DETAILS AND NOTES NOT PROVIDED WITH THESE DRAWINGS SHOULD BE PROVIDED WITH THESE DRAWINGS BY THE MFG. SUPPLIER OR INSTALLATION CONTRACTOR SPECIFICALLY RELATED TO THAT PARTICULAR PHASE OF CONSTRUCTION.

OVERALL SITE VIEW:

NOTE: BUILDER/CONTRACTORS TO LEAVE ANY & ALL UTILITIES CLEAR OF THIS AREA FOR ANY POTENTIAL FUTURE POOL

PROPOSED A/C UNIT(S)/LOCATION H.V.A.C. CONTRACTOR TO VERIFY UNITS TO BE USED, TONNAGE, & LOCATIONS

PROPOSED ELECTRIC & WATER METER LOCATIONS. BUILDER/CONTRACTOR TO FIELD VERIFY

PROPOSED PROPANE TANK LOCATION

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PROPOSED PROPANE TANK LOCATION

NOTE: SEPTIC DESIGN & LOCATION IS TO BE COMPLETED BY A LICENSED PROFESSIONAL AS REQ'D.

LANDSCAPE LEGEND

- JUNIPER
- ⊗ ROCKS
- ⊙ SAGE
- ⊛ ROSE MARY
- ⊕ BOX HEDGES
- ⊖ ITALIAN CYPRESS

NOTE: SEPTIC DESIGN & LOCATION IS TO BE COMPLETED BY A LICENSED PROFESSIONAL AS REQ'D.

LANDSCAPE LEGEND

- JUNIPER
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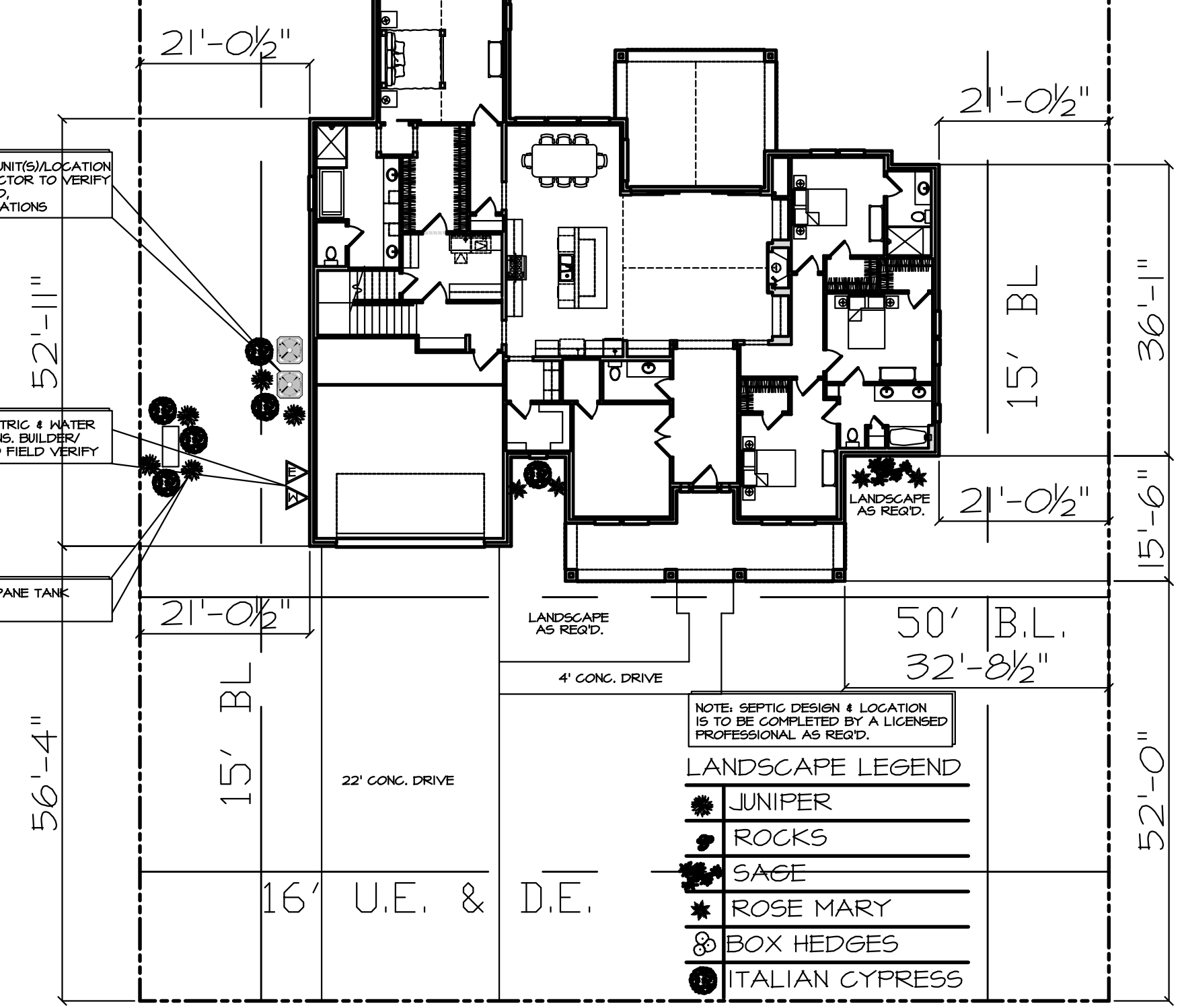
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ERICK
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09/18/19
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SCALE:
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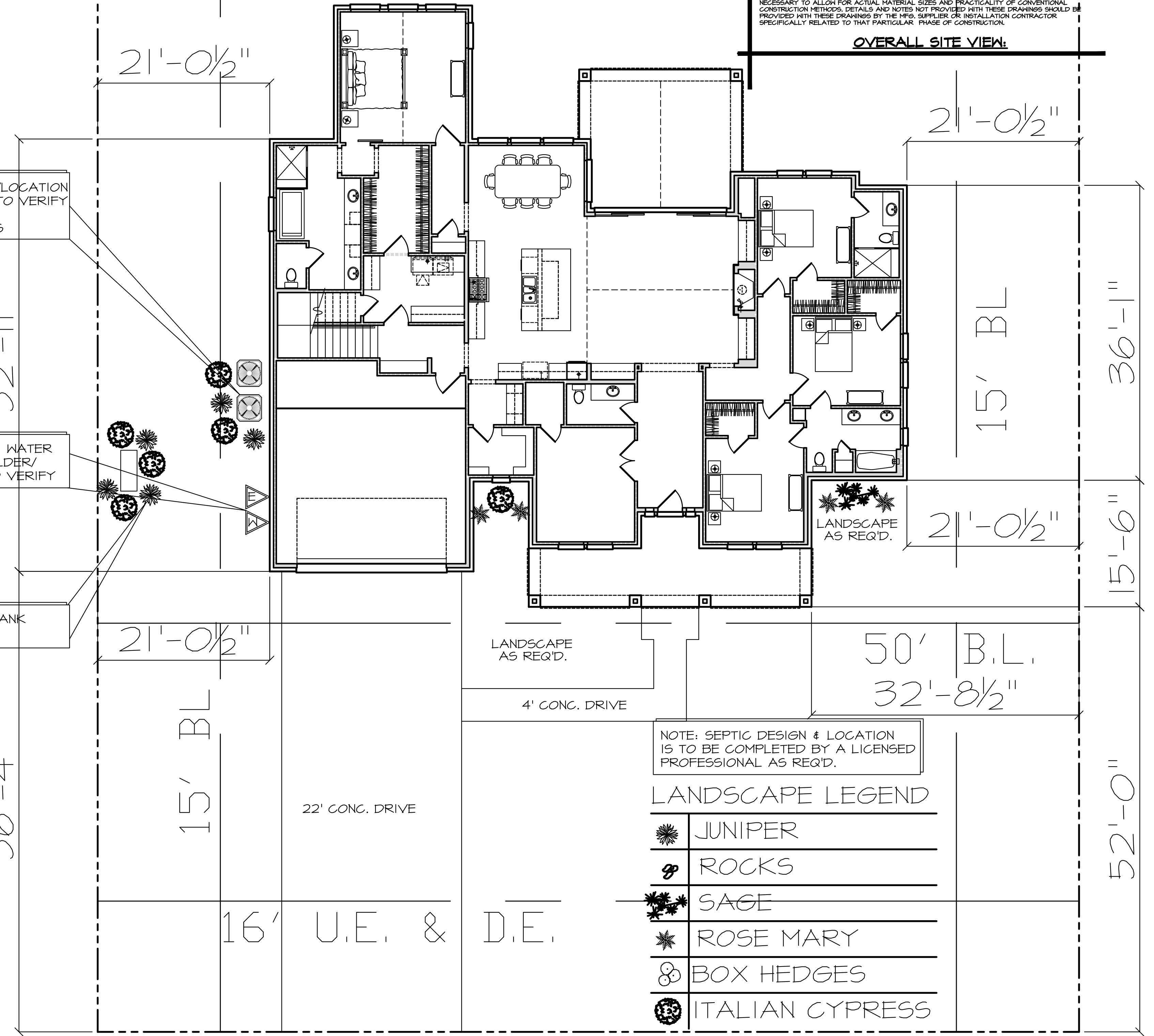
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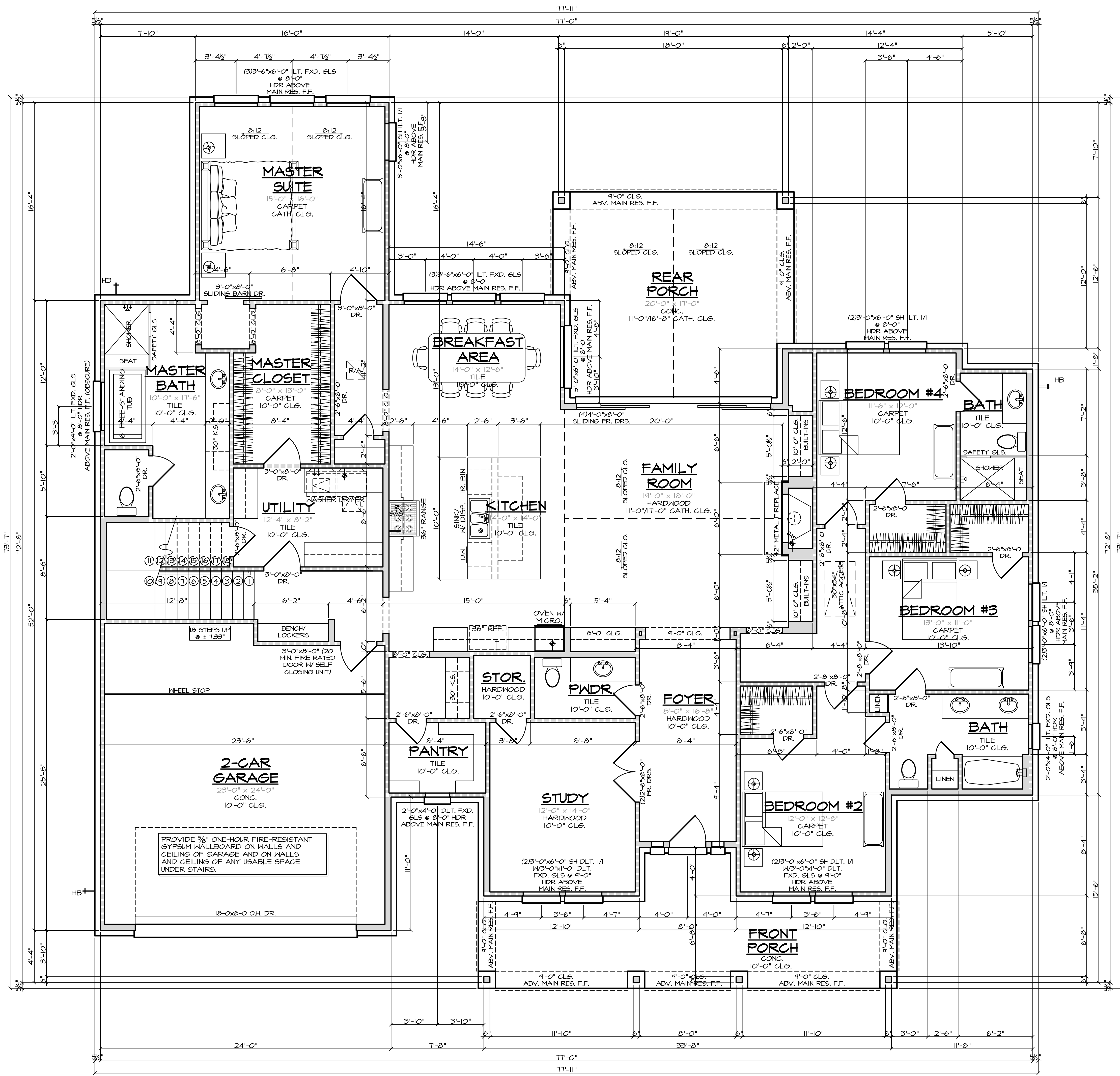
100' D.E.



RIO BLANCO DRIVE
 60' R.P.W.



RIO BLANCO DRIVE



FLOOR PLAN NOTES:

1. ALL WINDOW HEADER HEIGHTS MEASURED FROM FINISHED FLOOR IMMEDIATELY INSIDE WINDOW.
2. ALL CEILING HTS. MEASURED FROM THE FINISHED FLOOR IN THE ROOM BEING CALLED OUT (GARAGE CEILING HTS. MEASURED FROM THE WHEEL STOP ELEVATION).
3. IRC 2012 R309.2- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" GYPSUM BOARD AND IF LIVING AREAS ARE LOCATED ABOVE THE GARAGE, THEN THE GARAGE CEILING TO BE SEPARATED BY 5/8" GYPSUM BOARD. (ALL OTHER GYPSUM BOARD IN GARAGE CAN BE 1/2" INCLUDING CEILING OF 1 STORY)
4. IRC 2012 R311.5.1- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES (914mm) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES (114mm) ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31.5 INCHES (797mm) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (690mm) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
5. IRC 2012 R311.5.6- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
6. IRC 2012 R311.5.6.1- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864mm) AND NOT MORE THAN 38 INCHES (965mm).
7. IRC 2012 R311.5.6.2- HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAILS ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE SPACE OF NOT LESS THAN 1 1/2 INCH (38mm) BETWEEN THE WALL AND HANDRAILS.
8. IRC 2012 R312.2- REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.
EXCEPTION 1- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152mm) CANNOT PASS THROUGH.
- EXCEPTION 2- OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES (107mm) TO PASS THROUGH.
9. IRC 2012 R311.5.3.1- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (196mm). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5mm).
10. PROVIDE 20-MINUTE SELF-CLOSING DOOR BETWEEN GARAGE AND RESIDENCE.
11. SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. LOCATIONS COMPLY W/ IRC 2012.
12. ALL BEDROOM WINDOWS SHALL BE 44" A.F.F.(MAX) WITH 24" HIGH (MIN.) X 20" WIDE (MIN.) OPENING AND 5.7 SQ.FT.(MIN.) NET CLEAR OPENING
13. PROVIDE VENTILATION TO ALL BATHS AND UTILITY ROOMS THRU NATURAL OR MECHANICAL MEANS AND COMPLY WITH IRC 2012.
14. FINAL LOCATION OF ALL A/C COMPRESSORS, ELECTRIC METER, GAS METER, PHONE, CABLE, ETC., MAY VARY DUE TO FIELD CONDITIONS.
15. SHOWER STALLS AND TUB WALLS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET OVER A CONCRETE BACKER BOARD.
17. ALL WINDOWS AT FIRST FLOOR LEVEL TO BE A MINIMUM OF 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL WINDOWS AT SECOND FLOOR LEVEL TO BE A MINIMUM OF 24" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
18. IRC 2012 311.2.2- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH (13mm) GYPSUM BOARD.

- ===== = 2X4 STUDS AT 16" O.C.
- ===== = 2X4 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE
- ===== = MIN. 2X6 STUDS AT 16" O.C.
- ===== = MIN. 2X6 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE

S.R.A. = SHEETROCK ARCH
 ◯ = INTERIOR ELEVATION

AREA CALCULATIONS	
FIRST FLOOR LIVING:	3,151 SQ.FT.
BONUS ROOM:	434 SQ.FT.
TOTAL LIVING AREA:	3,585 SQ.FT.
2-CAR GARAGE:	617 SQ.FT.
REAR PORCH:	320 SQ.FT.
FRONT PORCH:	276 SQ.FT.
TOTAL COVERED AREA:	4,798 SQ.FT.

FIRST FLOOR PLAN

1/4"=1'-0" ALL ANGLES 45° U.O.N.

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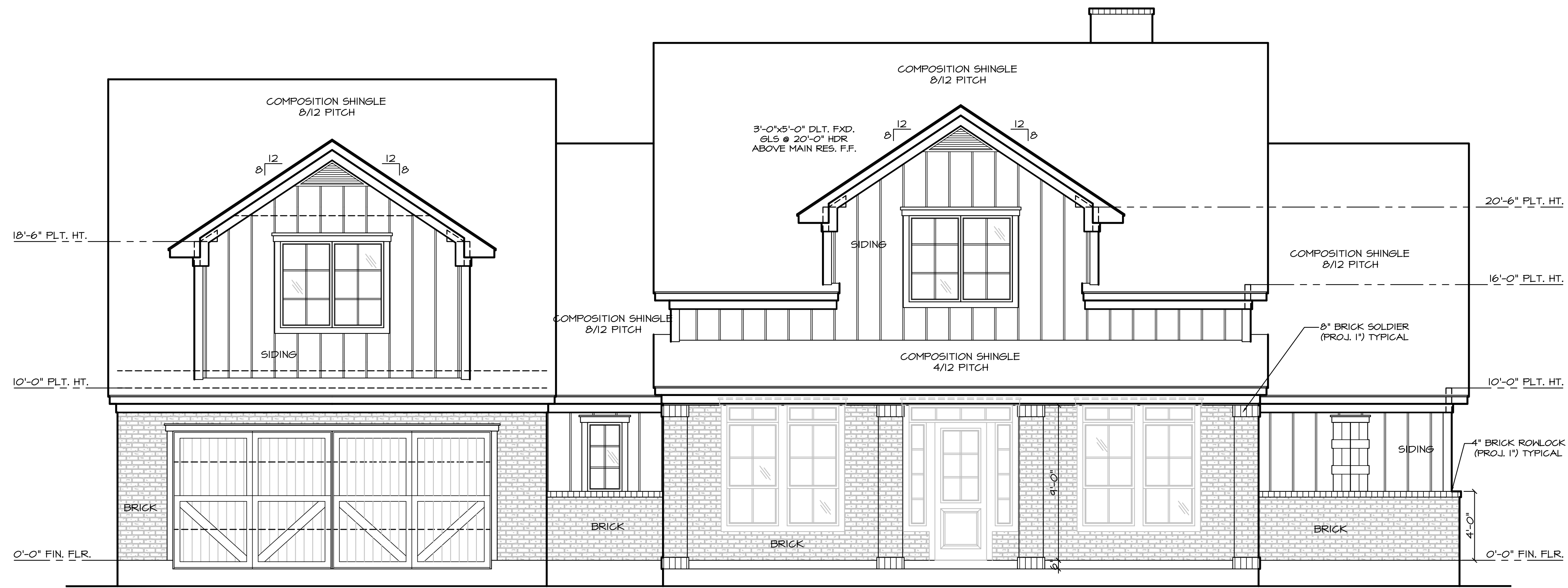
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 ERICK
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 1/4"=1'-0"
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SHEET NUMBER:

2.0



FRONT ELEVATION
 MASONRY PERCENTAGE
 APPROX. TOTAL FRONT AREA=±1,019 SQ. FT.
 BRICK AREA= ±62%
 SIDING AREA= ±38%

FRONT ELEVATION

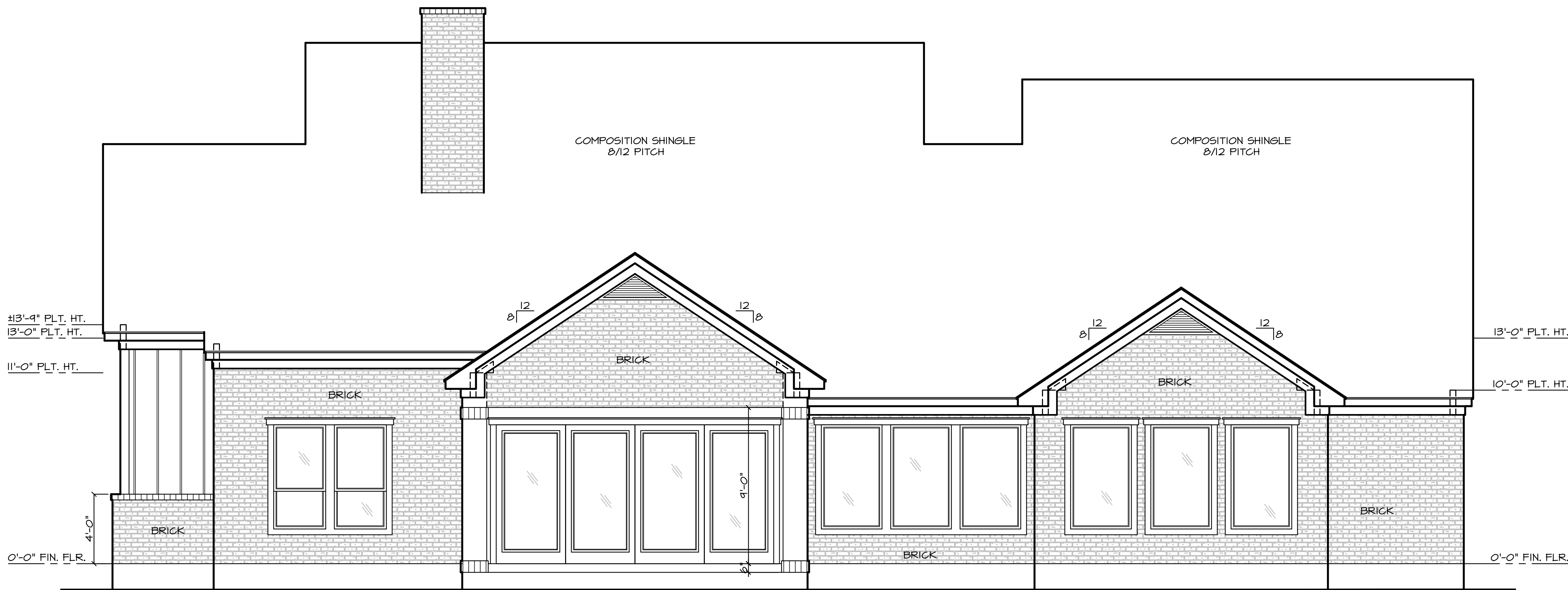
1/4"=1'-0"

ELEVATION NOTES:

1. ENGINEER OF RECORD IS TO PROVIDE ALL FOUNDATION & STRUCTURAL DETAILS AS REQ'D.
2. ENGINEER IS TO PROVIDE & SIZE ALL STRUCTURAL BEAMS AS REQ'D. SEE ENGINEER'S DRAWINGS FOR DETAILS.
3. BUILDER/CONTRACTOR TAKES ALL LIABILITY IF ANY CHANGES ARE MADE OUT IN THE FIELD WITH OUT THE CONSENT OF THE DESIGNER/ENGINEER.
4. ALL CHIMNEYS ARE TO EXTEND A MINIMUM OF 2'-0" FEET ABOVE THE HIGHEST POINT OF THE STRUCTURE & SHOULD BE WITHIN A 10'-0" RADIUS OF THE CHIMNEY VENT. 2015 I.R.C. SECTION T1003.1
5. ALL WROUGHT IRON DESIGNS IN THE RESIDENCE SHALL BE CONSISTENT (INCLUDING THE SIDE YARD GATES) AND MAY OR MAY NOT BE IDENTICAL TO THE DESIGNS SHOWN IN THE PLANS. WROUGHT IRON SUPPLIER SHALL SUBMIT SHOP DRAWINGS TO THE OWNER FOR DESIGN APPROVAL PRIOR TO FABRICATION.
6. GUTTERS AND DOWNSPOUTS PER BUILDER.
7. SHAPE OF EYEBROW ARCHES SHOULD MATCH SHAPE OF EYEBROW TRANSOMS AT FRONT AND REAR PORCHES AND AT ANY LOCATION WHERE AN EYEBROW WINDOW IS ADJACENT TO AN EYEBROW ARCH. THE ARCH SHAPE OF THE ACTUAL WINDOW SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON THESE DRAWINGS. ON-SITE COORDINATION WITH THE WINDOW MANUFACTURER MAY BE REQUIRED.
8. LOCATE ALL HOSE BIBS AT 9" ABOVE MAIN FINISHED FLOOR LEVEL.
9. ALL SHUTTERS SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE FULLY OPERATIONAL.

2015 I.E.C.C.:

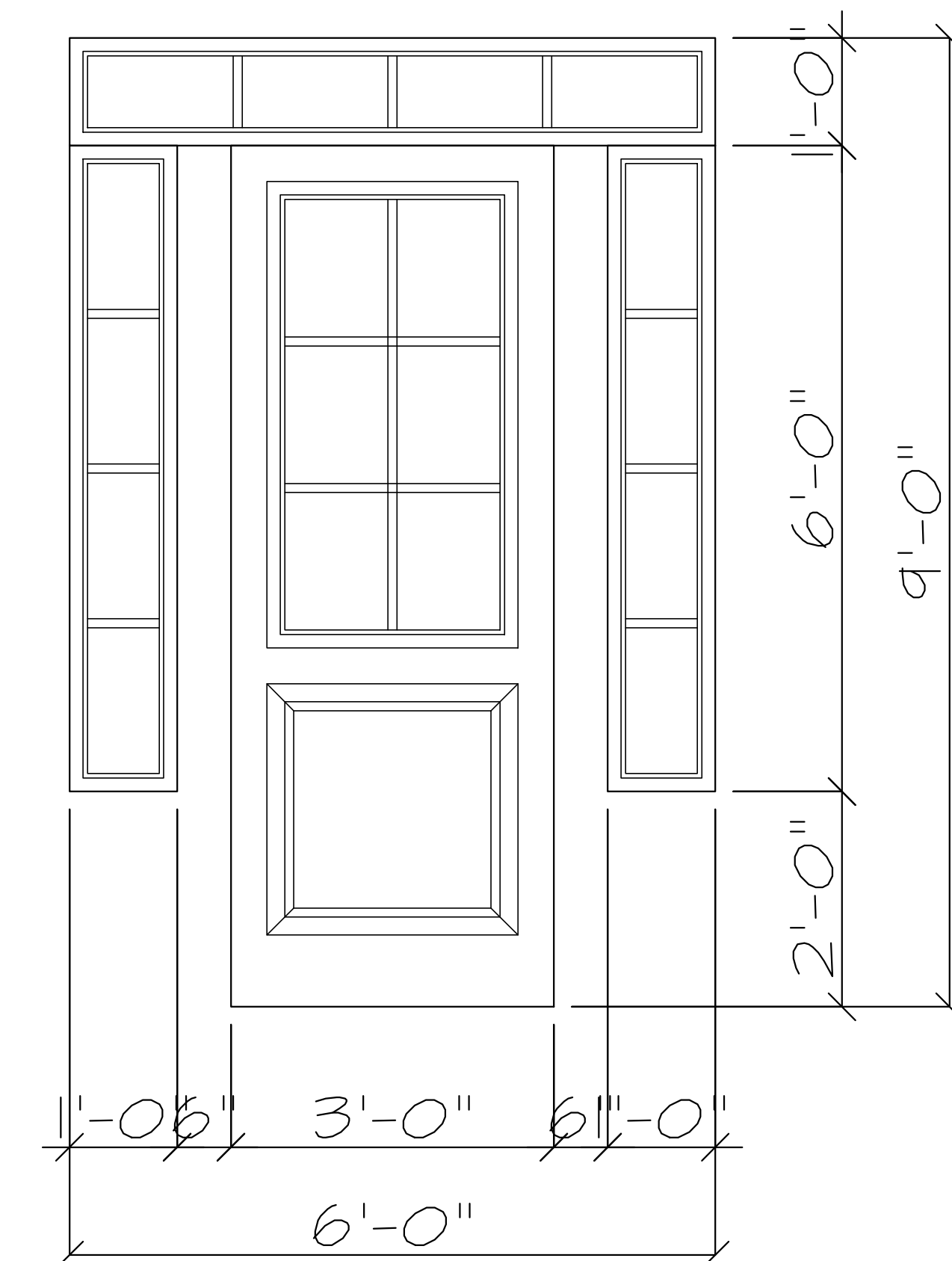
BUILDER/CONTRACTOR IS TO VERIFY THAT ALL CURRENT 2015 INTERNATIONAL ENERGY CONSERVATION CODES ARE MET ACCORDINGLY.



REAR ELEVATION
 MASONRY PERCENTAGE
 APPROX. TOTAL REAR AREA=±870 SQ. FT.
 BRICK AREA= ±95%
 SIDING AREA= ±5%

REAR ELEVATION

1/4"=1'-0"



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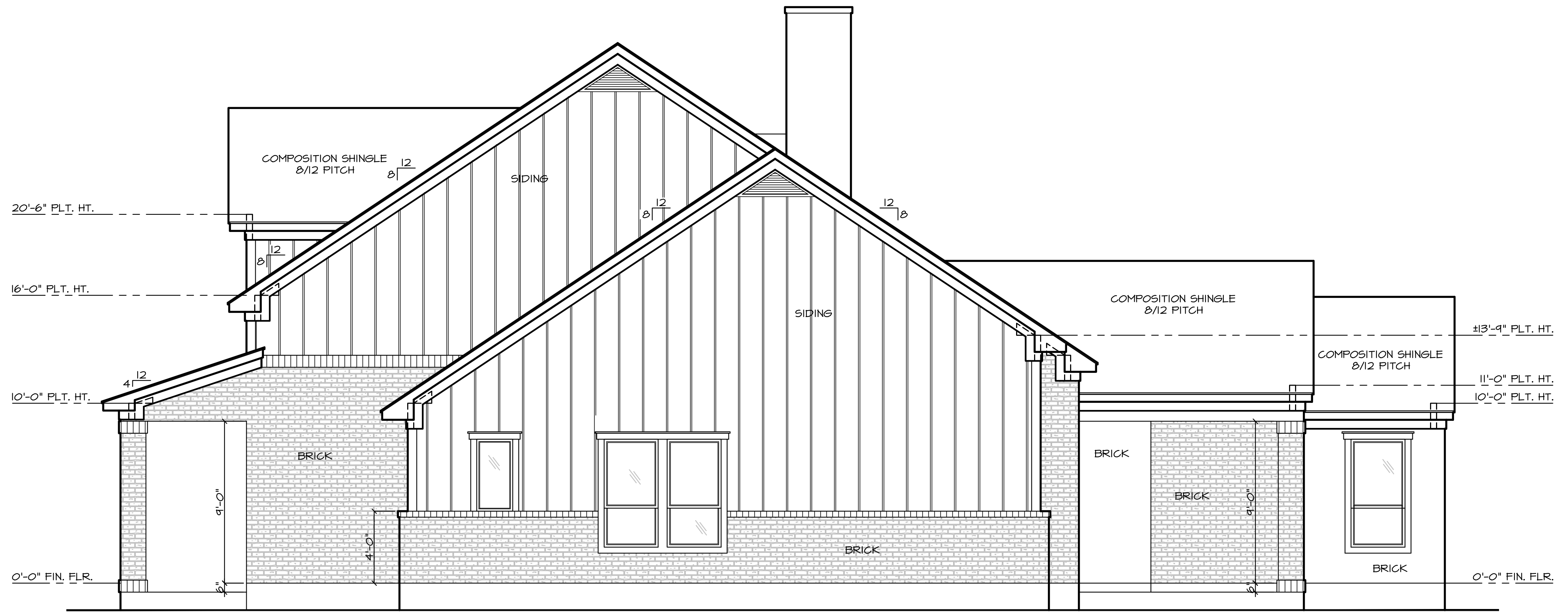
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- ALL WROUGHT IRON DESIGNS IN THE RESIDENCE SHALL BE CONSISTENT (INCLUDING THE SIDE YARD GATES) AND MAY OR MAY NOT BE IDENTICAL TO THE DESIGNS SHOWN IN THE PLANS. WROUGHT IRON SUPPLIER SHALL SUBMIT SHOP DRAWINGS TO THE OWNER FOR DESIGN APPROVAL PRIOR TO FABRICATION.
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- LOCATE ALL HOSE BIBS AT 4" ABOVE MAIN FINISHED FLOOR LEVEL.
- ALL SHUTTERS SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE FULLY OPERATIONAL.

2015 I.E.C.C.:

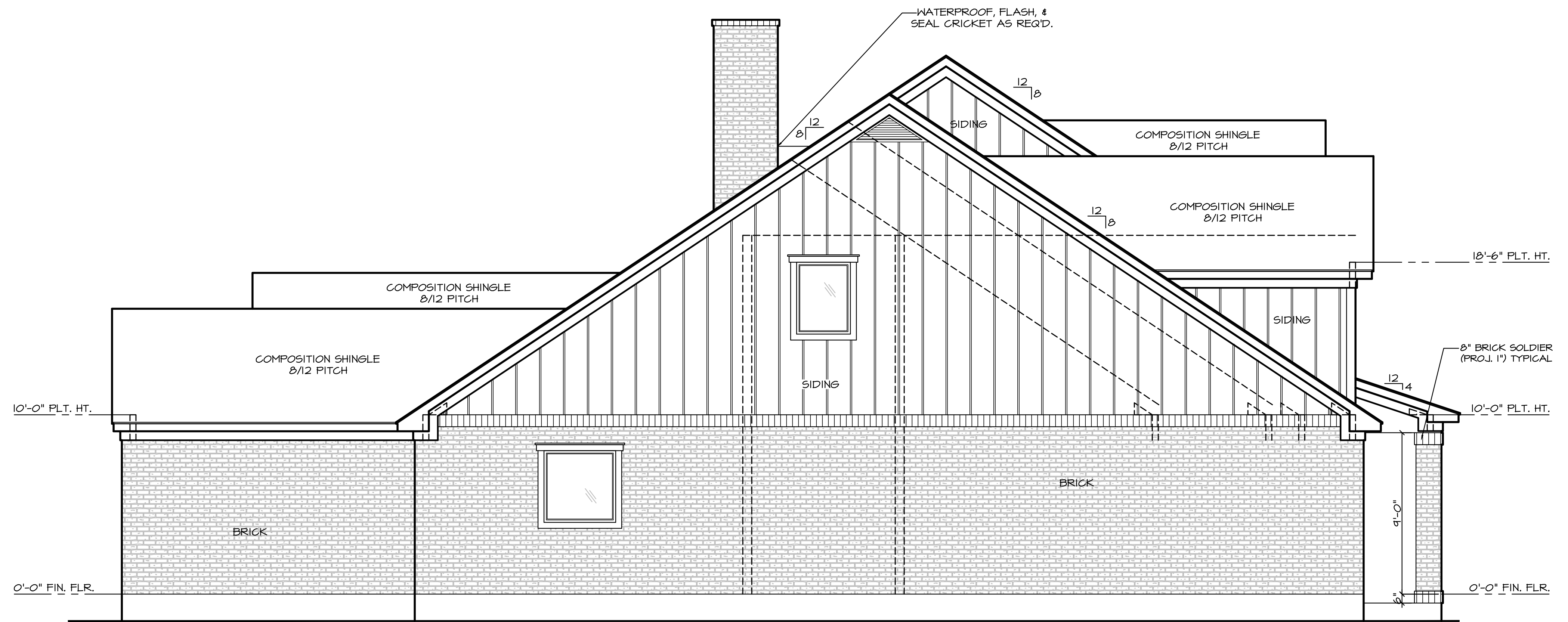
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RIGHT ELEVATION
MASONRY PERCENTAGE
APPROX. TOTAL RIGHT AREA=±1,156 SQ. FT.
BRICK AREA= ±42%
SIDING AREA= ±58%

RIGHT ELEVATION

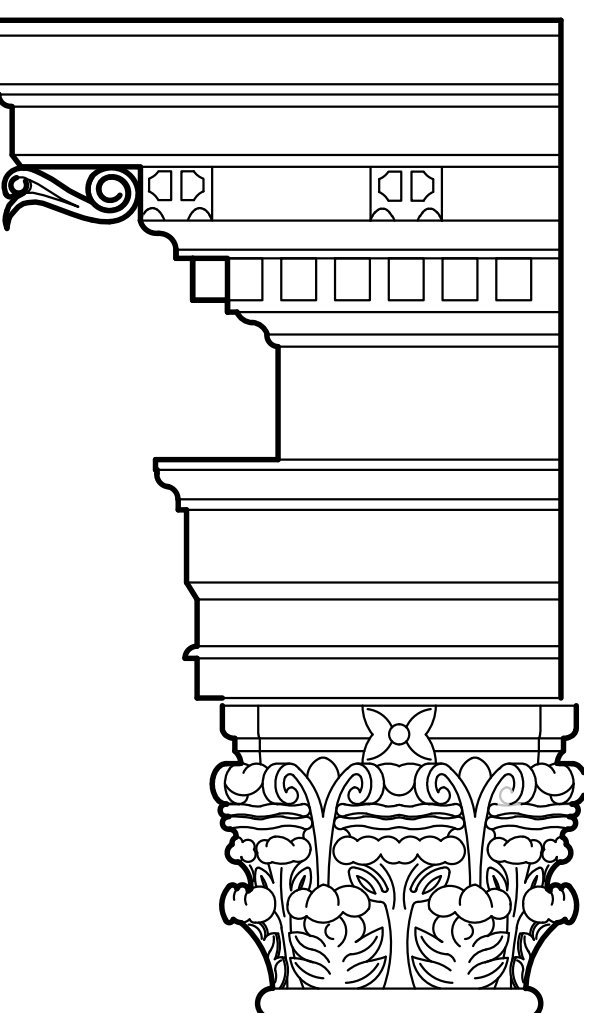
1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"

LEFT ELEVATION
MASONRY PERCENTAGE
APPROX. TOTAL LEFT AREA=±1,134 SQ. FT.
BRICK AREA= ±59%
SIDING AREA= ±41%



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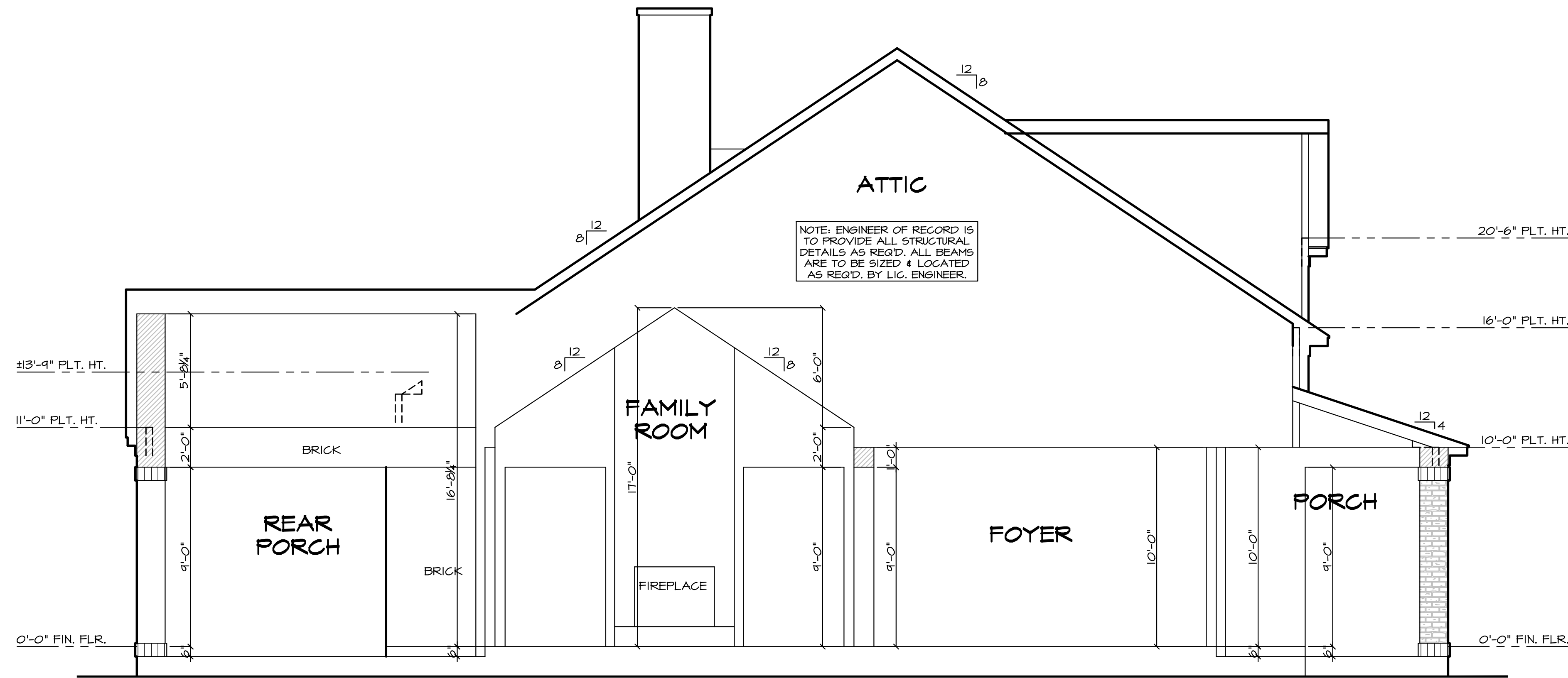
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- ENGINEER IS TO PROVIDE & SIZE ALL STRUCTURAL BEAMS AS REQ'D. SEE ENGINEER'S DRAWINGS FOR DETAILS.
- BUILDER/CONTRACTOR TAKES ALL LIABILITY IF ANY CHANGES ARE MADE OUT IN THE FIELD WITH OUT THE CONSENT OF THE DESIGNER/ENGINEER.
- ALL CHIMNEYS ARE TO EXTEND A MINIMUM OF 2'-0" FEET ABOVE THE HIGHEST POINT OF THE STRUCTURE & SHOULD BE WITHIN A 10'-0" RADIUS OF THE CHIMNEY VENT. 2015 I.R.C. SECTION 11003.1
- ALL WROUGHT IRON DESIGNS IN THE RESIDENCE SHALL BE CONSISTENT (INCLUDING THE SIDE YARD GATES) AND MAY OR MAY NOT BE IDENTICAL TO THE DESIGNS SHOWN IN THE PLANS. WROUGHT IRON SUPPLIER SHALL SUBMIT SHOP DRAWINGS TO THE OWNER FOR DESIGN APPROVAL PRIOR TO FABRICATION.
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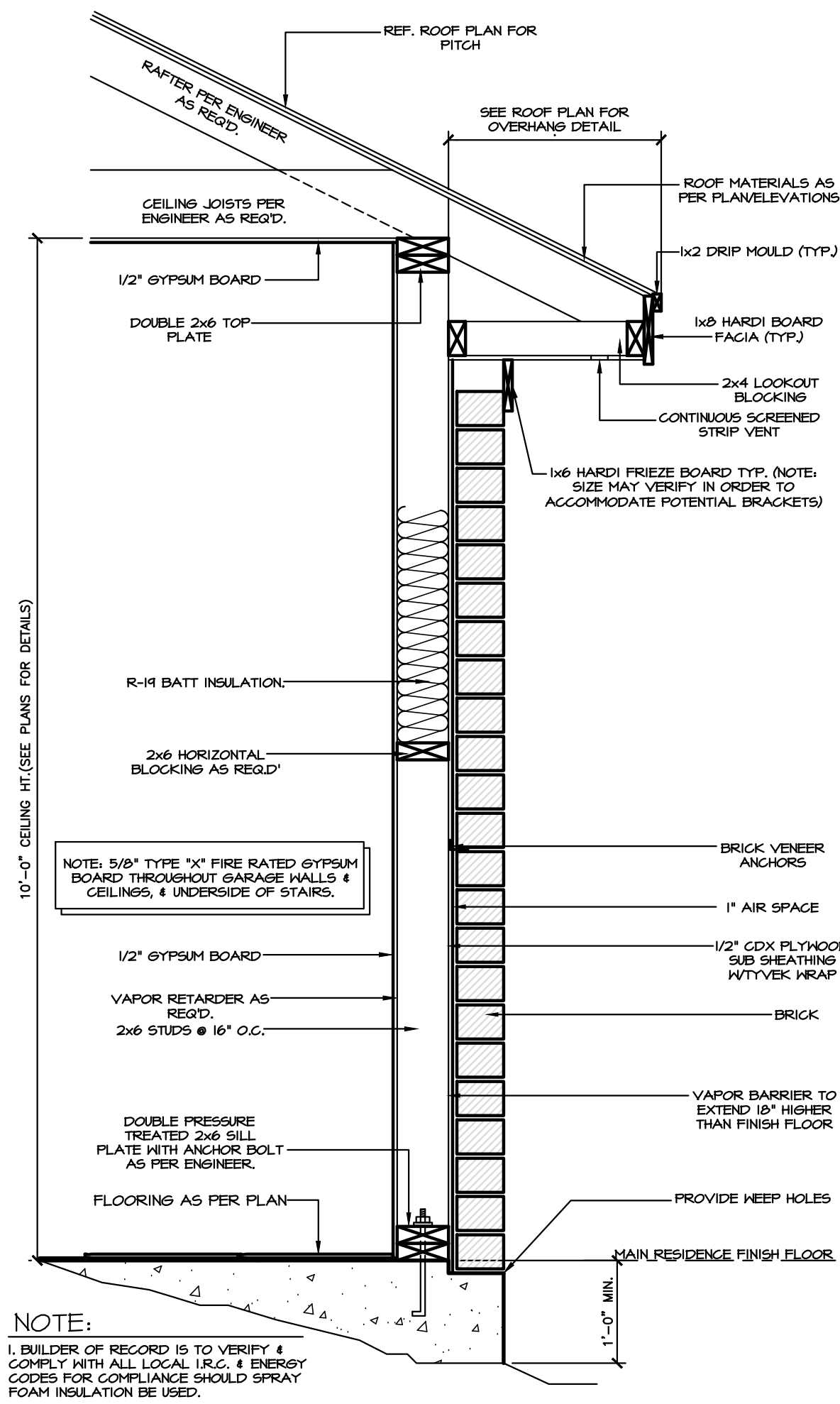
2015 I.E.C.C.:

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SECTION "A-A"

1/4"=1'-0"



WALL DETAIL

NOT TO SCALE

- NOTE:
- BUILDER OF RECORD IS TO VERIFY & COMPLY WITH ALL LOCAL I.R.C. & ENERGY CODES FOR COMPLIANCE SHOULD SPRAY FOAM INSULATION BE USED.
 - REFERENCE ENGINEERING PLANS FOR SPECIFICATIONS & DETAILS FOR ANY & ALL HURRICANE CLIP LOCATIONS.
 - INSULATION FOR FIRE WALLS ARE TO MEET FIRE WALL CODES, 25 FLAME SPREAD MIN.

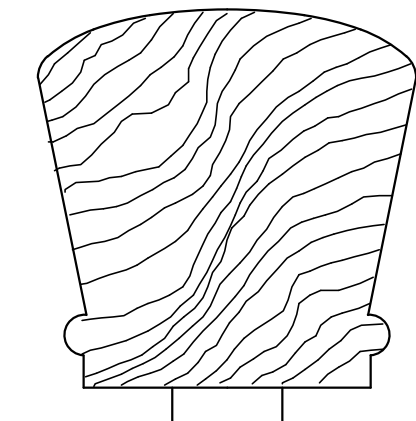
INTERNATIONAL RESIDENTIAL CODE- SECTION R315.1

THE TOP OF HANDRAILS AND HANDRAIL EXTENSIONS SHALL BE PLACED NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND, EXCEPT FOR PRIVATE STAIRWAYS, AT LEAST ONE HANDRAIL SHALL EXTEND IN THE DIRECTION OF THE STAIR RUN NOT LESS THAN 12 INCHES BEYOND THE TOP RISER OR LESS THAN 12 INCHES BEYOND THE BOTTOM RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2 INCHES OR MORE THAN 2 INCHES IN GROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

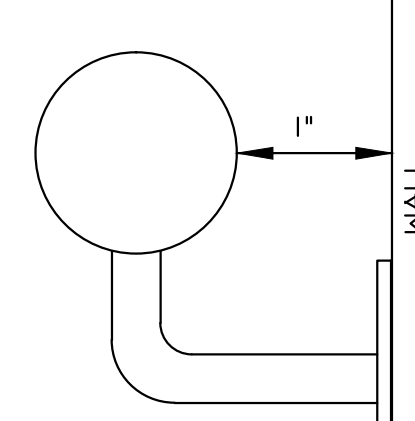
HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

HANDRAIL THAT IS NOT CIRCULAR MUST PROVIDE EQUIVALENT GRASPING SURFACE TO THE SPECIFIED CIRCULAR CROSS SECTION

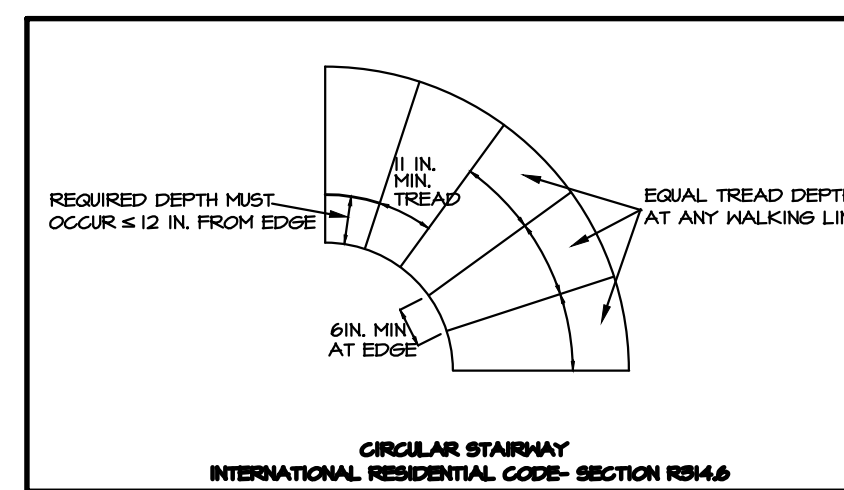


NONCIRCULAR HANDRAIL
HANDRAIL GRASPING SURFACES
NOT TO SCALE IRC R315.2

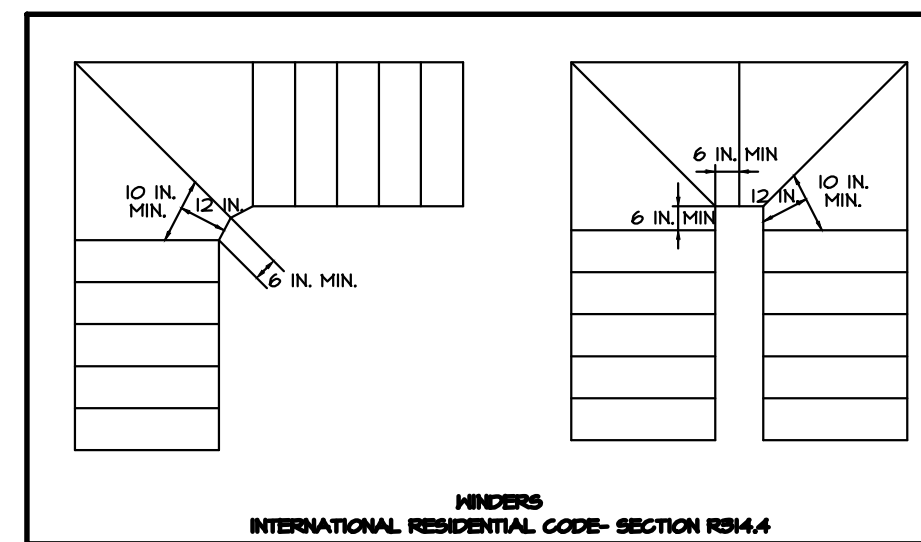
HANDRAIL WITH CIRCULAR 1 1/8 IN. MIN. 2 IN. MAX. DIAMETER OR PROVIDE EQUIVALENT GRASPABILITY



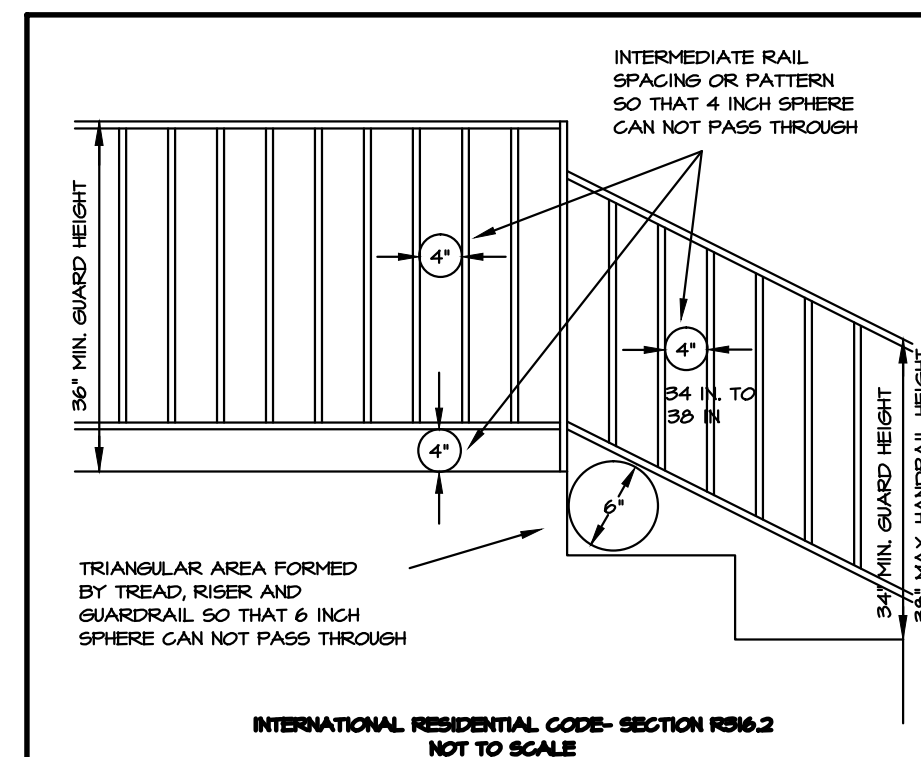
CIRCULAR HANDRAIL
HANDRAIL GRASPING SURFACES
NOT TO SCALE IRC R315.2



CIRCULAR STAIRWAY
INTERNATIONAL RESIDENTIAL CODE- SECTION R314.6



HINDERS
INTERNATIONAL RESIDENTIAL CODE- SECTION R314.4



INTERNATIONAL RESIDENTIAL CODE- SECTION R316.2
NOT TO SCALE

SECTION/DETAILS

1/4"=1'-0"

ALL ANGLES 45° UNLESS NOTED

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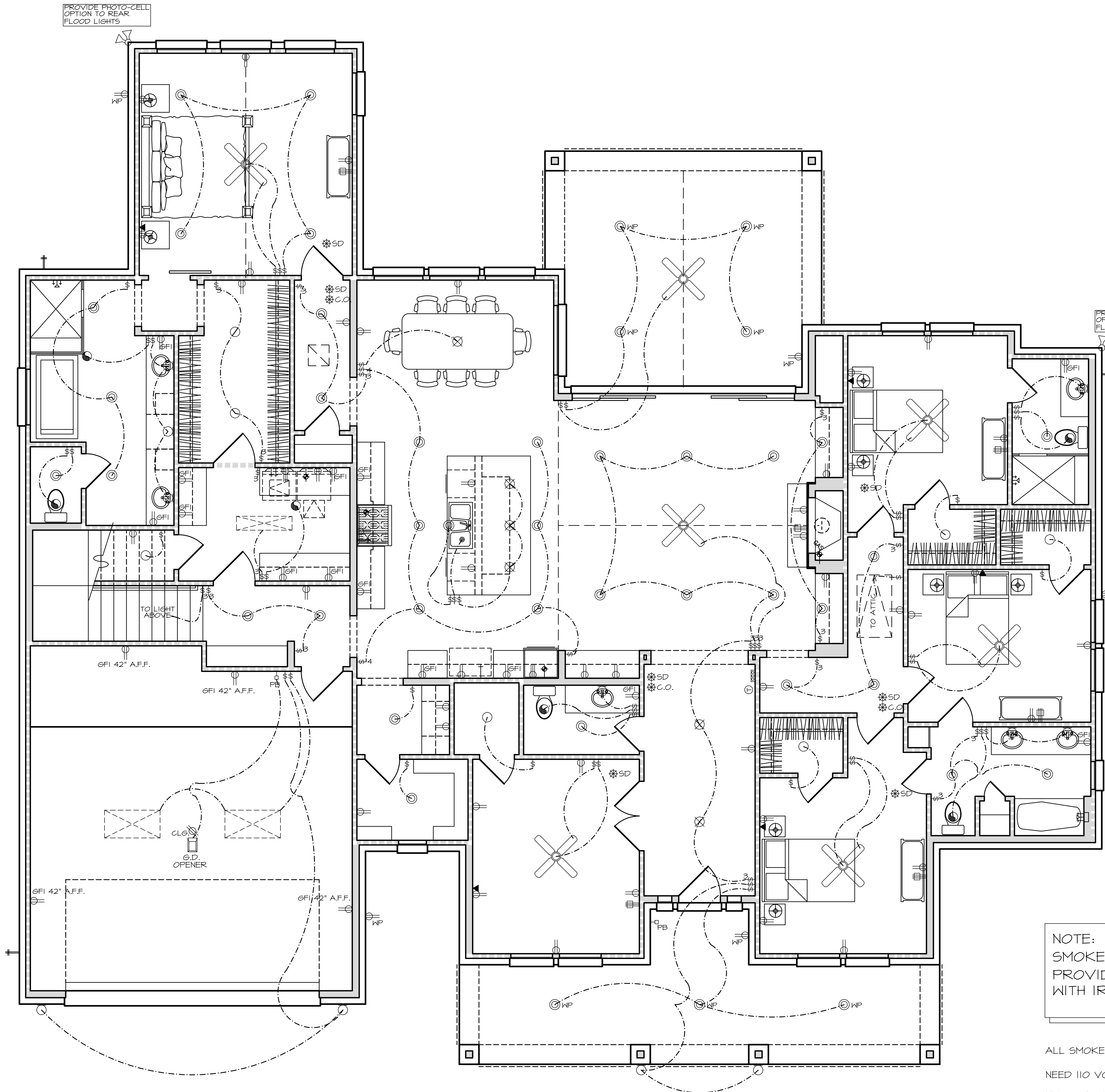
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NOTE:
SMOKE DETECTORS TO BE PROVIDED IN COMPLIANCE WITH IRC 2012 R313.2

ALL SMOKE DETECTORS REQUIRE THE FOLLOWING
NEED 110 VOLT FOR SOURCE POWER.
NEED BATTERY BACKUP SYSTEM.
NEED INTER-CONNECTED SYSTEM FOR ALL SMOKE DETECTORS, SO ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE RESIDENCE.
HAS TO BE INSTALLED TO MEET NFPA 72

ELECTRICAL LEGEND

- 110 VOLT RECEPTACLE
- WATERPROOF RECEPTACLE
- 110 VOLT IN CEILING
- 110 VOLT AT FIREPLACE MANTLE
- 110 VOLT W/GROUND FAULT INTERRUPT
- 110 VOLT IN FLOOR
- 110 VOLT "PLUG MOLD"
- 220 VOLT RECEPTACLE
- TELEVISION ANTENNA/CABLE JACK
- TELEPHONE JACK
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- PUSH BUTTON
- SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED W/BATTERY BACKUP
- CARBON MONOXIDE DETECTOR
- THERMOSTAT
- CHIMES
- CEILING MOUNTED LIGHT FIXTURE
- HANGING LIGHT
- LAMP POST
- RECESSED CAN LIGHT
- WATERPROOF RECESSED CAN LIGHT
- RECESSED EYEBALL SPOT LIGHT
- MONO-POINT OR DIRECTIONAL LT.
- STEP LIGHT
- WALL WASHER OR LOW VOLTAGE LT.
- SCONCE OR WALL MOUNTED FIXTURE
- PORCELAIN FIXTURE W/ FULL CORD
- FLOOD LIGHTS
- EXHAUST FAN
- EXHAUST FAN W/ LIGHT
- EXHAUST FAN W/ HEAT LAMP
- EXHAUST FAN W/ HEAT LAMP & LIGHT
- CEILING FAN
- CEILING FAN W/ LIGHT
- CEILING LIGHT W/ FUTURE FAN
- 2' x 2' FLUORESCENT LIGHT
- 1' x 4' FLUORESCENT LIGHT
- 2' x 4' FLUORESCENT LIGHT
- UNDER-COUNTER LIGHT
- OVER-COUNTER LIGHT
- TRACK LIGHTING

FIRST FLOOR ELECTRICAL PLAN

1/4"=1'-0" ALL ANGLES 45° U.O.N.

2500 E. TC Jester
Ste. 239
Houston, TX 77008
Office (713) 868-4545

BUILDING DESIGNERS

GARCIA & HERNANDEZ DESIGNS
A CUSTOM DESIGN FOR:
SAINZ 3
27604 RIO BLANCO

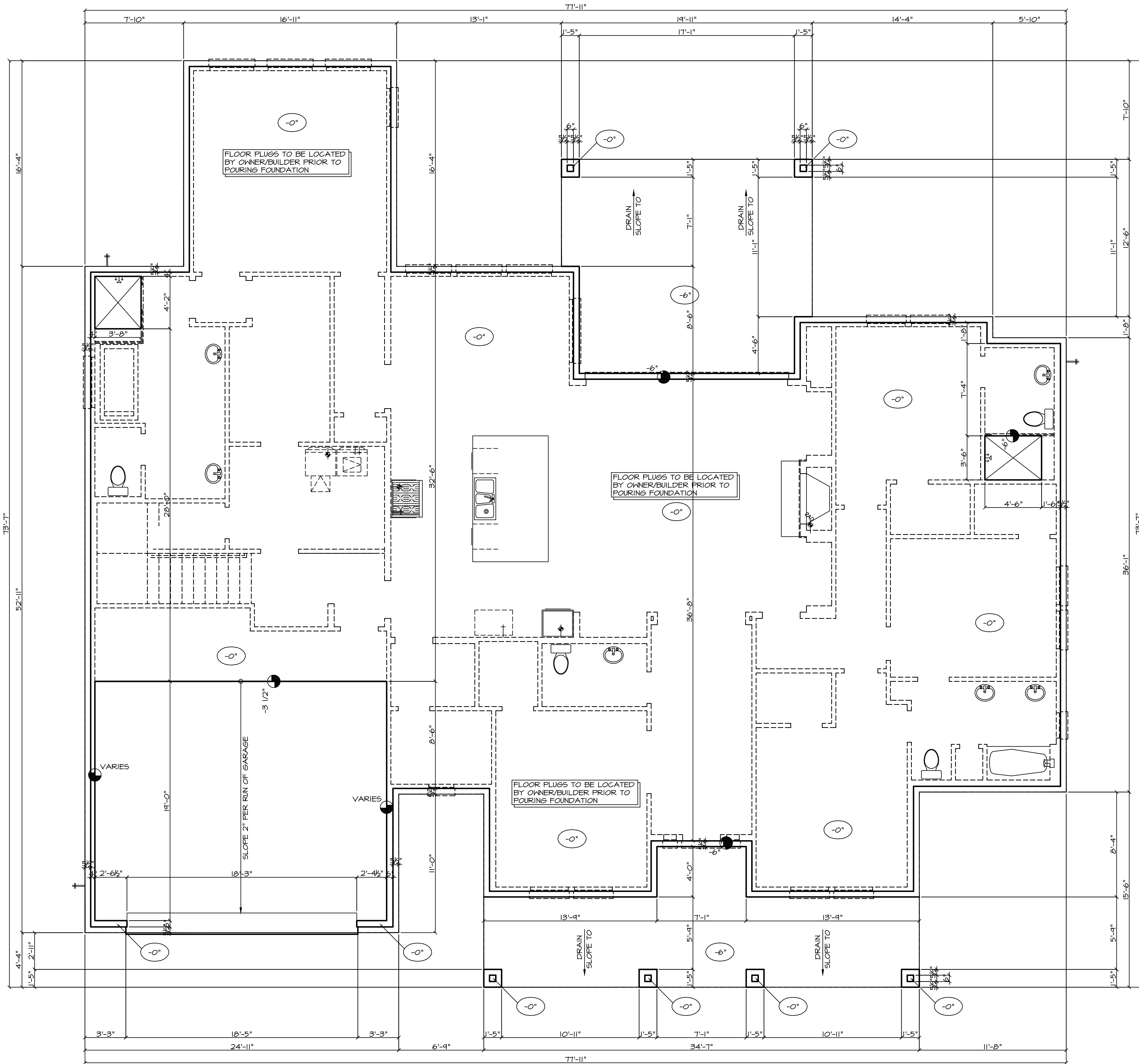
www.g-hcustomhomes.com

DRAWN BY:
ERICK
DATE:
09/18/19
REVISIONS:

SCALE:
1/4"=1'-0"
JOB NUMBER:
19-00

SHEET NUMBER:

5.0



FORM PLAN NOTES:

1. ENGINEER OF RECORD IS TO PROVIDE ALL FOUNDATION & STRUCTURAL DETAILS AS REQ'D.
2. ENGINEER IS TO PROVIDE & SIZE ALL STRUCTURAL BEAMS AS REQ'D. SEE ENGINEER'S DRAWINGS FOR DETAILS.
3. BUILDER/CONTRACTOR TAKES ALL LIABILITY IF ANY CHANGES ARE MADE OUT IN THE FIELD WITHOUT THE CONSENT OF THE DESIGNER/ENGINEER.
4. FLOOR PLUGS ARE TO BE LOCATED & OR APPROVED BY CLIENT PRIOR TO POURING OF THE SLAB.
5. THIS DRAWING REPRESENTS FORM SET ONLY, SHOULD THERE BE ANY VARIATIONS IN DIMENSIONS, BUILDER/CONTRACTOR IS TO CONTACT THE DESIGNER BEFORE PROCEEDING WITH ANY FIELD WORK.

○" = MAIN RESIDENCE FINISH FLOOR

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