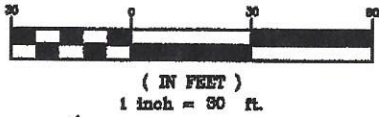
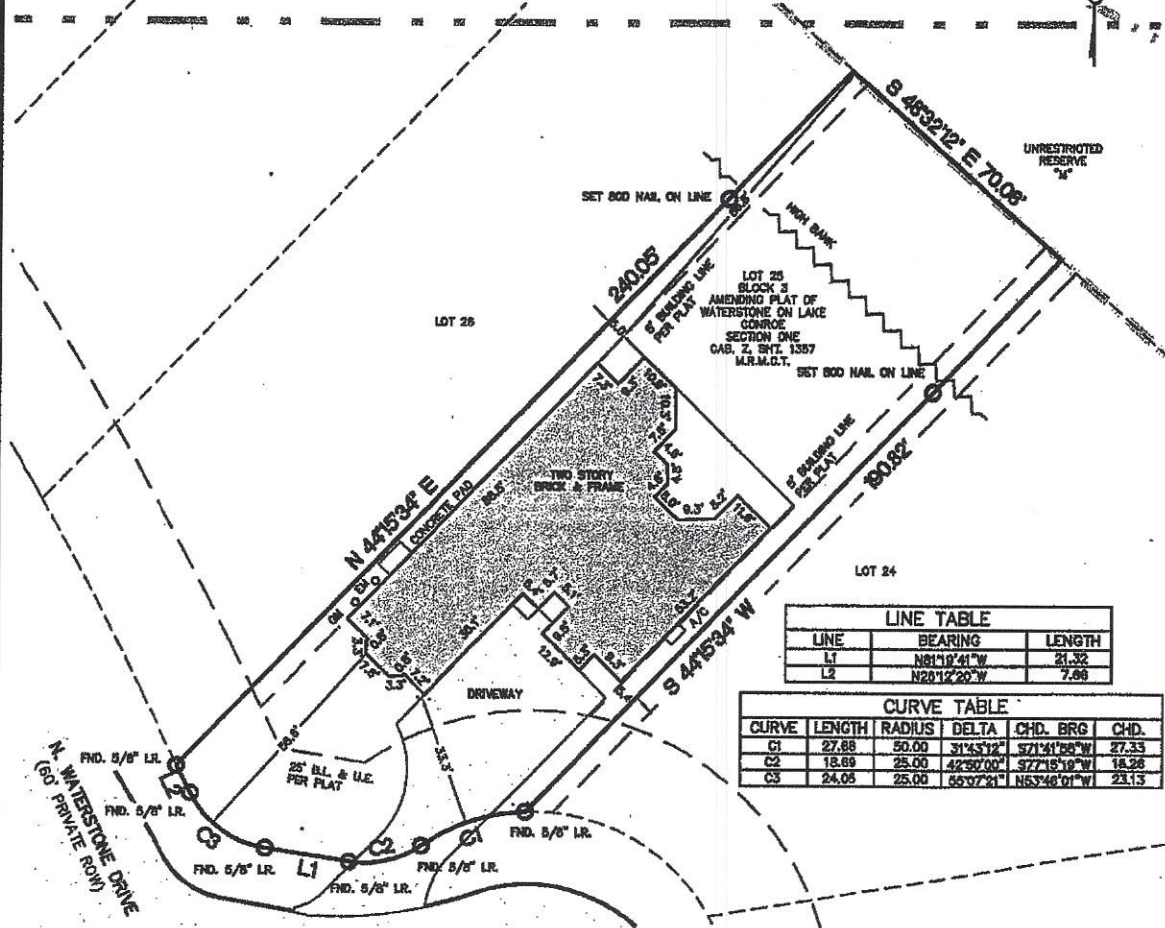


GRAPHIC SCALE



- LEGEND**
- BRS. BEARS
 - CAB. CABINET
 - EBOX. ELECTRIC BOX
 - TEL. PED. TELEPHONE PEDISTAL
 - BFE. BASE FLOOD ELEVATION
 - FND. FOUND
 - W/CAP. WITH CAP



LINE TABLE		
LINE	BEARING	LENGTH
L1	N81°18'41"W	21.32
L2	N29°12'20"W	7.96

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHD. BRG	CHD.
C1	27.88	50.00	31°43'12"	S71°41'05"W	27.33
C2	18.69	25.00	42°50'00"	S77°15'19"W	18.26
C3	24.05	25.00	65°07'21"	N53°46'01"W	23.13

- NOTES**
- Bearings based on recorded plat.
 - Survey prepared based on information provided in title commitment prepared by Old Republic Title Company of Conroe, G.F. No. 1101852, with an effective date of October 20, 2011, issued 26, 2011.
 - Flood Statements: I have examined the Federal Emergency Management Agency's Flood Insurance Rate Map for Montgomery County, Texas, Map Number 48339C0195, LOMR effective September 19, 2011 and indicate this tract to be in "Zone X", determined to be outside the 100 year flood plain. This tract is not located within a designated Special Flood Hazard Area, inundated by 100 year flood or Other Flood Areas. Warning: This site is within an identified Special Flood Hazard Area, this statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This determination has been made by scaling the property on the referenced map and is not the result of an elevation survey. This flood statement shall not create liability on the part of the surveyor.
 - Subject to Covenants, conditions and restrictions, charges, assessments and liens incorporated in that certain Development Agreement executed by and between the City of Montgomery County, Texas, Lefco Investments, Inc., Philip Lefers and Holly Lefers, and in Montgomery City Ordinance No. 2004-01, both as evidenced by Memorandum of Agreement dated January 20, 2004, recorded in the Real Property Records of Montgomery County, Texas, under County Clerk's File No. 2004-013561; those recorded in the said Real Property Records, under County Clerk's File No. 2008-069583; and those as may appear on Subdivision Plat of record in Cabinet Z, Sheet 1356 of the Map Records of Montgomery County, Texas; but any restrictions based on race, color, religion, marital origin, sex, familial status or handicap.
 - Subject to terms, conditions, stipulations and restrictions as set out in instrument creating a restricted water quality zone, dated November 20, 1970, executed by Texas Water Quality Board and San Jacinto River Authority, recorded in Volume 741, Page 445 of the Deed Records of Montgomery County, Texas, said instrument having been amended by Order of the Texas Water Quality Board, bearing Order No. 70-1216-4, dated December 16, 1976; and being further amended by Order of the San Jacinto River Authority and the Texas Water Commission, issued on February 12, 1988, as contained in 13 Tex Reg. 1004.
 - Subject to a 25 foot building line restriction and utility easement along the front lot line; a 5 foot building line restriction along the side lot lines, unless otherwise shown; an aerial easement 5 feet wide from a plane 20 feet above the ground upward, located adjacent to all easements shown thereon; and a public easement 15 feet wide on each side of the centerlines of all natural drainage courses; all as set out on Subdivision Plat of record in Cabinet Z, Sheet 1356 of the Map Records of Montgomery County, Texas.
 - Subject to Release of Easement dated May 25, 2010, executed by Entergy Texas, Inc., (formerly known as Gulf State Utilities Company and Entergy Gulf State, Inc.), releasing all its rights and privileges in and to that certain 5 foot x 20 foot Aerial Easement on all lots in Section 1 of Waterstone on Lake Conroe, filed for record under Clerk's File No. 2010-045156 in the Real Property Records of Montgomery County, Texas.
 - Subject to Building line restrictions of 5 feet along the interior side lot lines; a 5 foot utility easement, being 2-1/2 feet wide on each side of underground electric service lines as now or hereafter constructed, extending from the surface of the ground downward; all as set out in the restrictions recorded in the Real Property Records of Montgomery County, Texas, under County Clerk's File No. 2008-069583.

I hereby certify to: Roger L. Waskovick & Barbara A. Waskovick, husband and wife, Old Republic Title Company of Conroe, and Profile Mortgage Ventures, LLC
That this survey was made on the ground, that this plat correctly represents the facts at the time of the survey, and there were no encroachments visible on the ground unless otherwise shown.

David J. Strauss



David J. Strauss
R.P.L.S. 4833
October 12, 2011
Revised: October 31, 2011

FINAL SURVEY
OF
LOT TWENTY-FIVE (25),
BLOCK THREE (3)
AMENDING PLAT OF WATERSTONE
ON LAKE CONROE SECTION ONE (1)
CABINET Z, SHEET 1356 MR MCT
JOHN CORNER SURVEY, A-8
MONTGOMERY COUNTY, TEXAS



TOWN & COUNTRY SURVEYORS, LLC
1000 WEST PARKWAY, SUITE 300
DALLAS, TEXAS 75241
(214) 468-8788
FAX (214) 468-8788

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 6/09/2020 GF No. _____

Name of Affiant(s): Lisa M. Taedter

Address of Affiant: 3 Waterstone Ct Montgomery Tx 77356

Description of Property: Waterstone Section 1, Block 3, Lot 25

County Montgomery, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, Lisa Taedter, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."): _____

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

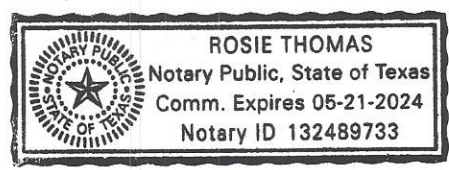
4. To the best of our actual knowledge and belief, since OCTOBER 31, 2011 there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which encroach on the Property;
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): NONE

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Lisa M. Taedter
Rosie Thomas



SWORN AND SUBSCRIBED this 9th day of June, 2020
Rosie Thomas
Notary Public