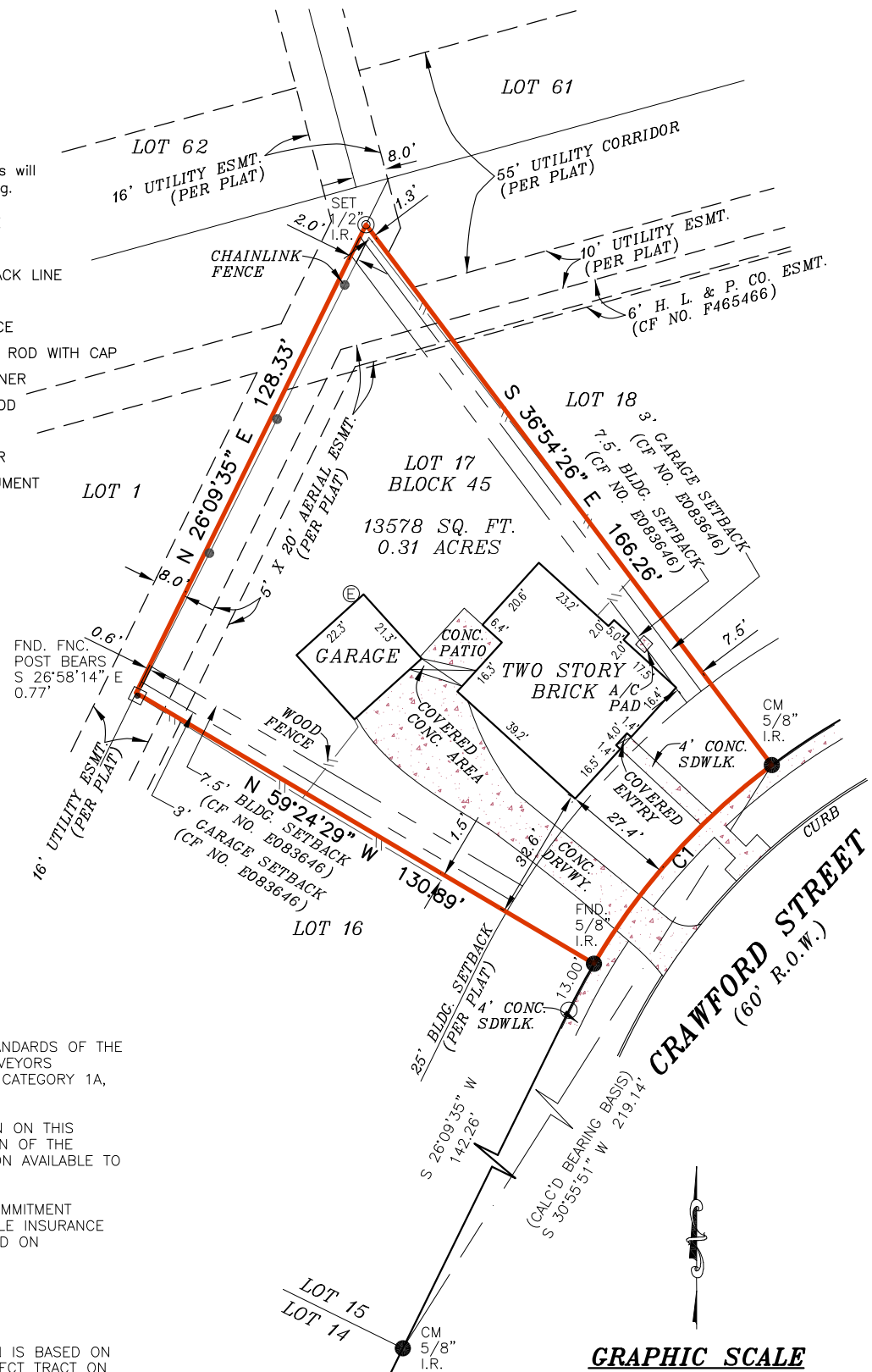


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	168.06'	66.00'	65.58'	S 41°50'26" W	22°30'04"

LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- CHAINLINK FENCE
- SET 1/2" IRON ROD WITH CAP
- PROPERTY CORNER
- FOUND IRON ROD
- FENCE POST
- ELECTRIC METER
- CONTROL MONUMENT



SURVEYOR'S NOTE:

THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS AND EASEMENTS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY WESTCOR LAND TITLE INSURANCE COMPANY GF NO. 2008476-500 ISSUED ON 05/04/2020.

FLOOD INFORMATION
 FIRM: 48201C PANEL: 0440 N
 REV. DATE: 11/15/2019
 ZONE: SHADED "X" & "AE"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

I, DAVID E. KING, JR, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to WESTCOR LAND TITLE INSURANCE COMPANY and GIERING INVESTMENTS, LP

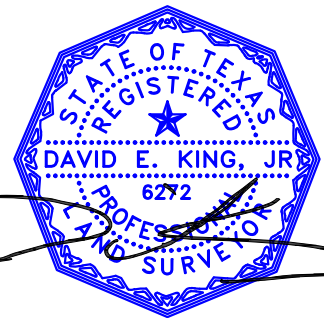
that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower: GIERING INVESTMENTS, LP
 Address: 16322 CRAWFORD ST., JERSEY VILLAGE, TX 77040 GF No. 2008476-500

Legal Description of the Land: Lot 17, in Block 45, of THE REPLAT OF JERSEY VILLAGE COUNTRY CLUB ESTATES, SECTION IV, REPLAT a subdivision in Harris County, Texas, according to the Map or Plat thereof recorded in Volume 262, Page 22, of the Map Records of Harris County, Texas.

LAND TITLE SURVEY

JOB NO.:	2005020127	NO.	REVISION	DATE
DATE:	05/18/20			
DRAWN BY:	IM			
APPROVED BY:	DEK			



SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 262, PAGE 22, MAP RECORDS, HARRIS COUNTY, TEXAS VOLUME 2842, PAGE 603, DEED RECORDS, HARRIS COUNTY, TEXAS CLERK'S FILE NO(S). D388740, E083646, F465466, OFFICIAL RECORDS, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



FIRM REGISTRATION NO. 10190700

DAVID E. KING, R.P.L.S.
 Registered Professional Land Surveyor
 Registration No. 6272

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Overland Consortium Inc. Surveyors

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