

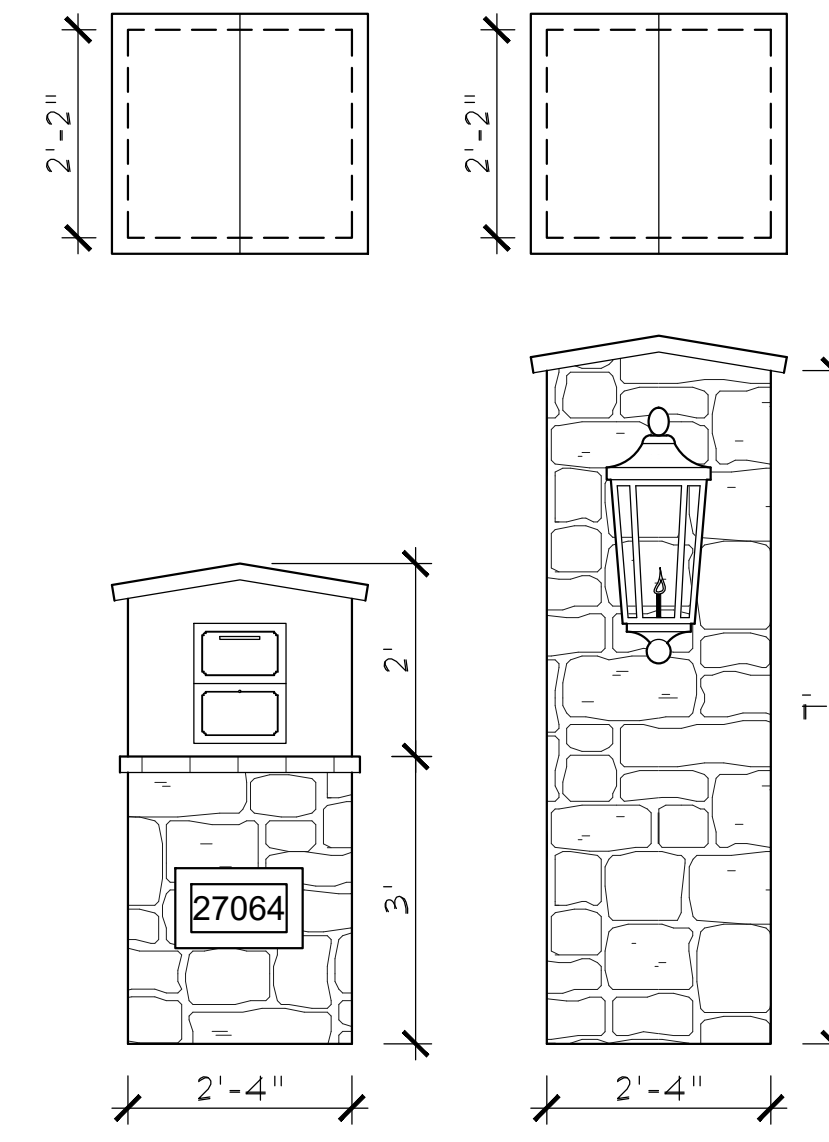


27064 STAR GAZER WAY

General Notes:
 The construction of this dwelling must comply with 2015 International Residential Code (2015 I.R.C.) This is a "builder set of plans" limited in scope and detail. This plan was not prepared by a state licensed architect. They are not a complete set of architectural documents. Any construction according to the general design depicted herein should be done by a builder familiar with using this type of builder set of plans and details.
 This plan and the designs contained herein are the sole property of the company, Wyrick Residential Designs. This plan and all the derivative works are subject to federal copyright law protection and may not be copied, resold, or reproduced by any means what so ever.
 Thin set all tile and wood floors unless owner/builder specifies drop. See builder for selections and slab drops where required.
 All curb stops/wheel stops location in garages or carports must be verified by owner/builder prior to concrete pour.
 All Gypsum to have 5/8" type X for all walls and ceilings. Provide 20 min. solid core door with closure device when opening directly into dwelling.
 One hour rated gypsum board separation under all stair cases. All stairways and handrails to comply with sections R311.7.1-R311.7.8 of 2015 I.R.C. Builder/contractor will certify installation compliance.
 Locate and interconnect 110V smoke detectors with battery backup in all sleeping rooms and common areas. Install in accordance with section R314 of 2015 I.R.C. and NFPA72 household fire warning equipment provisions.
 Household venting should be in accordance with sections P3101 to P3101.4 of 2015 I.R.C. exhaust to vent outside dwelling. provide ventilation at all baths and utility rooms via natural or mechanical means capable of five air chambers per hour and is vented directly outside with a point of discharge min. 4'0" from any opening that allows air reentry into occupied portion of building.
 HVAC installation, sizing, location is a responsibility of A/C contractor and must comply with section M4401-M4411 of the 2015 I.R.C.
 Install dryer vents according to section M1502 of the 2015 I.R.C. Ducts shall be continuous and terminate outside of dwelling.
 Where wood framing is exposed to water splashing provide water proof paper flashing and counter flashing. Fire stopping in concealed spaces of halls furr downs, ceilings, and floor levels, and at 10'0" intervals along length of wall.
 Shower stalls to be finished with non absorbent surface to minimum height of 7'0" above drain inlet per section R702.4 of the 2015 I.R.C. (Tiled areas= backer boards / Durock). Shower receptors to comply with section P2708 and P2710 of 2015 I.R.C.
 All plumbing installation, riser diagram, and fixture locations will be done by a licensed plumber and will comply with the national plumbing code and chapters 26-28 of the 2015 I.R.C. All plumbing materials and installation must comply with local municipal codes and standards.
 See owner/builder for window manufacturer and styles. Install exterior windows and doors per section R612 of the 2015 I.R.C. Window supplier to locate safety glass as required and certify all windows to comply with 2015 I.R.C. Provide mastic wrap, weather proofing, and caulk surround flashing above windows and counter flash as required.
 All sleeping rooms to have min. of one window size with min. 24" height by 20" wide that provides 5.7 sq. ft. net clear opening to meet EGRESS per 2015 I.R.C. with a 44" max. sill height.
 Stair design, riser, and tread depths site built must comply with sections R311.7.1-R311.7.8 of 2015 I.R.C. Note: All handrails and guardrails shall comply with sections R311.7.1 of 2015 I.R.C. and have a min. uniformly distributed live load as per table R301.5 of the 2015 I.R.C.
 All stair balusters to have no more than 4" max. opening. Install continuous handrail at min. 38" height at all staircase locations and min. 42" height at all landings.
 Pulkdown/attic access stairs to comply with section R311.7 or R311.8 of 2015 I.R.C. Having a rough opening no less than 25 1/2" by 54" with a 350 lb. min. weight limit and a 30" min. unrestricted head room into the attic to comply with M1305.L3 of 2015 I.R.C.
 Fire place hearth to be 3/4" thick non combustible material. Surround to be non combustible at 12" min. surround opening. All fire places to be I.L.L. and L.C.B.O. approved, installed, and vented per manufacturer specifications. All factory built or masonry job built fire places and chimney assemblies must comply with chapter 10 section R1001.1-R1005.3 of the 2015 I.R.C. Chimneys to rise 24" min. above all roof or structure with in 10'0" distance. Builder shall supply all manufacturer's documentation to home owner.
 All electrical installation to be certified by a licensed master electrician selected by builder or owner. All load calculations and panel box sizing, locations, and services by electrical contractor. All wiring types, gauge, and termination will be selected and approved by builder/owner. Installation to comply with the most current national electrical code and all local codes, standards, and comply with chapters 33-35 of the electrical sections of the 2015 I.R.C. The designer's scope for the electrical plans are limited only to general fixture and switch locations.
 Under all water heaters provide 26 gauge metal drain pan (sized per capacity) fastened to floor deck below. Pan drain line and water heater pressure relief line shall be vented to exterior and not into sanitary sewer.
 All units to be equipped with T and P pressure relief valves. Clearance from top of water heaters to bottom of rafters shall not be less than 10". Gas equipment shall be provided with appropriate attic ventilation for combustion air and min. 4" diameter prefab flue flashed at roof deck penetration. Installation to comply to manufacturer's specifications and chapters 20, 24, 28 of the 2015 I.R.C. All sizes, locations, and number of water heaters to be determined by builder/owner/contractor.

NOT IN SCOPE OF DESIGNER SERVICES:
 See elevations and detail sheets for additional specifications.
 Topographic design is not part of the scope of work of designer. The owner/builder will work directly with foundation engineer for slab requirements. The builder is to compact pad sight soils in accordance with plans and specs provided by engineer. Builder/owner or engineer will establish top of slab elevation, the finished grades, swales, and site drainage. Swimming pools, pool equipment, A/C pads, and locations are not in the scope of services provide by designer. Job site supervision or inspections or not part of designer service. Builder will supervise contractors and certify construction.

BUILDER RESPONSIBILITY FOR THIS DWELLING:
 Builder must be able to read, understand, and execute construction with this "builder set of plans". All site preparation, compaction, and topographic requirements will be the sole responsibility of the builder, owner, or approved contractor. Builder will locate house on site via survey and verify that this building does not encroach on to any building lines, set backs, easements, or aerial easements prior to pad construction or setting complete form board layout. Builder will secure all proper permits and approvals prior to any construction. Builder will review all subdivision and municipal guidelines and verified this building design is in compliance. Contractors will refer to builder for all constructor methods, techniques, installation, and code compliance. Builder is responsible for all framing beam sizes, locations, details, materials, and methods of construction. Builder is liable for all engineering oversights and compliance, construction, and field supervision. Designer is not responsible for sub standard construction or supervision. Designer recommend all framing and foundation design to be prepared by a licensed structural engineer who must inspect and certify all work done by contractors. If there is conflict between these drawing and engineering the building will notify designer immediately before continuing construction. Builder will promptly request any additional information from designer, vendors, contractors, or various professionals needed for construction. If contractors proceed with the construction of this dwelling or appurtenances associated with this dwelling with out the required knowledge, documentation, proper supervision or experience needed for it's proper completion the builder will be financially obligated and liable for any work performed by any contractor.



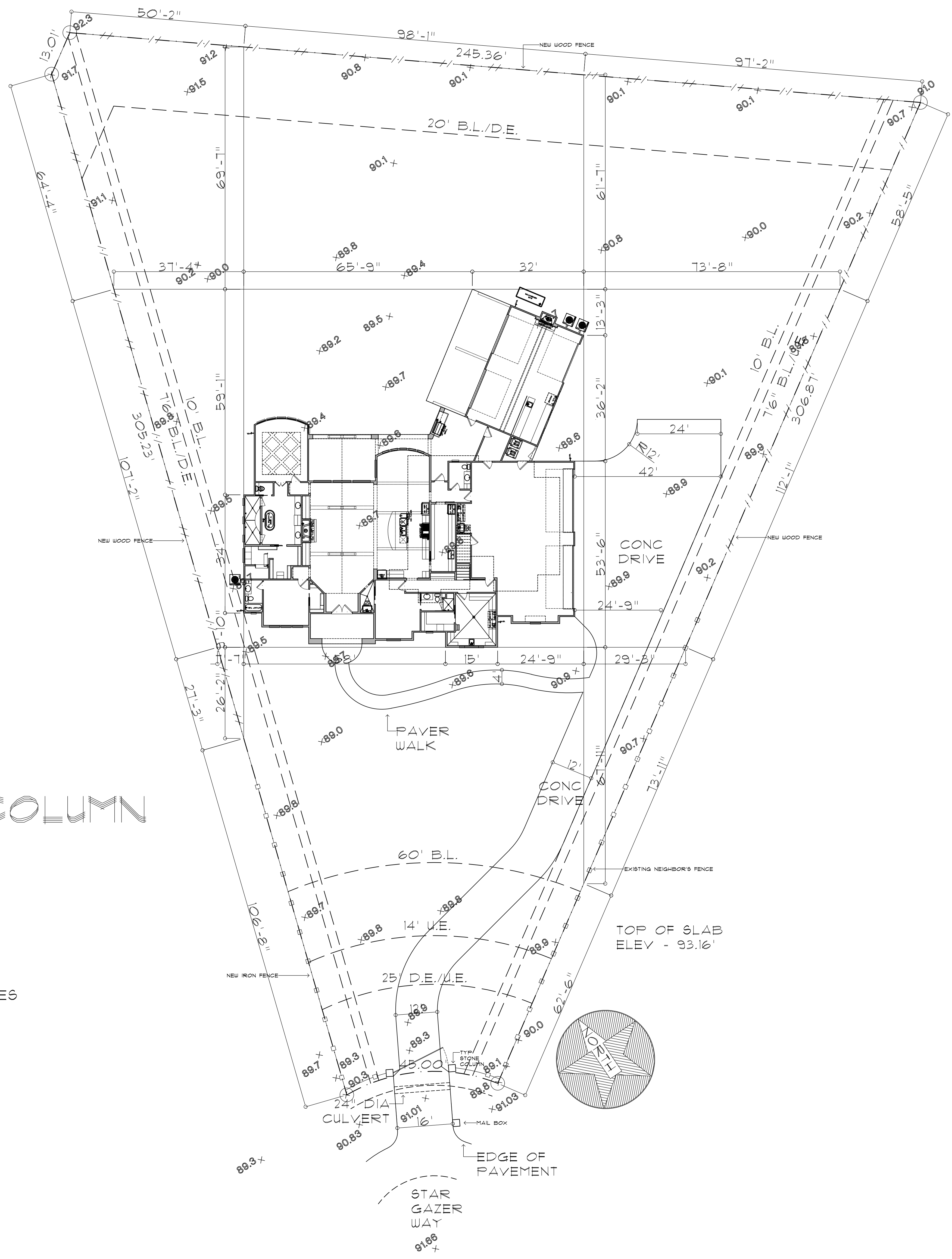
MAILBOX/GATE COLUMN

SCALE: 1/2" = 1'-0"

SITE PLAN

SCALE: 1" = 15'-0"
 SUBDIVISION: BENDER'S LANDING ESTATES
 LOT: 1200
 BLOCK: 1
 SECTION:
 PHYSICAL: 27064 STAR GAZER WAY

IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THIS SITE PLAN IS CORRECT AND THIS PROPOSED DWELLING HAS NO ENCROACHMENTS AT FORM BOARD STAGE. BUILDER WILL VERIFY WITH A FORM BOARD SURVEY FROM A REGISTERED SURVEYOR THAT THE PROPOSED SLAB FOOTPRINT DOES NOT ENCROACH INTO RECORDED EASEMENTS, AERIAL AND UTILITY EASEMENTS, BUILDING LINES, PROPERTY LINES OR SETBACKS PRIOR TO ANY CONSTRUCTION WHATSOEVER TO PREVENT POSSIBLE ENCROACHMENTS.



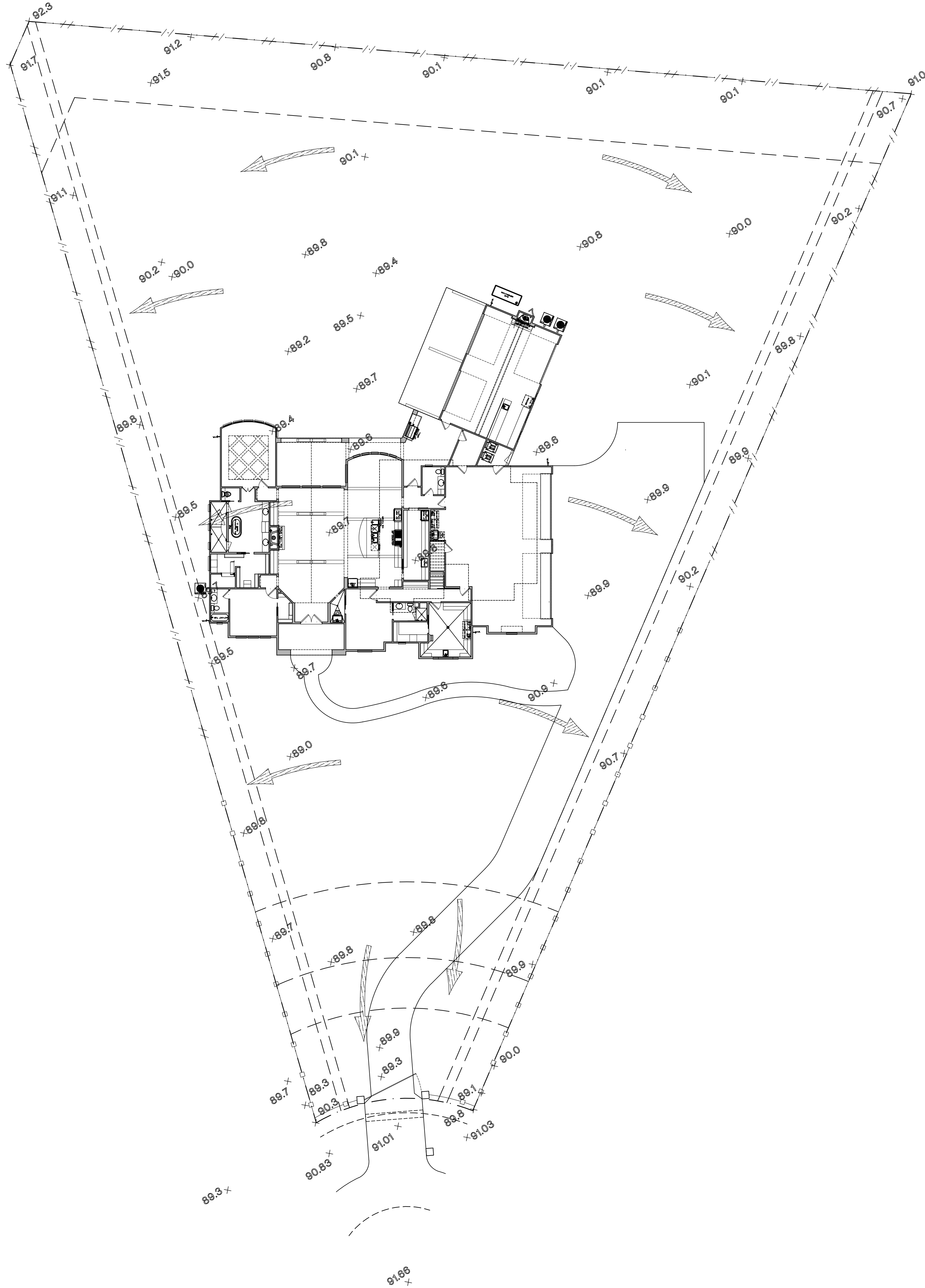
COPYRIGHT 2018
 THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT LAW. THIS DESIGN IS THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, INCLUDING VELLUM, SEPIA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

800.882.0719
 417 GENTRY ST. STE 208
 WWW.WYRICKRESIDENTIALDESIGN.COM

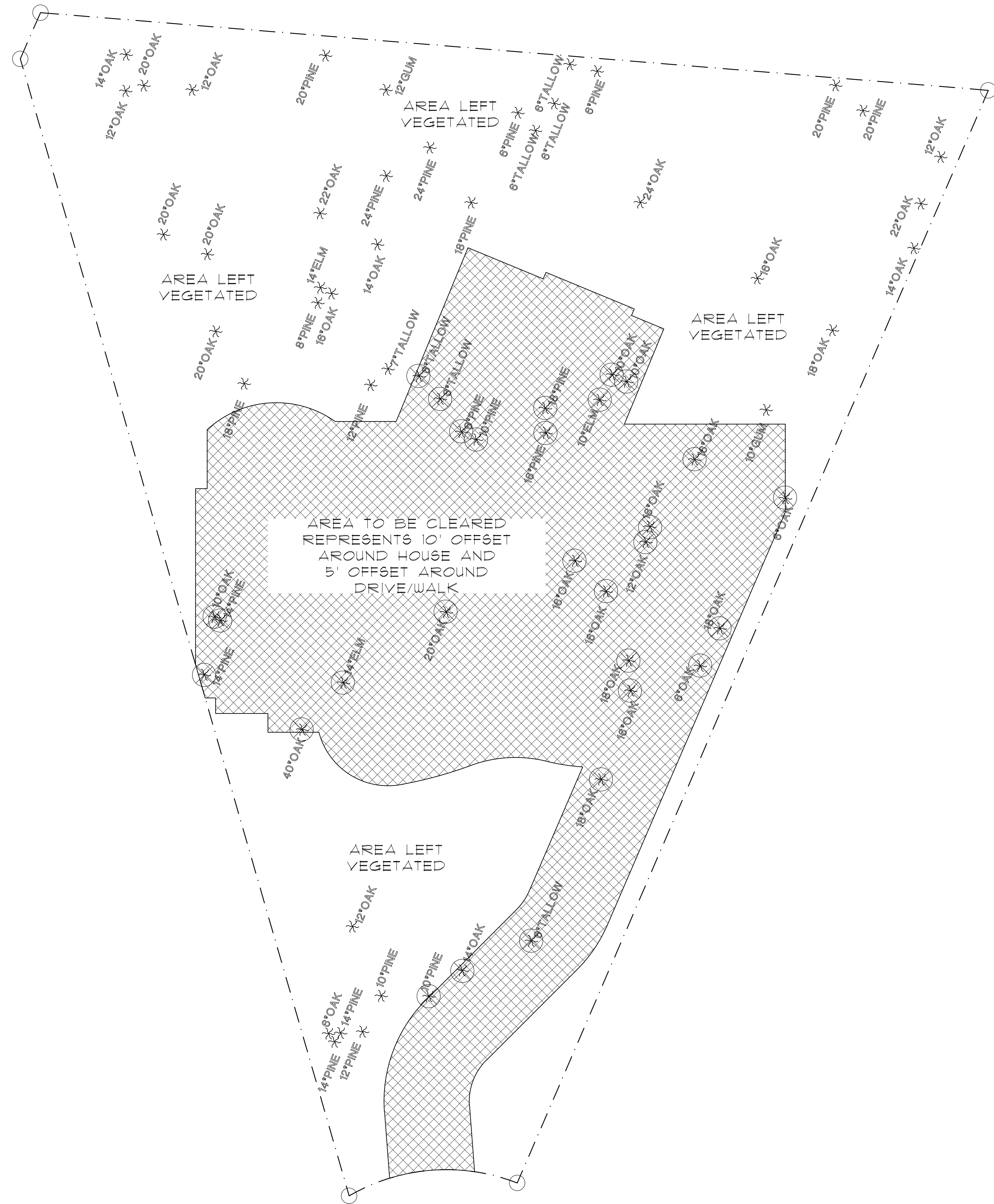
WYRICK
 residential design

27064 STAR GAZER WAY

DATE	03/01/19
PROJECT	IN-1832
PLAN	5191
SHEET	A-0



1 DRAINAGE PLAN
SCALE: 1" = 15'-0"



2 CLEARING PLAN
SCALE: 1" = 15'-0"

COPYRIGHT 2018
THE DESIGNS DEPICTED HERE ARE SUBJECT TO
THE PROPERTY OF WYRICK RESIDENTIAL
DESIGN. DO NOT REPRODUCE ALL OR IN PART,
INCLUDING VELLUM, SEPIA, BLUEPRINTS, XEROX,
FILM, ELECTRONIC, ETC. WITHOUT DESIGNERS
CONSENT.

00082 0719
41 GENTRY ST. STE 208
WWW.WYRICKRESIDENTIALDESIGN.COM



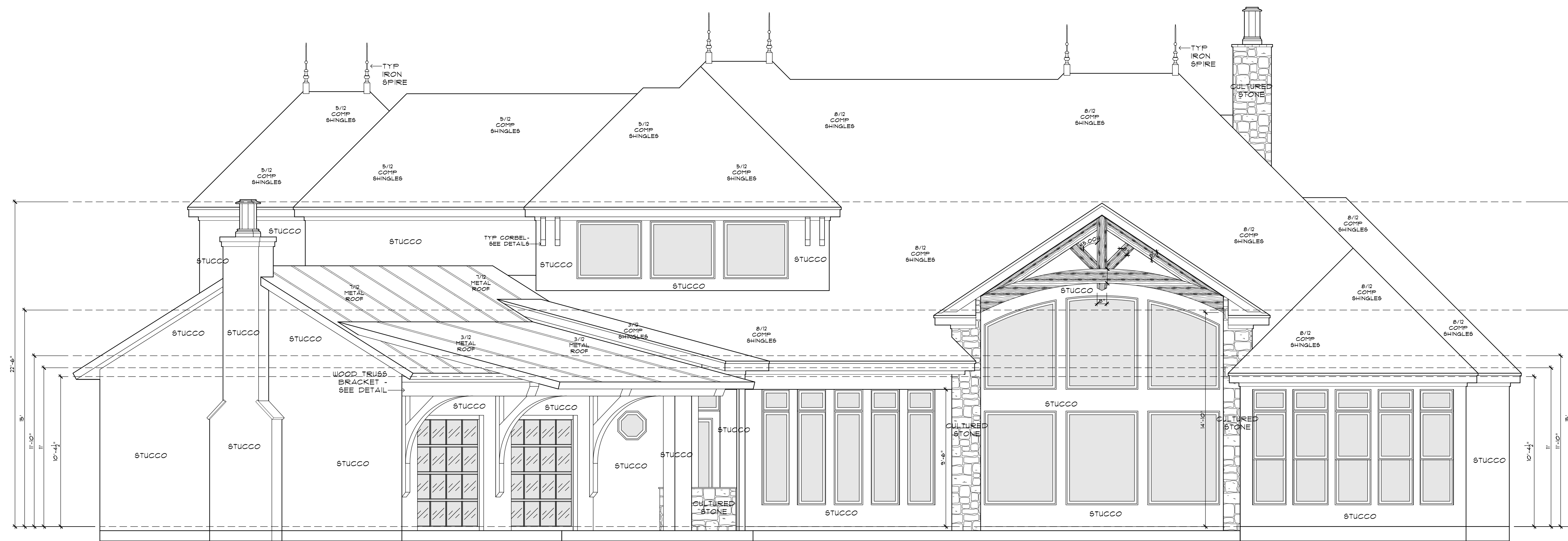
27064 STAR GAZER WAY
ADDRESS:

DATE	03/01/19
PROJECT	IN-1832
PLAN	5191

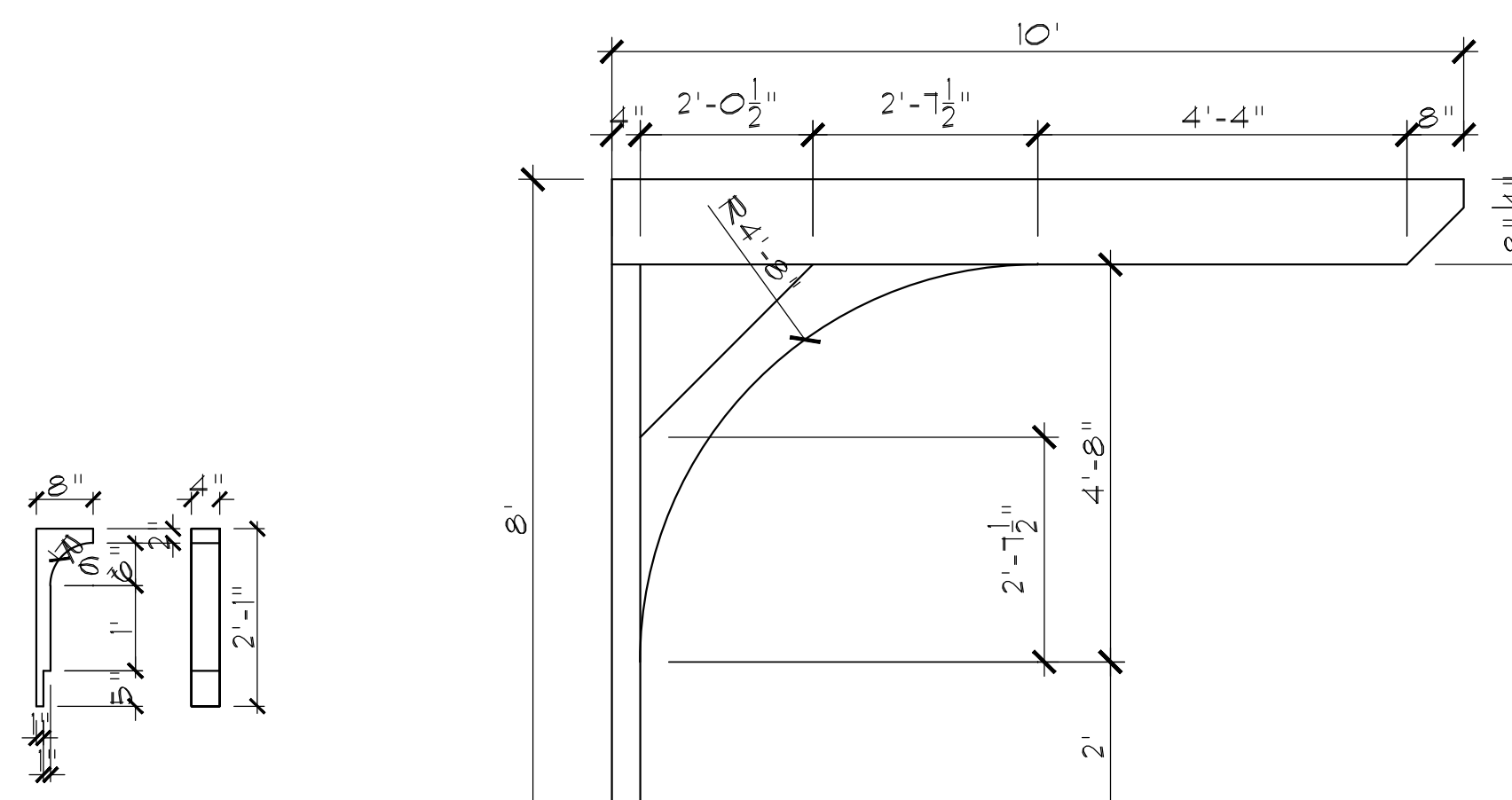
SHEET
A-1



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 CORBEL/BRACKET DETAILS
SCALE: 1/2" = 1'-0"

COPYRIGHT 2018
THE DESIGNS DEPICTED HERE ARE SUBJECT TO
THE PROPERTY OF WYRICK RESIDENTIAL
DESIGN. DO NOT REPRODUCE ALL OR IN PART,
INCLUDING VELLUM, SEPIA, BLUEPRINTS, XEROX,
FILM, ELECTRONIC, ETC. WITHOUT DESIGNERS
CONSENT.

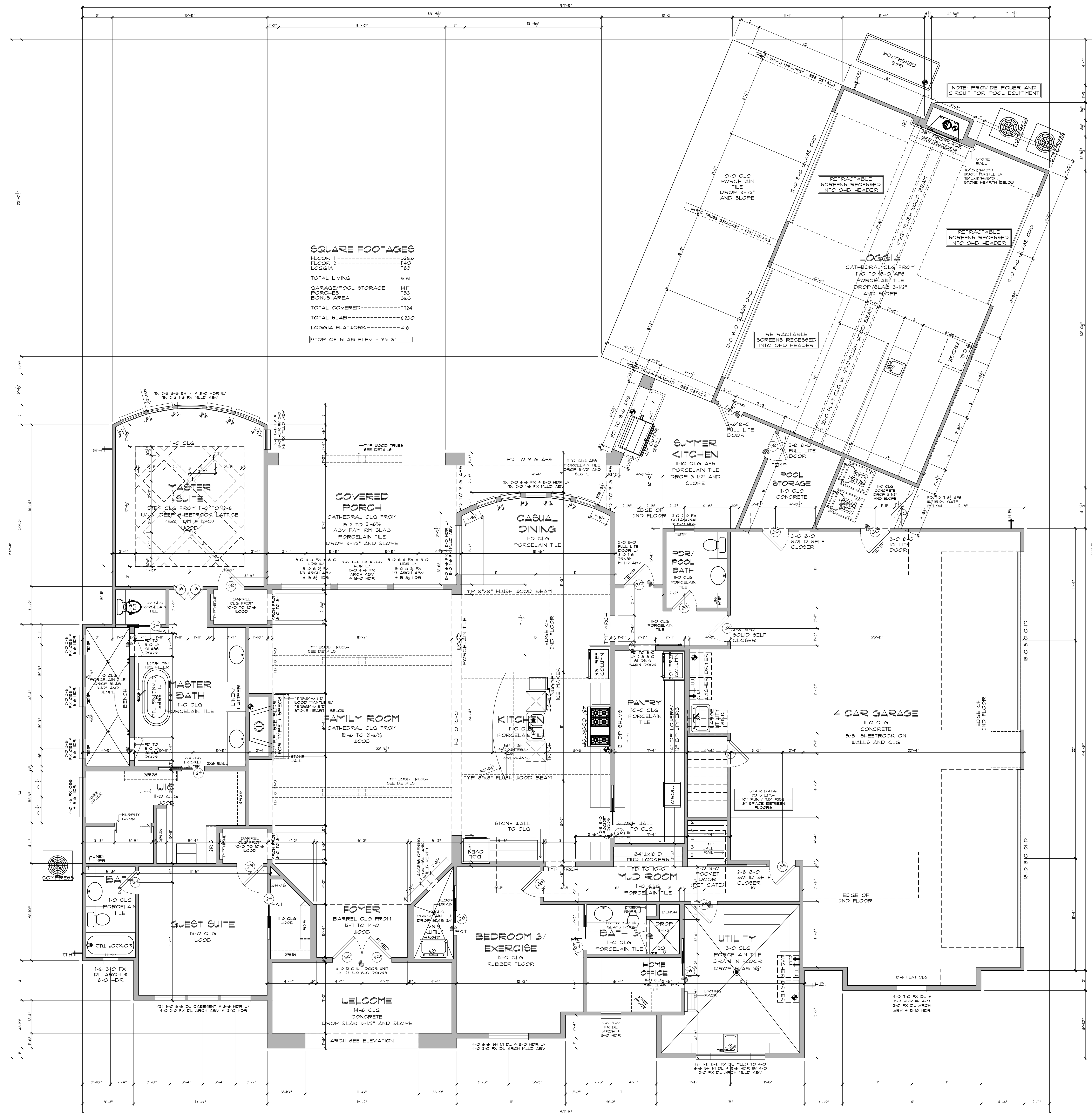
00082/0719
47 GENTRY ST. STE 208
WWW.WYRICKRESIDENTIALDESIGN.COM

WYRICK
residential design

ADDRESS:
27064 STAR GAZER WAY

DATE
03/01/19
PROJECT
IN-1832
PLAN
5191

SHEET
A-2



SQUARE FOOTAGES

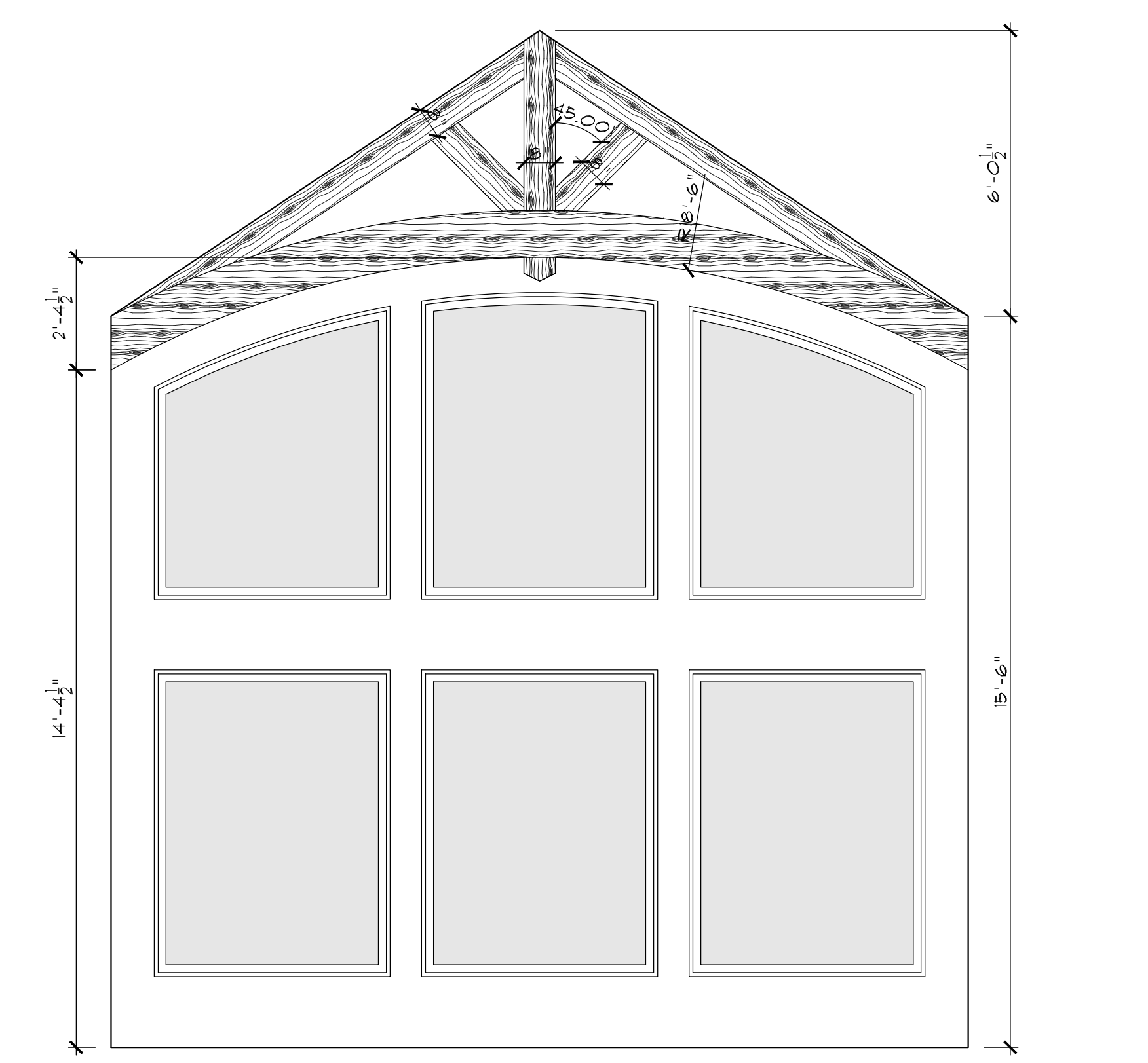
FLOOR	3768
LOGGIA	85
TOTAL LIVING	3938
GARAGE/POOL STORAGE	1471
PORCHES	753
POOL AREA	263
TOTAL COVERED	7124
TOTAL SLAB	6230
LOGGIA FLATWORK	416

TOP OF SLAB ELEV. = 93.16'

1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 11'-0" PLATE HEIGHT U.N.O.
 ALL DOORS DOWN TO HAVE 8'-0" HDHT. U.N.O.
 ALL WINDOWS DOWN TO HAVE 8'-0" HDHT. U.N.O.

DOOR WIDTH (3'-0")	C&MT	CASEMENT (OPERABLE WINDOW)
SH 1/1	HDR	HEADER (TOP OF WINDOW/DOOR)
FX	MLLD	MULLED (ATTACHED WINDOWS)
HOR SLID	DL	DIVIDED LIGHT (WINDOW PANES DIVIDED)



2 FAMILY ROOM REAR WALL
 SCALE: 3/8" = 1'-0"

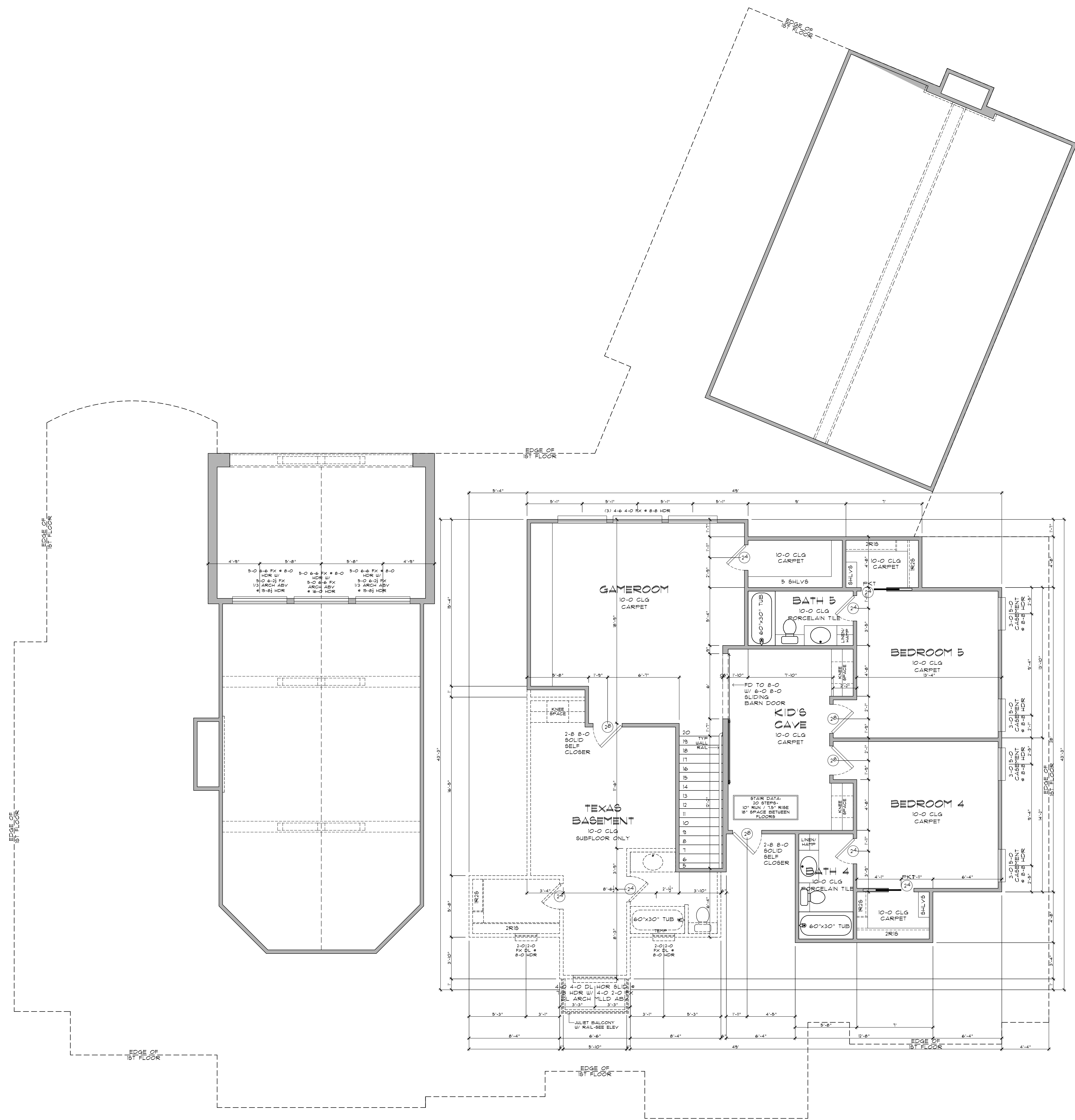
COPYRIGHT 2018
 THE DESIGNS DEPICTED HERE ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE AGREEMENT WITH THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, INCLUDING BUT NOT LIMITED TO, PHOTOS, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

08/28/2019
 447 GENTRY ST. STE. 206
 WWW.WYRICKRESIDENTIALDESIGN.COM

WYRICK
 residential design

27064 STAR GAZER WAY

DATE	03/01/19
PROJECT	IN-1832
PLAN	5191
SHEET	A-3



1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 9'-0" PLATE HEIGHT U.N.O.
 ALL DOORS UP TO HAVE 6'-8" HDHT. U.N.O.
 ALL WINDOWS UP TO HAVE 7'-8" HDHT. U.N.O.

REF. INDEX	DOOR WIDTH (3'-0")	CSMT	CASEMENT (OPERABLE WINDOW)
SH 1/1	SINGLE-HUNG (OPERABLE WINDOW)	HDR	HEADER (TOP OF WINDOW/DOOR)
FX	FIXED (NON-OPERABLE WINDOW)	MLLD	MULLED (ATTACHED WINDOWS)
HOR SLID	HORIZONTAL SLIDER (OPERABLE WINDOW)	DL	DIVIDED LIGHT (WINDOW PANES DIVIDED)

COPYRIGHT 2018
 THE DESIGNS DEPICTED HERE ARE SUBJECT TO THE RIGHTS OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, WITHOUT THE WRITTEN CONSENT OF WYRICK RESIDENTIAL DESIGN. INCLUDING: BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

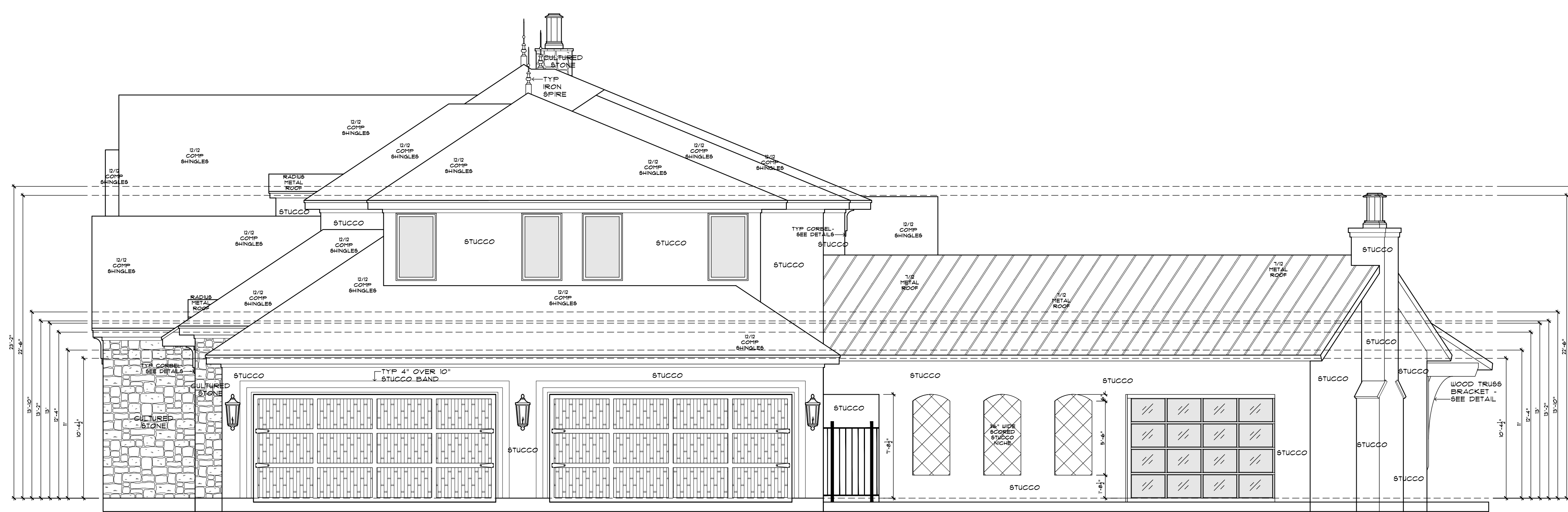
08/28/2019
 417 GAZER ST. STE. 206
 WWW.WYRICKRESIDENTIALDESIGN.COM

WYRICK
 residential design

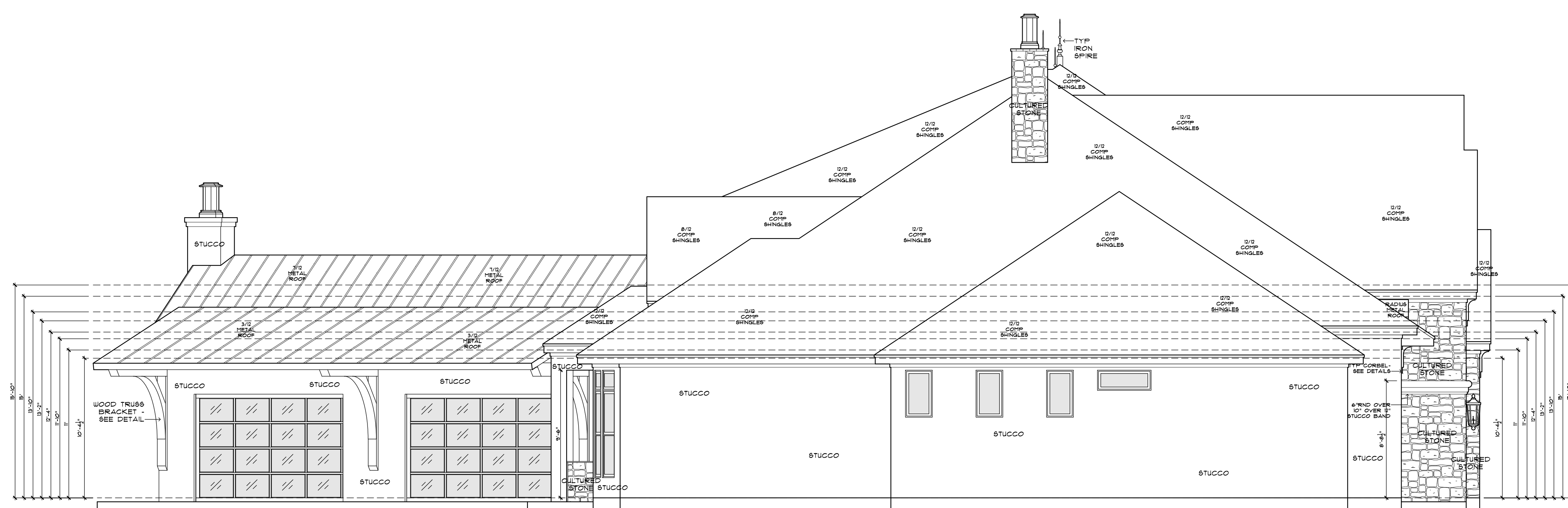
ADDRESS:
27064 STAR GAZER WAY

DATE	03/01/19
PROJECT	IN-1832
PLAN	5191

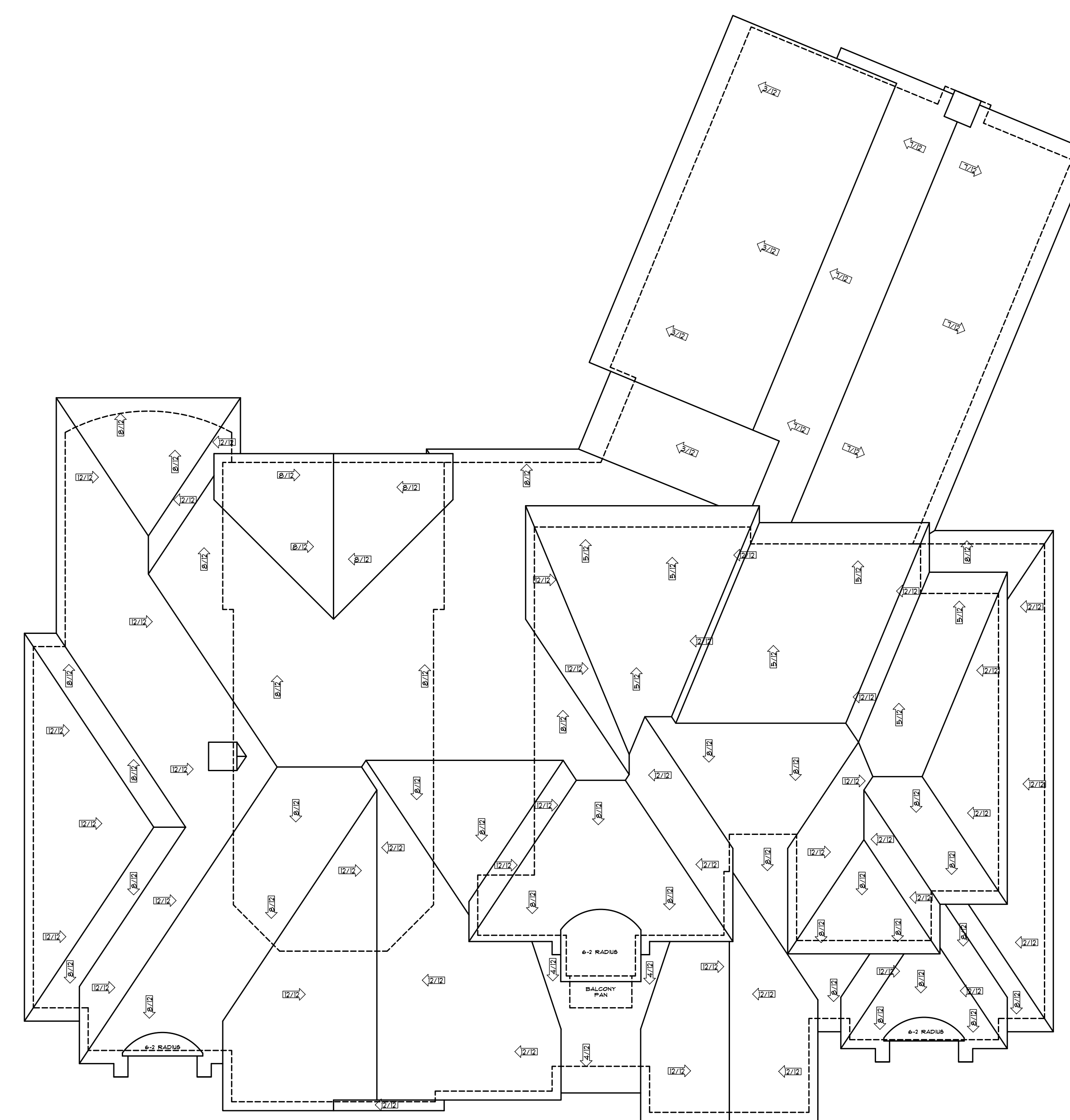
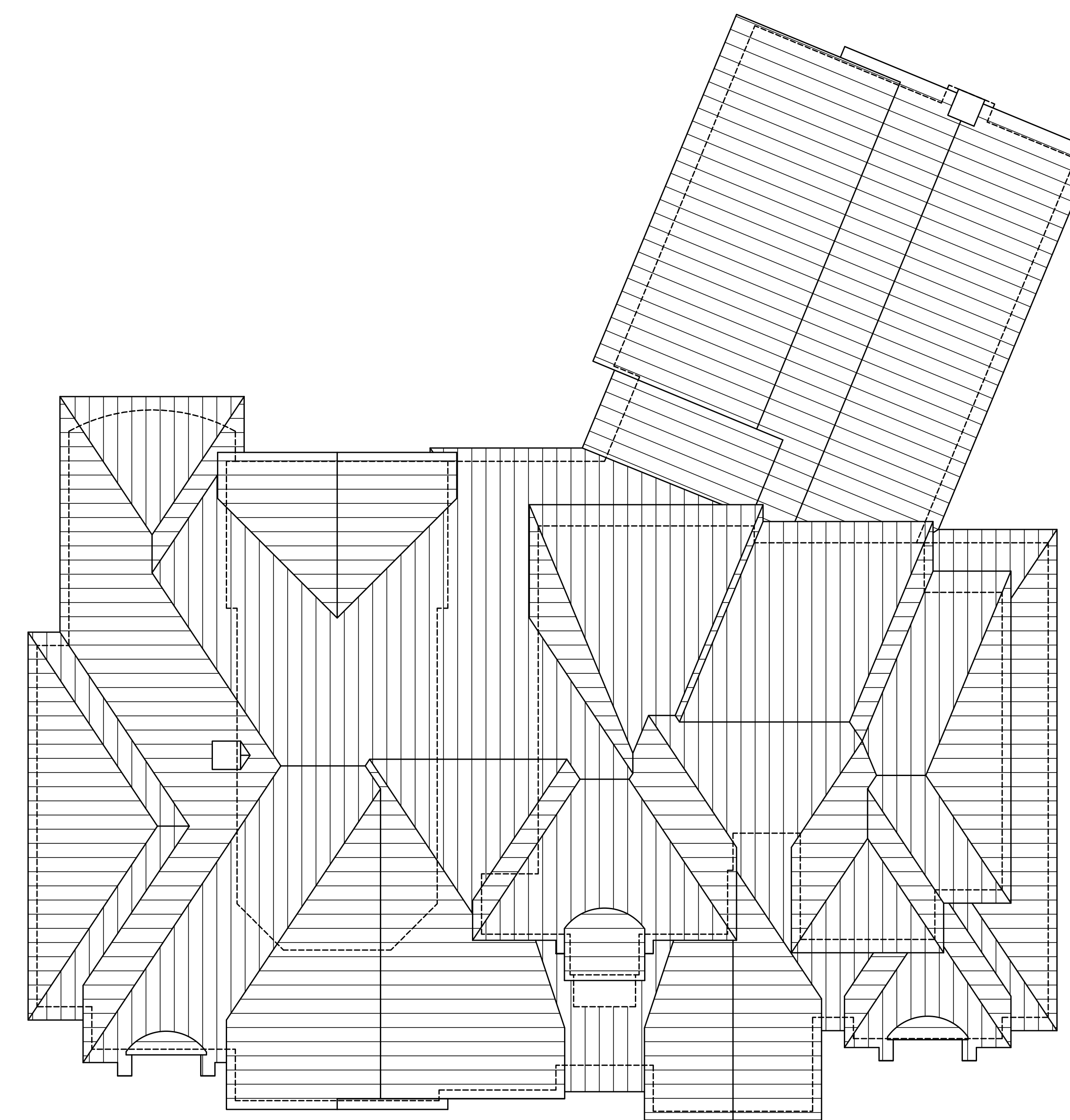
SHEET
A-4



1 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 RAFTER AND PITCH PLAN
SCALE: 1/8" = 1'-0"
ALL RAFTERS TO BE #2-2X8@16"O.C. U.N.O.
ALL HIPS, RIDGES AND VALLEYS TO BE ONE SIZE LARGER THAN RAFTER
MAXIMUM SPAN FOR RAFTERS IS 11'-9". RAFTER SPANS LONGER THAN 11'-9" REQUIRE PURLIN
PURLIN LAYOUT TO BE SPECIFIED BY PROFESSIONAL ENGINEER.
RAFTER LAYOUT TO BE INSPECTED AND CERTIFIED BY PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.

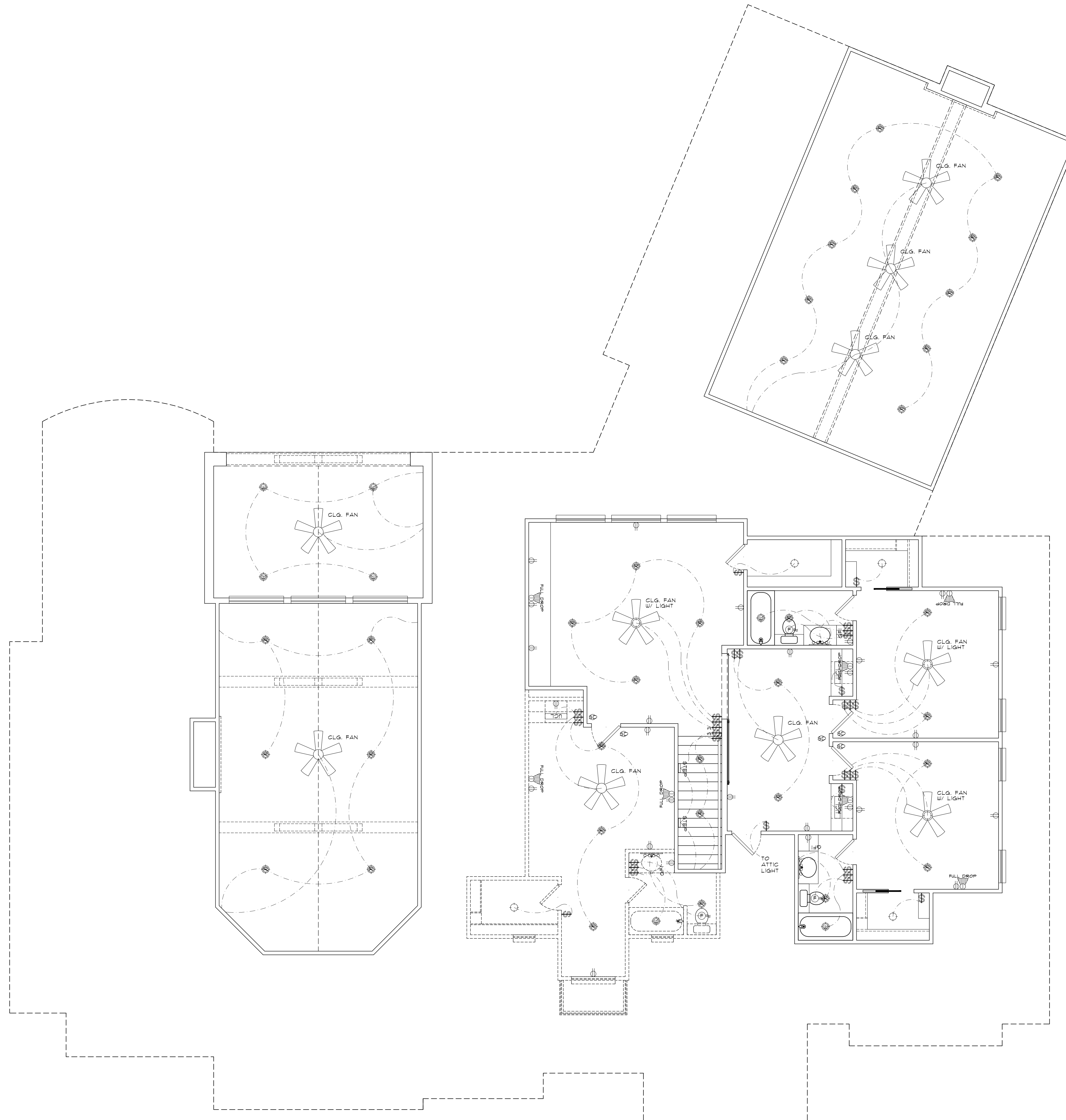
COPYRIGHT 2018
THE DESIGNS DEPICTED HERE ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE AGREEMENT WITH THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, WITHOUT THE WRITTEN CONSENT OF WYRICK RESIDENTIAL DESIGN, INCLUDING PAPER, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

06/08/2019
447 GENTRY ST. STE. 206
WWW.WYRICKRESIDENTIALDESIGN.COM
WYRICK
residential design

ADDRESS:
27064 STAR GAZER WAY

DATE
03/01/19
PROJECT
IN-1832
PLAN
5191

SHEET
A-5



ELECTRICAL SYMBOL LEGEND	
	STANDARD SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DOOR SWITCH
	SURFACE MOUNTED LIGHT
	HANGING FIXTURE
	RECESS CAN LIGHT
	WATER PROOF RECESS CAN LIGHT
	COACH LIGHT
	EYEBALL RECESS CAN LIGHT
	SOFFIT RECESS CAN LIGHT
	SCONCE LIGHT
	VANITY LIGHT
	MINI RECESS CAN LIGHT
	MINI FLUSH MOUNTED LIGHT
	FENDANT LIGHT
	FLOOD LIGHT
	UNDER CABINET LIGHT
	STEP LIGHT
	CEILING FAN WITHOUT LIGHT
	CEILING FAN WITH LIGHT
	110V PLUG
	GROUND FAULT INTERRUPT PLUG
	WATER PROOF GROUND FAULT INTERRUPT PLUG
	HIDDEN 110V PLUG
	220V PLUG
	FLOOR PLUG
	CEILING PLUG
	A/C COMPRESSOR CIRCUIT
	CEILING MOUNTED SMOKE DETECTOR
	CABLE TV OUTLET
	PHONE OUTLET
	DOOR BELL OUTLET
	WALL MOUNTED CHIME
	GARAGE DOOR OPENER PUSH BUTTON
	EXHAUST FAN
	HEAT LAMP

1 SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"
 ALL WATER HEATERS AND HVAC HANDLERS TO BE LOCATED IN ATTIC.
 BUILDER TO PROVIDE SOLID PLYWOOD DECKING UNDER ALL UNITS AND PROVIDE ACCESS PATH TO EACH LOCATION.
 ALL ELECTRICAL TO BE INSTALLED ACCORDING TO AND IN ACCORDANCE WITH LATEST NATIONAL ELECTRICAL CODE.

COPYRIGHT 2018
 THE DESIGNS DEPICTED HERE ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE AGREEMENT WITH THE CLIENT. THESE DESIGNS ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, WITHOUT THE WRITTEN CONSENT OF WYRICK RESIDENTIAL DESIGN. INCLUDING BUT NOT LIMITED TO: PRINTING, PHOTOCOPYING, SCANNING, REPRODUCING, OR ANY INFORMATION STORAGE AND RETRIEVAL SYSTEMS. WYRICK RESIDENTIAL DESIGN, INC. ALL RIGHTS RESERVED.

808/20219
 427 GAZER ST. STE. 206
 WWW.WYRICKRESIDENTIALDESIGN.COM

WYRICK
 residential design

27064 STAR GAZER WAY

DATE	03/01/19
PROJECT	IN-1832
PLAN	5191
SHEET	A-7

