

Chris Parr
Mayor



Liz Mullane
City Administrator

City of Roman Forest

RESIDENTIAL Construction & Land Development

Permitting Department
Phone (281) 399-2660 ext. 104
Email: compliance@rftx.org

Introduction

The City of Roman Forest has adopted the 2015 International Building Codes and Amendments and the 2014 National Electric Code as a minimum standard for new construction. The builder/developer will be subject to required inspections for compliance.

Further, the City of Roman Forest, in an effort to help clarify requirements and associated fees, is providing this information packet to all interested parties. Depending on the event or construction circumstance, permitting may be required with an associated fee. This packet will help the builder/developer forecast permit expenses and inspections; hence, preventing any unnecessary delays and construction expense.

It is not the intent of the City to limit growth or inhibit construction, but rather to ensure the proper development thereof through regulatory limitations. In this light, the City of Roman Forest hopes to protect the health, safety and welfare of its citizens, the consumer and public interest.

Sincerely,

Mayor of the City of Roman Forest



Subject: Memo to Builders

The City of Roman Forest building process is completed in 3 steps. Steps are as follows but not limited to:

1. Temporary Culvert Permit

- The temporary culvert does not require stabilized sand currently. Once the temporary culvert is in place, contact the City Building Official @ 281-399-2660 ext. 104 for inspection.

2. Logging Permit

- Upon completion of the logging process, notify the Building Official. An inspection will be made of the property to ensure all debris & stumps have been removed. A deposit refund will be mailed within 7-10 business days.

3. Building Permit

- All permits require a permit application to be filed. Review the submission checklist; all documents need to be submitted at the same time. Plans will not be sent to plan review for approval without all required documentation. Two (2) copies of Building plans & grading plans must be submitted along with all required forms and payment of fees pertaining to the job before a permit is issued. All contractors must register at the office with the Building Official. Prior to issuing permits, an inspection by the Building Official will be made to insure the build site has a dumpster, Port-O-Can, and silt fencing has been placed around the entire property (excluding the culvert area) and is set at least 6 inches into the ground. The silt fence is required to be maintained throughout the build.

Effective October 1st, 2019, Type "A" Lot grading plans are a part of the approval process for residential & commercial property builds in the City of Roman Forest. A licensed architect or civil engineer will need to develop, sign & stamp a type "A" grading plan that includes elevation, lot type, surface gradient & swale location as the basis to control surface runoff. This shall be included with the site plans showing forms

with elevations. All new development requires a grading plan when plans for the new build are submitted to the city for approval.

The following is the type of grade the City of Roman Forest requires, and the grade must be maintained to conform to our requirements:

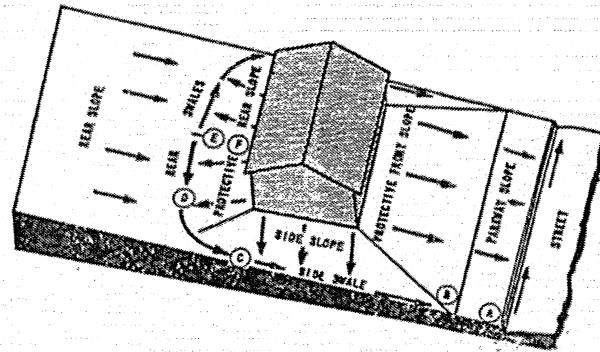
TYPICAL FHA-HUD LOT GRADING

TYPE "A" LOT GRADING

ALL DRAINAGE TO STREET

Rear yard swales behind the house carry surface water from rear yard to side yard swales (1% minimum) which carry it to street for disposal through the street gutters and the public storm drainage system.

- A Curb-top on lot line extension at highest lot corner.
- A-B Parkway slope
- B-C Side yard swale
- C-D Swale turn with 10' radius
- D-E Rear swale
- E-F Protective rear slope up from high point of swales



The form survey will need to be provided to the Building Inspector at inspection of the form boards prior to pouring the foundation. A rough grade of the lot must be done at this point. The Building Official will need to be provided a copy @ compliance@rftx.org.

Before the certificate of occupancy can be issued, a final elevation grading survey must be furnished to the Building Official for approval. The actual grading of the property should mimic the engineered grading plans that were provided at the beginning of the build.

The survey is required to include a FEMA Elevation Certificate and elevations of grading in accordance with the Type "A" Lot Grading seen in the diagram, including the culvert on your property along with the elevation of the two adjacent culverts, ensuring that it is lined up on either side to promote proper drainage. After the City Building Official has approved the final elevation grading survey, contact Bureau Veritas. The culvert and driveway must pass inspection prior to pouring concrete.

The following are required during the building process:

1. Permits

- Additional permits are required for any work (including fences) not approved on the original plans. As per Ordinance 139, Section 107.6 if work is performed without a permit the permit fees will be doubled.

2. Inspections

- It is the responsibility of the builder and/or contractor to call Bureau Veritas for inspections @ 877-837-8775. Call by 4pm for next day availability.

3. Rough Grade & Lot Requirements

- A rough grade will need to be completed upon the foundation being poured as to keep water from draining or flooding adjacent properties. The lot must remain clear of debris & approved plans must be kept on premise for review by the city building inspector throughout the build.

Once all final inspections have been received by the city, a certificate of occupancy for the home will be issued along with a refund of the \$500 deposit.

Contractors Memo:

When the form boards are set, a surveyor needs to verify that the new building will be located behind the building line as per the plat of Roman Forest Sections One and Two.

Construction and/or remodeling work must not begin before 6:30 a.m. or work after 7:30 p.m.

No concrete trucks over 2 tons allowed on the jobsite before 6:30 a.m. This includes all City of Roman Forest streets.

Anyone not complying with the above will be issued a citation for noise disturbance. Concrete trucks will be ordered from the city, and at the Officers discretion, may be ticketed for the same offense.

Memo to Builders

Project address:

I, the undersigned, do hereby understand the above memo and agree to adhere to said requirements.

Date

Builder or Representative

Printed Name

Builder or Representative

Printed Name



New Home or Livable Space Builders Checklist

Project address:

	Residential Building Permit Application
	Proof of Ownership (deed or MCAD)
	Temporary Culvert set and city official notified to inspect
	Logging completed and city official notified to inspect for refund processing
	Certificate of Liability listing City of Roman Forest as certificate holder
	Memo to Builders – signed
	Licensed architect or civil engineer Type “A” grading plan
	2 sets – site (plot) plans, building plans
	2 sets – electrical plans
	2 sets – engineered foundation plans
	2 copies of Energy Code Compliance report (REScheck) to include R value for duct
	Payment of Fees pertaining to the job
	Verified all job-related contractors have registered with the city (Memo to Contractors) ELECTRICAL, MECHANICAL (HVAC), PLUMBING
	Port-O-Can, Dumpster, silt fencing on-site
	Form Survey obtained & provided to the Building Inspector at plumbing rough inspection
	New elevation survey provided after foundation poured
	final elevation grading survey furnished to the Building Official for approval

Residential Permit Application

Project Address: _____

Section: RF 01 / 02 / 04 Block: _____ Lot: _____ Floodplan: _____

Project Type Valuation \$ _____

NEW SFR _____	ELECTRICAL _____	MISC. PROJECT _____
SFR REMODEL/ADDITION _____	MECHANICAL _____	SWIMMING POOL/SPA _____
ACCESSORY BUILDING _____	PLUMBING _____	FENCE _____

SPECIFY OTHER: _____

DESCRIPTION OF WORK: _____

AREA SQUARE FOOT CALCULATIONS (required for NEW HOME BUILDS)

LIVING: _____ GARAGE: _____ PORCH/PATIO: _____ TOTAL: _____ # OF STORIES: _____

Property Owner Information:

NAME: _____ CELL PHONE: _____

EMAIL ADDRESS: _____ ALT. PHONE # _____

CONTRACTOR INFORMATION

GENERAL: _____	Phone# _____	LICENSE # _____
ELECTRICAL: _____	Phone# _____	LICENSE # _____
MECHANICAL _____	Phone# _____	LICENSE # _____
PLUMBER / IRRIGATION: _____	Phone# _____	LICENSE # _____

A permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All new home construction must be completed within 9 months from issuance of permit. All permits require final inspection.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

SIGNATURE OF APPLICANT: _____ **DATE:** _____

BUREAU VERITAS OFFICE USE ONLY: BV PROJECT # _____

APPROVED BY: _____ DATE APPROVED: _____

2430 Roman Forest Blvd.
Roman Forest, Texas 77357



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Mayor

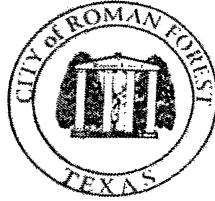
Inspections/Permits/Fees

Temp & Permanent Culvert Permit and Inspection (Per Culvert)	\$ 100.00
Logging Permit	\$ 250.00
Logging Deposit- Refundable	\$ 2,000.00
T-Pole/Saw Pole Permit	\$ 100.00
New Home/Commercial Construction Impact Fee	\$ 750.00
Additional Construction Impact Fee (Pool, shed, etc.)	\$ 250.00
Building Plan Approval/Inspection	See Schedule
Administrative Fee	\$ 75.00
Fence Administrative Fee	\$ 75.00
Plumbing Permit Fee	\$ 100.00
Electrical Permit Fee	\$ 100.00
HVAC/Mechanical Permit Fee	\$ 100.00
Parking & Paved Area Permit Fee	See Schedule
Sidewalk Permit Fee	See Schedule
Driveway Permit Fee	\$ 100.00
Curb & Gutter Permit Fee	See Schedule
Re-Inspection Fee	\$ 100.00
Special Requested Inspections	\$ 250.00
Certificate of Occupancy	\$ 75.00
Certificate of Occupancy Deposit- Refundable	\$ 500.00
Sprinkler/Irrigation Permit/Inspection	\$ 100.00
Pool Plan Approval/Inspection	See Schedule

*Additional required plan approval/inspection over the normally required approval/inspection process will be charged \$100.00.

This applies to each permit required by builder.

2430 Roman Forest Blvd.
Roman Forest, Texas 77357



Seandee Tullos
Compliance Officer

2019 PERMIT FEE SCHEDULE

NEW RESIDENTIAL CONSTRUCTION SQUARE FOOTAGE (S.F.) TABLE	
*Use this table to determine fees when noted in the fee schedule for Building Plan Approval/Inspection	
Square Footage (S.F.)	Fee
0 - 1,500 S.F.	\$785.00
1,501 - 10,000 S.F.	\$785.00 for the first 1,500 S.F. plus \$0.35 for each additional S.F. to and including 10,000 S.F.
OVER 10, 000 S.F.	\$3,760.00 for the first 10,000 S.F. plus \$0.15 for each additional S.F. over 10,000 S.F.
Alteration/Addition for Residential Construction	
Trade Permits	Fee
Building, Mechanical, Electrical, Plumbing, Fuel Gas & Similar	\$100.00 per trade
Other project types not listed above	\$160.00 per trade

VALUATION TABLE	
*Use this table to determine fees when noted in the fee schedule	
\$.01 - \$7,000	\$100.00 (NOTE: The minimum permit fee is \$100.00)
\$7,001 - \$150,000	\$100.00 for the first \$7,000 plus \$4.12 for every additional \$1,000 in valuation or fraction thereof
\$150,0001 - \$200,000	\$626.30 for the first \$150,000 plus \$3.87 for every additional \$1,000 in valuation or fraction thereof
\$200,001 - \$300,000	\$820.16 for the first \$200,000 plus \$3.61 for every additional \$1,000 in valuation or fraction thereof
\$300,001 - \$500,000	\$1,181.46 for the first \$300,000 plus \$3.35 for every additional \$1,000 in valuation or fraction thereof
\$500,001 - \$1,000,000	\$1,852.46 for the first \$500,000 plus \$3.09 for every additional \$1,000 in valuation or fraction thereof
\$1,000,001 - \$5,000,000	\$3,400.91 for the first \$1,000,000 plus \$2.83 for every additional \$1,000 in valuation or fraction thereof
\$5,000,001 - \$50,000,000	\$14,756.21 for the first \$5,000,000 plus \$1.54 for every additional \$1,000 in valuation or fraction thereof
\$50,000,001 and up	\$84,436.46 for the first \$50,000,000 plus \$1.03 for every additional \$1,000 in valuation or fraction thereof

PARKING LOTS, PAVED AREAS AND SIDEWALKS

Parking lot or paved area	\$100.00 for the first \$1,000 sq. ft. or part thereof. \$2.58 for each additional 1,000 sq. ft. or part thereof
Sidewalks	\$100.00 for the first 100 lineal ft. \$8.77 for each additional 100 lineal ft.
Driveways	\$76.92
Culvert pipes (not in driveways)	\$100.00 for first 100 lineal ft. \$8.77 for each additional 100 lineal ft.
Curb and Gutter	\$100 for the first 100 lineal ft. \$8.77 for each additional 100 lineal ft.

HVAC FEES

Minimum Fee	\$76.92
Ventilation systems or heat only systems (other than boilers)	\$100.00 plus 2.0% of valuation
Commercial and industrial process refrigeration systems	\$100.00 plus \$8.77 per ton
Repairs and alterations to existing HVAC or refrigeration systems	\$100.00 plus 2.0% of valuation Except: Ducts and grilles in a lease space, where total valuation is less than \$500.00: \$100 for each lease space
Temporary Operation Inspection	\$76.92
Boiler Installation based on BTU input and/or HP	\$100.00 plus, \$4.12 per BHP or part thereof
Boiler Repair Permit	\$100.00
Certificate of Approval	\$100.00
Annual boiler Inspection Fee	\$76.92

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Memo to Contractors:

Construction and/or remodeling work must not begin before 6:30 a.m. or continue past 7:30 p.m.

When the form boards are set, a surveyor needs to verify that the new building will be located behind the building line as per the plat of Roman Forest Sections One, Two and Four.

No concrete trucks over 2 tons will be allowed on the jobsite before 6:30 a.m. This includes all City of Roman Forest streets.

Anyone not complying with the above will be issued a citation for noise disturbance. Concrete trucks will be ordered from the city and at the officer's discretion, may be ticketed for the same offense.

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CITY OF ROMAN FOREST

CONTRACTOR REGISTRATION FORM

TYPE OF CONTRACTOR LICENSE

_____ ELECTRICAL CONTRACTOR	_____ MECHANICAL (HVAC)
_____ MASTER ELECTRICIAN	
_____ JOURNEYMAN ELECTRICIAN	_____ IRRIGATOR (LANDSCAPE)
_____ MASTER SIGN ELECTRICIAN	_____ BACKFLOW (Special form required)
_____ MASTER PLUMBER	_____ OTHER (Specify)
_____ JOURNEYMAN PLUMBER	_____

CONTRACTOR INFORMATION

JOB ADDRESS: _____

COMPANY NAME: _____

COMPANY ADDRESS: _____

CITY, STATE, ZIP: _____

E-MAIL: _____

LICENSE NAME: _____

LICENSEE NUMBER: _____

PHONE: _____

VEHICLE DESCRIPTION: _____

VEHICLE LICENSE PLATE No.: _____

Signature verifies the above as true and acknowledges the receipt of the City's Memo to Contractors

Signature Date

Please provide a copy of valid Driver's License, State Contractor's License and Certificate of Liability Insurance stating City of Roman Forest as Certificate Holder

For Residential Building Requirements and City Ordinances visit:
<http://www.cityofromanforest.org/Building-Permits.html>

281-399-2660 ext. 104 fax 281-689-7573 email: compliance@rftx.org

The City of Roman Forest Inspection Department

Plan Review and Inspection Requirements

Any additional code requirements not specifically covered by this plan review due to lack of information or otherwise shall adhere to the City of Roman Forest Code of Ordinances and shall be field verified for code compliance and code

Building Requirements:

- 1- Building to conform to 2015 ICC Building Codes
- 2- Finished floor elevation to be 12 inches above manhole or the crown of the street whichever is less
- 3- Dumpster and port-o-can on job site, silt fence surrounding property
- 4- City of Roman Forest Ordinance 410-A Driveway Permits and Regulations is strictly enforced

Plumbing Requirements:

- 1- When the final gas inspection passes, the City will contact the gas
- 2- Sewer clean outs are required to be cut to grade for final
- 3- The City of Roman Forest has adopted the Plumbing License Law for the State of Texas

***Note: Please be aware the State Field Investigator will be coming by to check

Mechanical Requirements:

- 1- Primary and secondary drain lines need to have 1/4" fall per foot
- 2- Pipe sealant required at drain pan connection
- 3- Box in all registers for proper bracing and balancing
- 4- Exhaust fans to terminate outside structure
- 5- Maintain 1 inch clearance to wood framing for attic unit

Electrical Requirements:

- 1- All inspections are based on the 2014 NEC.
- 2- Call for temp pole inspection
- 3- Concrete encased electrode required for slab inspection
- 4- All copper wiring, no aluminum wire allowed
- 5- Must have #12 wire minimum, #14 not allowed per City Ordinance

If you have any questions concerning this plan and review please call Bureau Veritas @ (877)837-8775.

Office: (281)399-3660 x104

Fax: (281)689-7573



**BUREAU
VERITAS**

Residential Plan Review Comments

2015 International Residential Code (2015 IRC)

Approval of plans is VOID without these comments attached.

1. All construction shall comply with (2015 IRC).
2. Approved plans, permit and inspection tickets shall be available on jobsite for each inspection.
3. Setbacks shall comply with zoning requirements.
4. **Masonry / Exterior Wall Finish Percentage** shall comply with the adopted ordinance of the Jurisdiction
5. Driveway approach(s) shall meet the standards of the jurisdiction.
6. A two-way sewer cleanout shall be installed within 30" of the house section P3005.2
7. A one-way in direction of flow sewer cleanout shall be installed at the property line.
8. **Form board survey: required to be on-site at the plumbing rough inspection.**
9. **Engineer letter will be accepted in place of a foundation inspection.**
10. All seconds inspections shall be called concurrently.
11. Wall construction shall comply with IRC Wall Section. Please confirm your methods of construction meet this section.
12. Emergency exit windows/doors shall be provided in sleeping rooms in accordance with R310.
13. Safety glazing of doors and windows shall conform to the requirements of R308
14. Operable windows on 2nd floor shall have window sills located a minimum of 24" above the finished floor, or they must be fixed or have openings through which a 4" diameter sphere cannot pass. R312.1
15. Garages beneath habitable rooms shall be separated from habitable rooms above by 5/8" Type "X" gypsum board. R302.6
16. Stair treads and risers. The maximum riser height shall be 7 3/4 inches and the minimum tread depth shall be 10 inches. The riser height shall be measured vertically between leading edges of the adjacent treads. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch. A nosing not less than 3/4 inch but not more than 1 1/4 inches shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch. A flight of stairs shall not have vertical rise greater than 12 feet between floor levels or landings. Section R311
17. Brick and masonry veneer shall be supported as per section R703
18. Attic access shall be provided in accordance with R807.
19. Approved drain pan required for water heaters installed above the first floor P2801.6
20. Water heater drain pans shall drain to exterior of building.
21. Combustion air for gas-fired water heaters shall comply with G2407.
22. Bathrooms shall be provided with windows of not less than 3 square feet, one-half of which must be operable or a minimum 50cfm fan exhausted directly to the outside must be provided R303
23. Clothes dryer vents shall be installed in accordance with M1502.
24. Smoke and Carbon detectors shall be installed in accordance with R314 and R315.
25. GFCI protection shall be provided in accordance with E3902. Such as bathrooms, garages and accessory buildings, outdoors, crawl spaces, unfinished basements, kitchens laundry, utility, and wet bar sinks, and boathouses, or similar rooms or areas.

26. GFCI bathroom receptacles must be installed within 36 inches of lavatory basin per E3901.6.
27. All branch circuits which supply 120-volt, single phase, 15- and 20- ampere outlets shall be protected by a combination type arc fault circuit interrupter to provide protection of the branch circuit per E3902.16.
28. Outdoor receptacle outlets required in front and back of one and two family dwelling units per E3901.7.

BVNA REPRESENTS THAT THE SERVICES, FINDINGS, RECOMMENDATIONS AND/OR ADVICE PROVIDED TO CLIENT WILL BE PREPARED, PERFORMED, AND RENDERED IN ACCORDANCE WITH PROCEDURES, PROTOCOLS AND PRACTICES ORDINARILY EXERCISED BY PROFESSIONALS IN BVNA'S PROFESSION FOR USE IN SIMILAR ASSIGNMENTS, AND PREPARED UNDER SIMILAR CONDITIONS AT THE SAME TIME AND LOCALITY, CLIENT ACKNOWLEDGES AND AGREES THAT BVNA HAS MADE NO OTHER IMPLIED OR EXPRESSED REPRESENTATION, WARRANTY OR CONDITION WITH RESPECT TO THE SERVICES, FINDINGS, RECOMMENDATIONS OR ADVICE TO BE PROVIDED BY BVNA PURSUANT TO THIS AGREEMENT.

THIS REPORT IS SOLELY FOR THE USE AND BENEFIT OF THE CLIENT. BVNA IS NOT LIABLE TO THE CLIENT OR ANY THIRD PARTY FOR THE THIRD PARTY'S RELIANCE ON OR USE OF THIS REPORT. INSPECTIONS ARE BASED SOLELY ON VISUAL OBSERVATION(S) AND ASSESSMENT(S) OF THE CONDITION OF THE PROPERTY OR SPECIFIED ITEMS AT THE TIME OF INSPECTION. FURTHER, BVNA IS NOT LIABLE TO THE CLIENT OR ANY THIRD PARTY FOR ANY DAMAGE OR CLAIM ARISING FROM UNDISCLOSED AND/OR UNKNOWN DANGEROUS CONDITIONS EXISTING AT THE SITE BEFORE BVNA ENTERED THE PROJECT SITE, OR ARISING OUT OF MISREPRESENTATIONS BY CLIENT CONCERNING CONDITIONS AT THE SITE OR SPECIFIED ITEM.

Required Inspections

Every inspection may not be listed or apply to every project/build.
The order of inspections also may vary.

- 1 Plumbing underground
- 2 Electrical underground
- 3 Foundation pre-pour
- 4 Framing
- 5 Plumbing rough in
- 6 HVAC rough in
- 7 Electrical rough in
- 8 Sawpole
- 9 Electrical meter release
- 10 Gas meter release
- 11 Storm drainage underground
- 12 Building sewer
- 13 Building water service
- 14 Parking lot pre-pour
- 15 Plumbing final
- 16 Electrical final
- 17 HVAC final
- 18 Building final

An additional \$100.00 charge will apply for each additional required approval / inspection over the normally required approval/inspection process will be charged \$100.00.

For questions regarding required inspections please contact Bureau Veritas @ (877)837-8775.



Bureau Veritas Contact Information

Permit Submittal

The permit documents and fees will be submitted to the city. Submittal documents should be complete to expedite plan review and permit issuance. Please contact the city for a complete list of permit submittal requirements.

Plan Review

Bureau Veritas will be conducting residential and commercial plan reviews. The applicant will be contacted by Bureau Veritas if revisions are needed. You may contact Bureau Veritas' Fort Worth Plan Review Department for the status of your permit at 800-906-7199 / toll free 800-910-8284.

Inspection Requests

Please contact Bureau Veritas to request inspection(s). Any of our permit technicians can assist you. Inspections requested by 5:00 pm Monday – Friday will be performed the next business day. Inspection requests can also be faxed to the Bureau Veritas office.

Inspection Request line: (817) 335-8111 Toll Free number: (877) 837-8775

Inspection FAX line: (817) 335-8110 Toll Free FAX line: (877) 837-8859

Inspection requests can also be emailed to: inspectionstx@us.bureauveritas.com

Field Inspections

Inspectors assigned to your area can be contacted via cell phone. Please call the Bureau Veritas office at (817) 335-8111/toll free (877) 837-8775 for your inspector's name and number.

Customer Comments

Please visit our website at <http://www.surveymonkey.com/s/bvcommsurvey> for comments on our services.

We look forward to working with you to ensure that the community is provided with a safe and durable built environment.



**BUREAU
VERITAS**

Residential Inspection Request

Fax Request to: 817-335-8110/toll free 877-837-8859

For Questions: 817-335-8111/toll free 877-837-8775

Inspection requests can also be emailed to: inspectionstx@us.bureauveritas.com

REQUESTS MUST BE RECEIVED BY 5:00 P.M. FOR NEXT DAY INSPECTION

Please be sure all subcontractors have obtained their permits prior to scheduling an inspection.

Today's Date _____

Requestor's Phone _____

Company _____

Requestor's Fax _____

Requestor's Name _____

City of Project(s) _____

Address _____

Subdivision _____

Permit # _____

Date Needed _____

- | | | |
|----------------------------------|---------------------------------|-----------------------------|
| _____ T-Pole | _____ Framing | _____ Construction Electric |
| _____ Yard Sewer | _____ Plumbing Top-Out | _____ Gas Final |
| _____ Water Service | _____ Rough Gas Test | _____ Fireplace Final |
| _____ Plumbing Rough | _____ Mechanical Rough | _____ Plumbing Final |
| _____ Gas Wrap (Underground Gas) | _____ Electrical Rough | _____ Electrical Final |
| _____ Form Board Survey | _____ Fireplace (metal/masonry) | _____ Mechanical Final |
| _____ Underground Electrical | _____ Energy Insulation | _____ Energy Final |
| _____ Underground Mechanical | _____ Flatwork | _____ Building Final |
| _____ Piers | | |
| _____ Foundation | _____ All Seconds | _____ All Finals |

Comments _____

Address _____

Subdivision _____

Permit # _____

Date Needed _____

- | | | |
|----------------------------------|---------------------------------|-----------------------------|
| _____ T-Pole | _____ Framing | _____ Construction Electric |
| _____ Yard Sewer | _____ Plumbing Top-Out | _____ Gas Final |
| _____ Water Service | _____ Rough Gas Test | _____ Fireplace Final |
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| _____ Piers | | |
| _____ Foundation | _____ All Seconds | _____ All Finals |

Comments _____