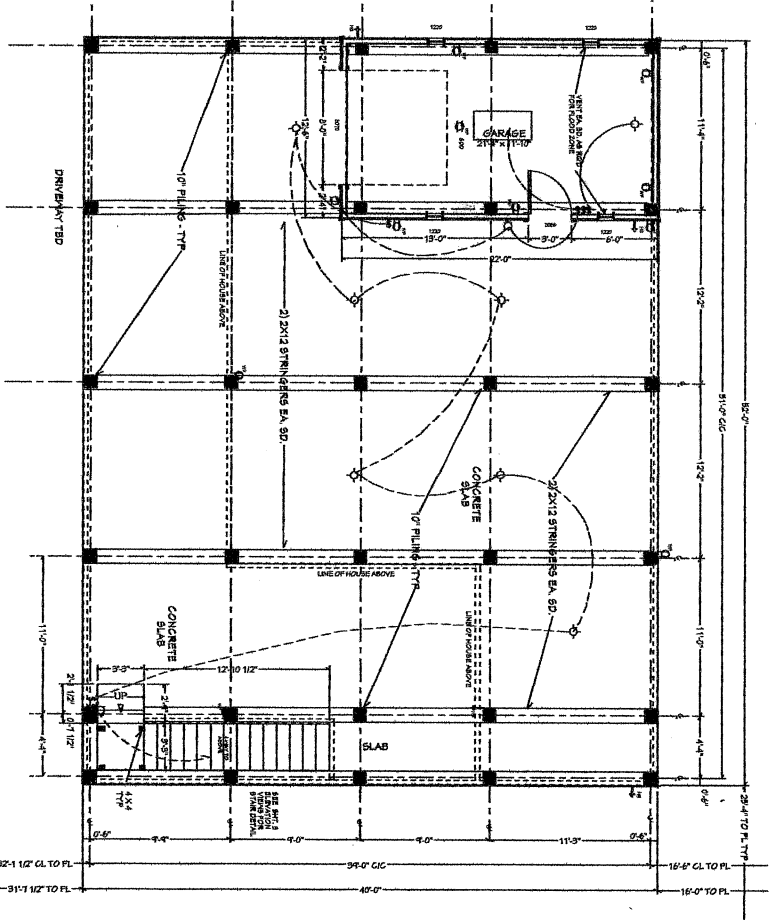


**DISCLAIMERS (SHD)**  
 To the best of our knowledge these plans are drawn to comply with current code and building specifications and any changes made after construction drawings are delivered will be done at the owner and / or builder's expense and responsibility.  
**CONTRACTOR & HOMEOWNER TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND OTHER REQUIREMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE THEREAFTER.**  
 SEASIDE HOME DESIGN, LLC, is not liable for errors or omissions that may occur. While every effort has been made to ensure the accuracy of the drawings, the maker cannot guarantee against human error.

**DISCLAIMERS (SHD) Contd.**  
 Under no circumstances will SEASIDE HOME DESIGN, LLC be held for any damages, whether arising from TORT or contract, including loss of data, lost profit, cost of cover, or other special, incidental, consequential, or indirect damage resulting from the use of the drawings.  
**LIMITATION OF LIABILITY. SEASIDE HOME DESIGN, LLC IS NOT LIABLE TO CLIENT FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES. MAXIMUM LIABILITY IS LIMITED TO TOTAL PRICE OF SIGNED CONTRACT FOR DESIGN SERVICES.**

**GROUND FLOOR / PILING PLAN**  
 SCALE: 1/4" = 1'-0"

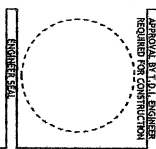


**CONCRETE NOTES:**  
 ALL CONCRETE WORK SHALL COMPLY WITH BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE AND AS SPECIFIED BY STRUCTURAL ENGINEER.  
 ALL CONCRETE SHALL BE NORMAL WEIGHT, AGGREGATE WITH MINIMUM TWENTY EIGHT (28) DAYS COMPRESSIVE STRENGTH @ 3000 PSI AND CONFORM TO ASTM SPEC. THE 4" BUCK FOR INCHES AND NO WATER AT JOB SITE. CONCRETE SHALL BE CURED FOR SEVEN (7) DAYS AFTER PLACEMENT.  
**REINFORCING STEEL:**  
 ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A615 GRADE 60, EXCEPT FOR BARS, WHICH ARE BENT STRUBBS, DOWNES, AND OTHERWISE SHOWN. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FOOTING: 3" 1'-2" TOP, 2" SIDE, 2" BOTTOM  
 REINFORCEMENT DETAILS AND PLACEMENT SHALL COMPLY WITH ACI 909.6, AND ACI 318.6B, AND OTHER TITLE, LOCATION AND SIZE BY STRUCTURAL (TD) ENGINEER.  
 REINFORCEMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
 REINFORCEMENT SHALL BE SHOWN ON STRUCTURAL DRAWINGS.  
 CONCRETE SLAB FOUNDATION TO EXTEND BEYOND THE FOUNDATION DESIGN AREA PILING, ON THE ENGINEERING DESIGN AREA.

**SITE NOTES:**  
 1. REFER TO LOT SURVEY FOR PROPERTY CORNER LOCATIONS.  
 2. CONSTRUCTION TO MEET OR EXCEED TEXAS STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, FOR SITE ELEVATION AND FILLING. REFER TO PUBLIC WORKS DEPARTMENT FOR REQUIREMENTS OF NATURAL GROUND ELEVATION AND FILLING.  
 3. FILLING SHALL BE COMPLETED BY REGISTERED PUBLIC LAND SURVEYOR.  
 4. FINISH BASE FLOOD ELEVATION 19.0 PER LAMBERT COUNTY PARAS 48.14, PAR NO. 48.171, 2008 A.S.T.M. E.L. 13, REFER ALSO TO SURVEY PLAN.  
 5. NEW CONSTRUCTION BOTTOM OF STRUBBER (LONGEST HORIZONTAL STRUCTURAL MEMBER) SHALL BE CONSTRUCTED TO MEET FEMA FIRM RECOMMENDATIONS.  
 6. NEW CONSTRUCTION FINISH FLOOR ELEVATION SHALL BE 1'-0" ABOVE FINISH FLOOR ELEVATION NOTED ON DRAWING.  
 7. SEE JOIST FRAMING PLAN, SHEET 5.  
 8. GARAGE FLOOR TOP OF CONCRETE TO BE 1' MIN. ABOVE TOP OF STREET. CONCRETE SHALL BE 4" X 4" (MAX.) IF WITHIN 200' PROXIMITY TO DRAINAGE STRUCTURE.  
 9. DRAINAGE (OR GULLY) AT DRIVEWAY PER CITY REQUIREMENTS.  
 10. BASE OF STRUCTURE, NOT INCLUDING ROOF IN EXCESS OF 4', EXCEPT AS NOTED.  
 11. GARAGE ENCLOSURE SHALL BE BARRICADE WEAPONS RESISTANT AND SHALL COMPLY WITH FEMA FIRM RECOMMENDATIONS.  
 12. SEE JOIST FRAMING PLAN, SHEET 5.  
 13. GARAGE FLOOR TOP OF CONCRETE TO BE 1' MIN. ABOVE TOP OF STREET. CONCRETE SHALL BE 4" X 4" (MAX.) IF WITHIN 200' PROXIMITY TO DRAINAGE STRUCTURE.  
 14. DRAINAGE (OR GULLY) AT DRIVEWAY PER CITY REQUIREMENTS.

**SITE NOTES: (contd)**  
 DOUBLE 2" X 12" STRUBBERS ARE REQUIRED EACH SIDE OF PILING BELONG TO LIVING AREA, NOTCHED TO FIT 4" DIA. DIA. STUD BOLTS AND NUTS ARE REQUIRED AT EACH STRUBBER TO BE 1" FROM THE END OF EACH STRUBBER. A 2" STRUBBER END SIDE IS ACCEPTABLE BELOW PORCH DECK OR PER ENGINEER.  
 4. NO DISCONTINUITY OF BUILDING SETBACK CITY OR SUBDIVISION COVENANTS AND RESTRICIONS.  
 5. EDGE OF STRUCTURE, NOT INCLUDING ROOF IN EXCESS OF 4', EXCEPT AS NOTED.  
 6. GARAGE ENCLOSURE SHALL BE BARRICADE WEAPONS RESISTANT AND SHALL COMPLY WITH FEMA FIRM RECOMMENDATIONS.  
 7. SEE JOIST FRAMING PLAN, SHEET 5.  
 8. GARAGE FLOOR TOP OF CONCRETE TO BE 1' MIN. ABOVE TOP OF STREET. CONCRETE SHALL BE 4" X 4" (MAX.) IF WITHIN 200' PROXIMITY TO DRAINAGE STRUCTURE.  
 9. DRAINAGE (OR GULLY) AT DRIVEWAY PER CITY REQUIREMENTS.

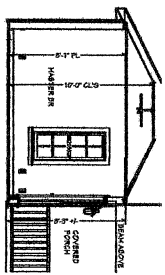
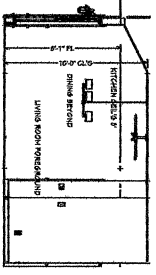
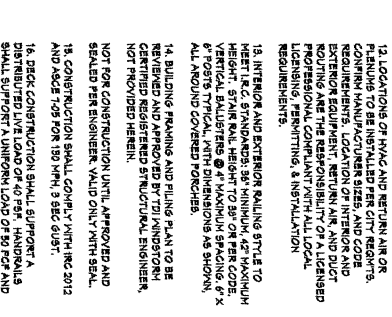
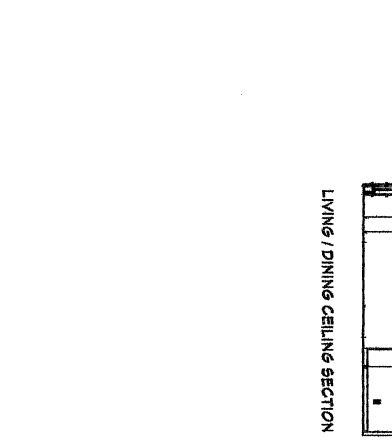
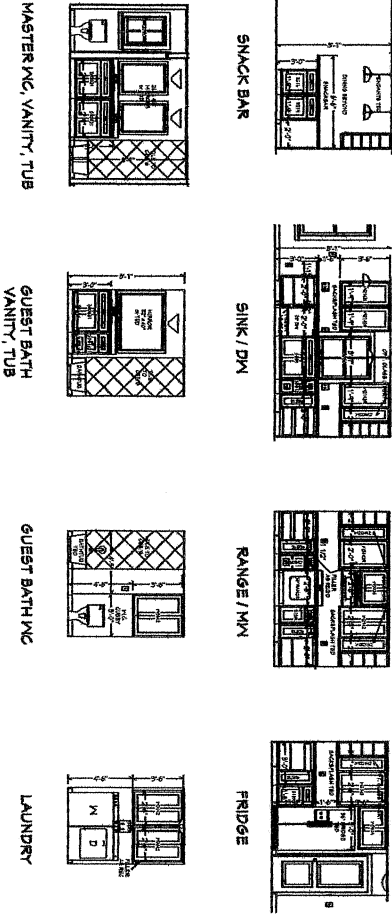
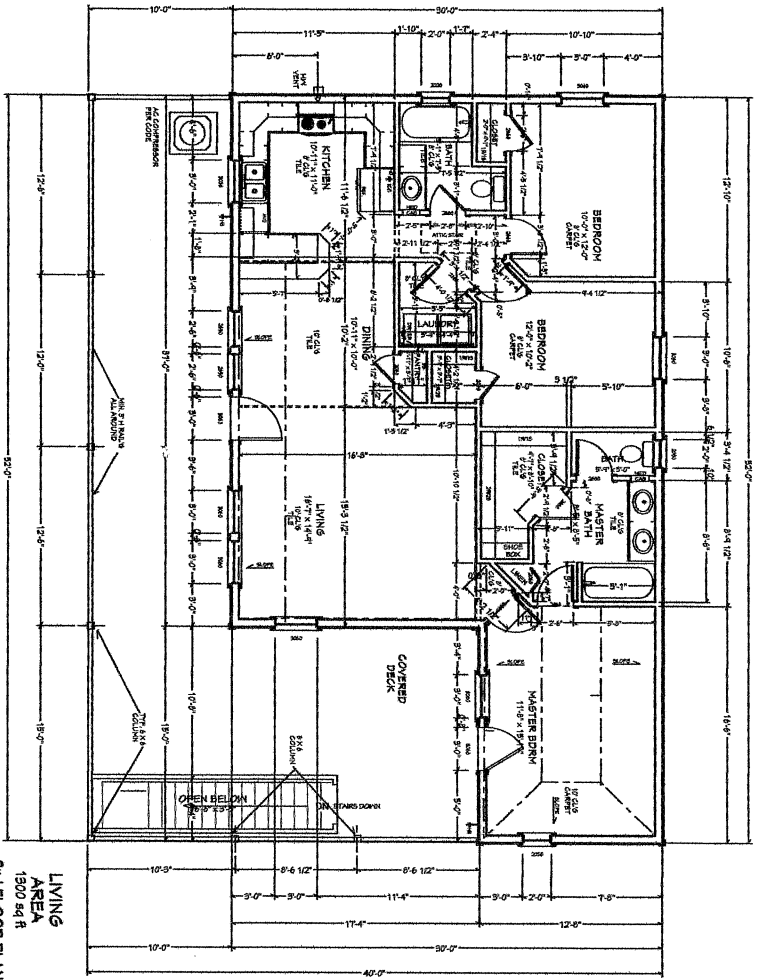
DESIGN BY:  
 Carolin J. Santangelo  
 DATE: 09.28.15  
 REV. 09.30.15 (REF. IRC2012)



**TERN PLAN, 1300 SF RESIDENCE**  
 Lot 17, Block 13, Sect. 1, Replat  
 16518 Lewis Scott Rd., Jamaica Beach, TX 77554  
**SITE & GROUND FLOOR / PILING PLAN**

www.SeasideHomeDesign.com  
 Carolin@SeasideHomeDesign.com  
 409-632-0381  
**SEASIDE HOME DESIGN, LLC**  
 RR 4, Box 225 D3  
 Galveston, Texas, 77554

**Sht. 1**  
 File No. EWALD\_TERN  
 plan



**KITCHEN & INTERIOR ELEVATIONS**  
SCALE: 3/4" = 1'-0"

INTERIOR ELEVATIONS AND PERSPECTIVES ARE DESIGNED BY THE ARCHITECT. ALL FINISHES, CABINETS, COUNTERTOPS AND FINISHES BY OTHERS SHALL BE SHOWN TO THE ARCHITECT AS NOTED, OR TO BE DETERMINED BY THE OWNER. CABINETRY SHALL BE SHOWN TO THE ARCHITECT AS NOTED, OR TO BE DETERMINED BY THE OWNER. CLOSET INTERIORS AS NOTED OR CLOSET SYSTEM TO BE DETERMINED BY THE OWNER. OPTIONAL.

42" TALL WALL CABINETS EXCEPT AS NOTED, OR TO BE DETERMINED BY THE OWNER. AS NOTED, OR TO BE DETERMINED BY THE OWNER. BASS DOOR CABINETS TO BE FITTED WITH ROLLING SINGLE OR DOUBLE TRAYS. PER OWNER VANITY TRAYS CABINETS TO BE FITTED WITH ROLLING TRAYS. UTILITY CABINET TO BE FITTED WITH SHELVES ABOVE OPEN BELOW. CLOSET INTERIORS AS NOTED OR CLOSET SYSTEM TO BE DETERMINED BY THE OWNER. OPTIONAL.

PRINCIPAL CABINETS EQUIPPED WITH DRAWERS. BUILT-IN DRAWER PULLS. TO BE BY OWNER. DETERMINED BY THE OWNER.

NOTE: BUILDER'S RESPONSIBILITY TO INSTALLATION DETAILS.

- GENERAL NOTES:**
1. EXTERIOR WALLS TO HAVE 5/8" X 8" X 8" PLYWOOD PANELS, AND STUDS TO BE SPACED AT 8" O.C. TO 4" FROM CORNER FOR NAIL BRACING. ADD SHEATHING FROM CORNER TO CORNER WITH 1/2" MIN. OVERLAP AND STAPLED TO STUDS. EXTERIOR WALLS TO BE 2 X 6 CONSTRUCTION ABOVE F.F.E.
  2. ADD 3/4" OF PLYWOOD FOR BREAK WALL TO SIDE (B) OF STUD WALL INDICATED IN LOCATIONS AS NOTED. SHEATHING SHALL BE 5/8" PLYWOOD PANELS FOR USE IN SOME LOCATIONS AT ENGINEER'S DISCRETION.
  3. MINIMUM DOUBLE RIV JOIST PERMITTER WALLS. TRIPLE JOISTS AS NOTED. DOUBLE JOISTS IN INTERIOR PARTITIONS.
  4. ROOF FRICTION 612 THROUGHOUT. WITH 12" OVERHANG ALL AROUND. OR AS NOTED. ROOF DECKING TO BE 3/4" CDX PLYWOOD OR RADIAN L5. TRIPLE JOIST OVER LAY. STUDS TO BE 2X6 INSTALLED WITH FULL LENGTH RIDGE VENTS WHERE POSSIBLE. 200 LB OR 300 YR. MIN. CAPACITY JOISTS TO BE DETERMINED BY THE ENGINEER'S DISCRETION. IF NOTED.
  5. SUBFLOOR TO BE SINGLE LAYER 1 1/8" PLYWOOD OR 2 X 6 TONGUE & GROOVE. STUDS TO BE 2X6 (RADIANT OR EQUIVALENT) APPLIED.
  6. ALL FLOOR JOIST PENETRATIONS TO EXTERIOR STAINLESS STEEL FLASHING REQUIRED AT ALL EXTERIOR JOIST PENETRATIONS OR WALL / JOIST CONNECTIONS.
  7. WALL INSULATION TO BE R-19 (MIN) BATT BETWEEN STUDS WITH MOISTURE BARRIER APPLIED AGAINST EXTERIOR. CEILING INSULATION TO BE R-30 (MIN) BETWEEN JOISTS WITH MOISTURE BARRIER. JOISTS TO BE 2X6 (MIN) WITH 1/2" MIN. OVERHANG ALL AROUND. MAIN LIVING AREA CEILING ABOVE SECOND FLOOR TO BE 6 X 8 BETWEEN FLOOR JOISTS.
  8. GROUND TO BE HANDED ASK FOR REQUALIFY OR VENT TO MEET INTERIOR CERTIFICATION. VENTED ROOF PANELS WITH PROPER TRIM, CHANNEL, AND TECHNIQUE TO ENSURE CORRECT INSTALLATION MATERIAL, PROFILE, AND COLOR TO BE BY OWNER.
  9. 6" PLATE HEIGHT ALL AROUND WITH VOLUME CEILING AS NOTED, OR TO BE BY OWNER.
  10. REFER TO ELEVATION SCHEDULE PROVIDED BY REGISTERED SURVEYOR.
  11. INTERIOR CABINETRY AND TRIM FINISHES BY REGISTERED SURVEYOR.
  12. LOCATIONS OF HVAC AND RETURN AIR OR EXHAUST SHALL BE DETERMINED PER CITY REQUIREMENTS. LOCATION OF INTERIOR AND EXTERIOR EQUIPMENT RETURN AIR AND DUCT ROUTING ARE THE RESPONSIBILITY OF A LICENSED MECHANICAL ENGINEER. INSTALLATION REQUIREMENTS.
  13. INTERIOR AND EXTERIOR WALLING STYLE TO BE DETERMINED BY THE ARCHITECT. VERTICAL BALUSTERS @ 4" MAXIMUM SPACING. 6" X 6" POSTS TYPICAL, WITH DIMENSIONS AS SHOWN, ALL AROUND COVERED PORCHES.
  14. BUILDING FRAMING AND FILING PLAN TO BE REVIEWED AND APPROVED BY THE ARCHITECT. CERTIFIED REGISTERED STRUCTURAL ENGINEER, NOT FOR CONSTRUCTION UNTIL APPROVED AND SEALED PER ENGINEER. VALID ONLY WITH SEAL AND ASSET TAG FOR 180 DAYS. 3 SECT. 0951.
  15. DECK CONSTRUCTION SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 40 PSF. HANDRAILS SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 50 PSF AND A CONCENTRATED LOAD OF 200 LBS.

**DESIGN BY:**  
Carolyn J. Santangelo

**DATE:** 09.28.15  
**REV:** 09.30.15 (REF. IRC2012)

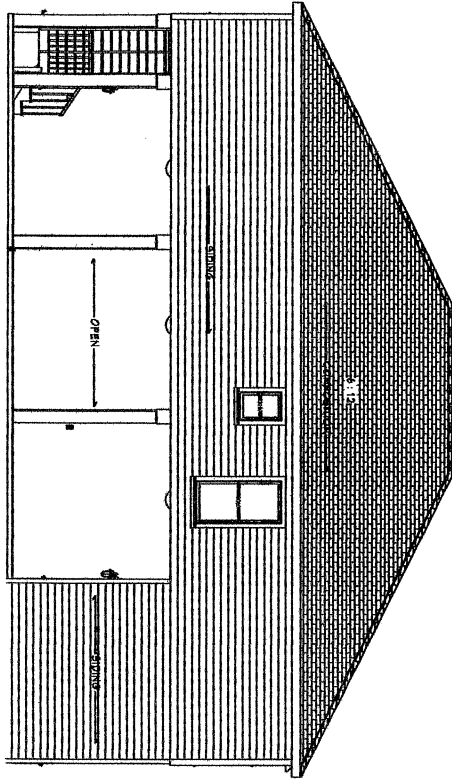
**TERN PLAN, 1300 SF RESIDENCE**  
**Lot 17, Block 13, Sect. 1, Replat**  
**16518 Lewis Scott Rd., Jamaica Beach, TX 77554**

**FLOOR PLAN**

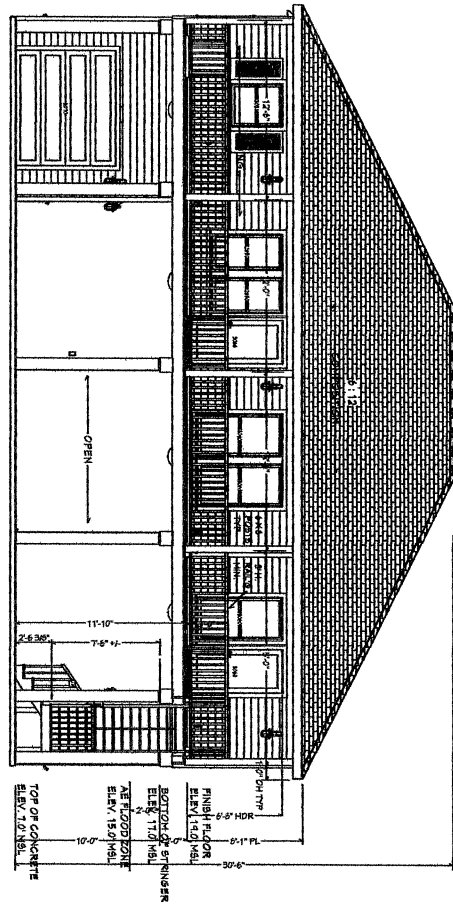
**SEASIDE HOME DESIGN, LLC**  
RR 4, Box 225 D3  
Galveston, Texas, 77554

www.seasidehomedesign.com  
Carolin@seasidehomedesign.com  
409-632-0381

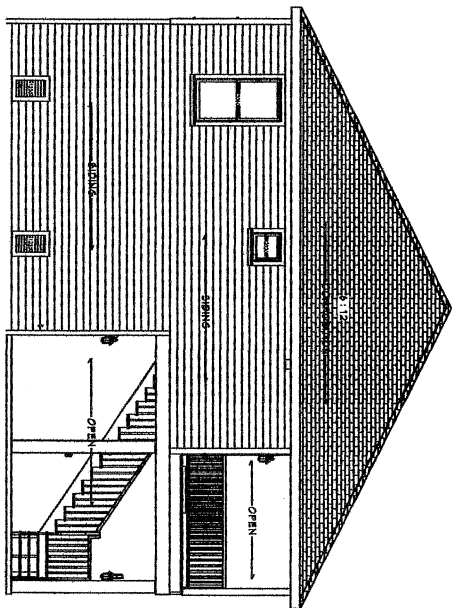
**Sht. 2**  
File No. EWALD\_TERN plan



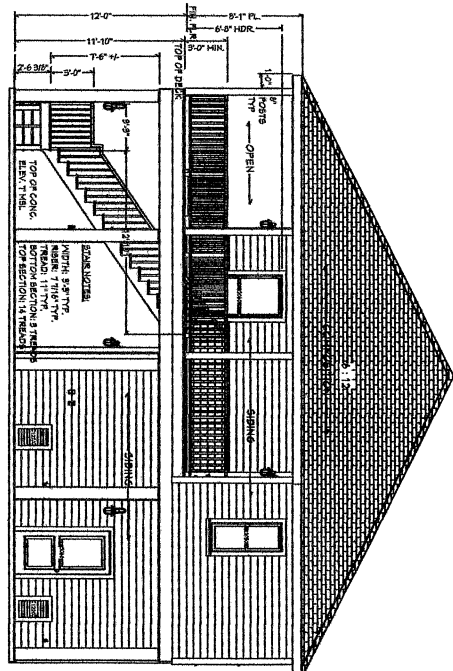
REAR ELEVATION  
SCALE: 1/4" = 1'-0"



STREET ELEVATION  
SCALE: 1/4" = 1'-0"



WEST SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



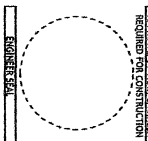
EAST SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGN BY:

Carolyn J. Santangelo

DATE: 09.28.15

REV. 09.30.15 (REF. IRC2012)



TERN PLAN, 1300 SF RESIDENCE  
Lot 17, Block 13, Sect. 1, Replat  
16518 Lewis Scott Rd., Jamaica Beach, TX 77554

EXTERIOR ELEVATIONS



www.SeasideHomeDesign.com  
Carolyn@SeasideHomeDesign.com  
409-632-0381

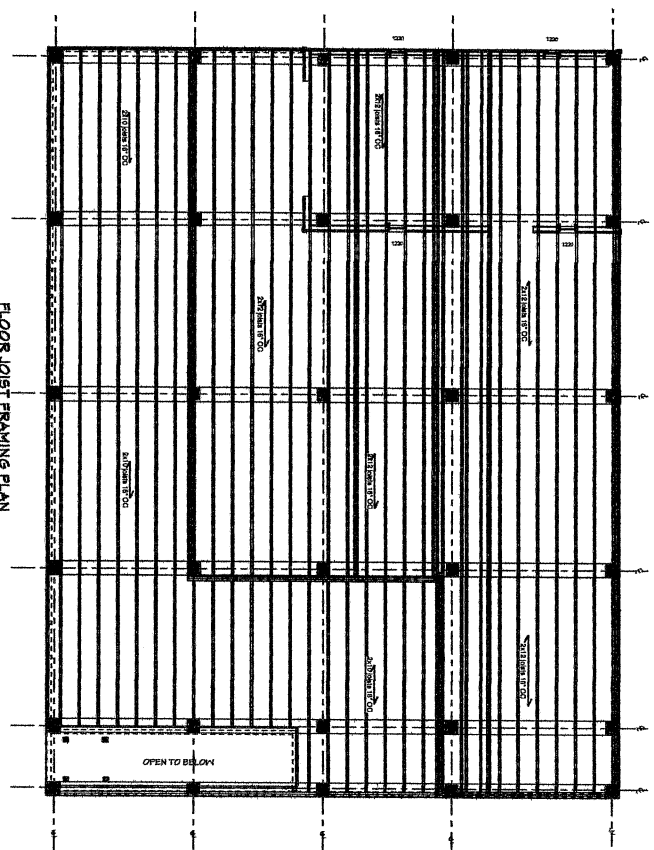
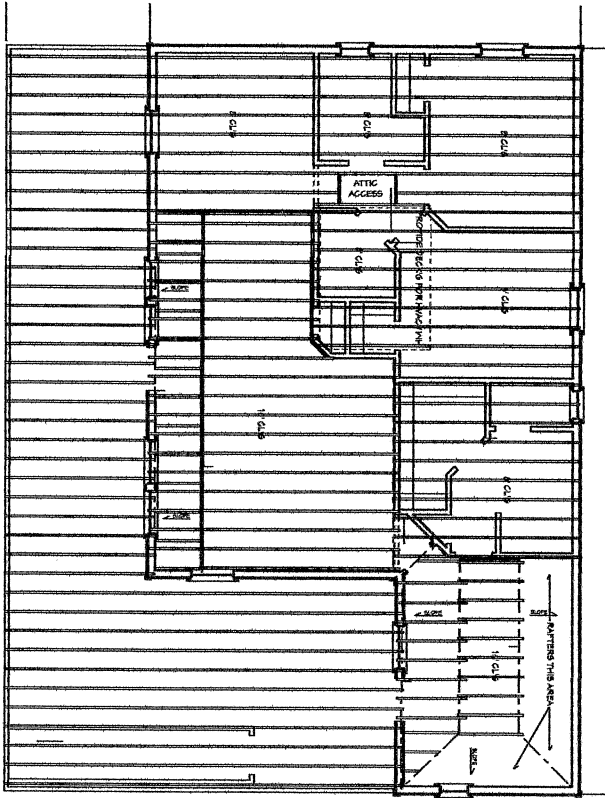
SEASIDE HOME DESIGN, LLC

RR 4, Box 225 D3  
Galveston, Texas, 77554

Sht.  
3

File No.  
EWALD\_TERN.  
plan

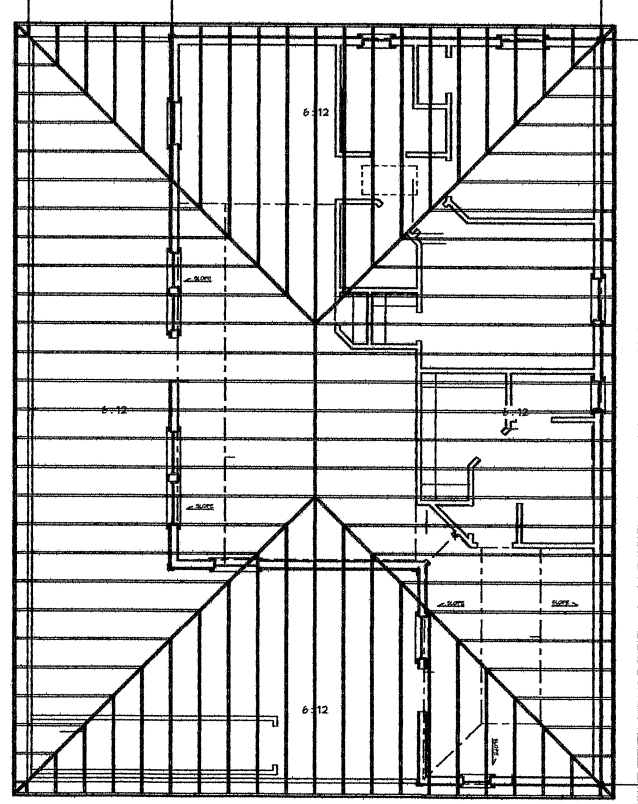




FLOOR JOIST FRAMING PLAN  
SCALE: 1/4" = 1'-0"

CEILING JOIST FRAMING PLAN  
SCALE: 1/4" = 1'-0"

ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



**NOTING NOTES:**

- 6/12 PITCH, 12' OVERHANG ALL AROUND, GUTTERS OPTIONAL, TBD BY OWNER
- RAFTERS 2 X 6 @ 16" O.C. WITH FULL IN ROOFING, HORIZONTAL UNSUPPORTED SPAN
- 2 X 10 RIDGE, BACKED @ 80" O.C.
- HIP/HURRICANE CLIPS TO CODE
- SEE GENERAL STRUCTURAL REQUIREMENTS SHEET FOR SCHEMATIC PATTERN INSTRUCTIONS

**JOIST FRAMING NOTES:**

- 2 X 12 R-ROOF JOISTS @ 16" O.C. INTERIORS OF
- 2 X 10 DECK JOISTS @ 16" O.C. EXTERIOR LOCATIONS (DECK)
- 2 X 8 CEILING JOISTS @ 16" O.C.
- 2 X 10 DECKING PLATFORMS IN ATTIC FOR MECH ACCESS.
- SEE ALSO GENERAL HVAC NOTES - LOCATIONS AND NOTING OF HVAC ARE THE RESPONSIBILITY OF A MECHANICAL CONTRACTOR. ALL MECH REQUIREMENTS, HAVE ROOMS MAY REQUIRE FINISH DOWN IN SOME LOCATIONS.

**PLUMBING EQUIPMENT NOTES:**

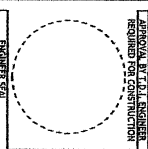
- 1. WATER CLOSET (TOILETS) TO BE ENCAUSTED STYLE TYPICAL, BATH FIXTURES THROUGHOUT TBD BY OWNER
- 2. WATER HEAVENT TO BE ELECTRIC, 40 GAL. MIN. OR INSTANT HOUSE INSTANT WATER HEATER, TBD BY OWNER
- 3. EXTERIOR HOSE BIBBS AS INDICATED ON PLANS.
- 4. OPTIONAL, INSTALL SEPARATE WATER METER FOR IRRIGATION NEEDS, SERVANTS PERMIT FEE REQUIRED.

**GENERAL HVAC NOTES:**

- A/C and FURNACE UNITS ARE RECOMMENDED TO HAVE BEEN 16.45 MINIMUM; UNITS TO BE INSTALLED IN ATTIC, SHED AS SLOTTED, SOLID (S) OR CONTRACTORS REQUIREMENTS FOR MINIMUM ACCESS SPACE, AND MINIMUM AIR SPACE AROUND MECHANICAL UNITS.
- SIZE AND LOCATION OF HVAC EQUIPMENT, R/A VENTS AND DUCTS ARE THE RESPONSIBILITY OF A LICENSED MECHANICAL CONTRACTOR. ALL MECH REQUIREMENTS, PERMITTING AND INSULATION REQUIREMENTS.
- HAVE CONTRACTOR PROVIDE ATTIC ACCESS, INSULATED COVER AS REQUIRED BY CODE, TO FINISH AND SEAL ALL RETURN AND RETURN AIR TO ELIMINATE AIR FILTRATION.
- A/C DRAINS IN ACCORDANCE WITH CODE.

DESIGN BY:  
Carolyn J. Santangelo

DATE: 09.28.15  
REV. 09.30.15 (REF. IRC2012)



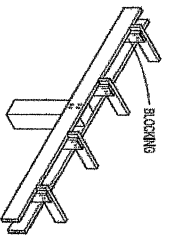
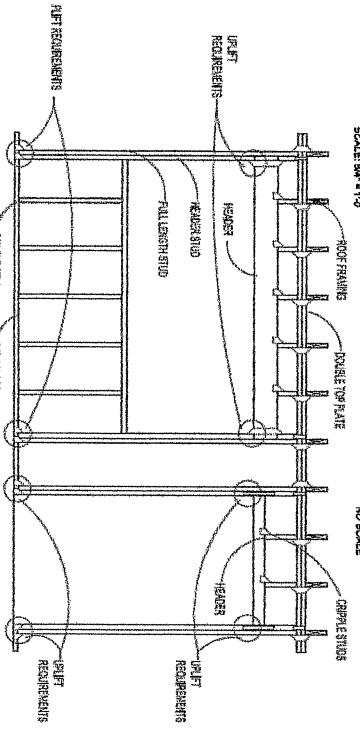
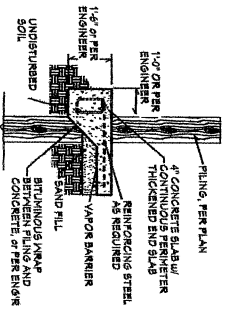
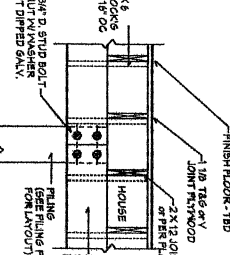
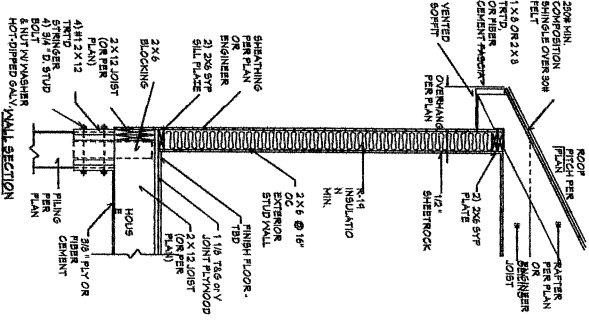
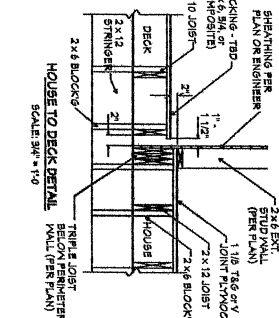
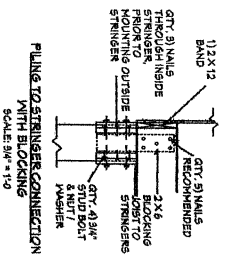
**TERN PLAN, 1300 SF RESIDENCE**  
**Lot 17, Block 13, Sect. 1, Replat**  
**16518 Lewis Scott Rd., Jamaica Beach, TX 77554**

**ROOF and JOIST FRAMING PLANS**

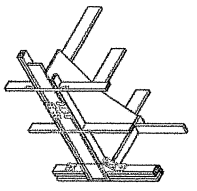
**SEASIDE HOME DESIGN, LLC**  
 RR 4, Box 225 D3  
 Galveston, Texas, 77554

www.SeasideHomeDesign.com  
 Carolin@SeasideHomeDesign.com  
 409-632-0381

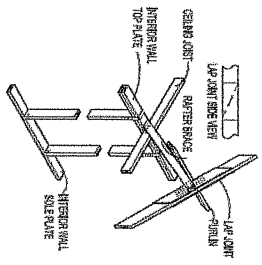
**Sht. 5**  
 File No. EWALD\_TERN.plan



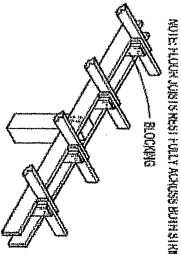
STRING BEAM TO FLOOR JOIST BLOCKING DETAIL NO SCALE



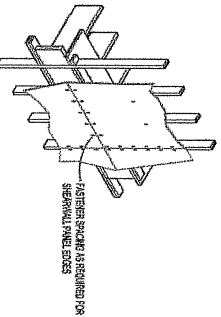
BETWEEN FLOOR CORNER HOLD DOWN DETAIL NO SCALE



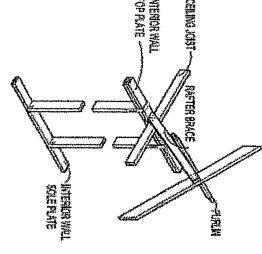
RAFTER ANGLE SPLICE DETAIL FASTENER LOCATIONS NO SCALE



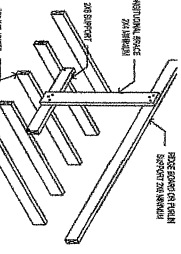
ROOF FLOOR JOISTS FASTENERS ACROSS RAFTER STRINGERS NO SCALE



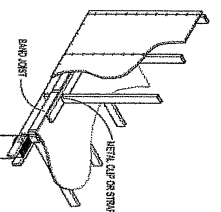
SHEARWALL DETAIL FOR MULTISTORY BUILDING NO SCALE



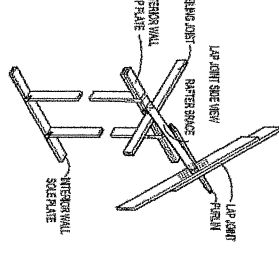
RAFTER DETAIL & FASTENER LOCATIONS - NON-SPliced NO SCALE



TYPICAL CEILING JOIST BRACE NO SCALE



WALL SHEATHING HOUSE ON PILING NO SCALE



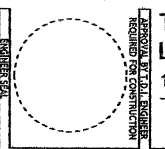
RAFTER NON-ANGLE SPLICE SUPPORT AND FASTENER DETAIL NO SCALE

GENERAL STRUCTURAL REQUIREMENTS: PILING REQUIREMENTS FOR SHEATHING ROOF... SHEATHING SHALL BE CONTINUOUS OVER JOIST... RAFTERS TO BE STRONGLY DISCOUNTAGED... HAND-DRAWN APPLICATION IS PREFERABLE.

GENERAL STRUCTURAL REQUIREMENTS: (CONT'D) RAFTER ANGLE SPLICE DETAIL... FASTENER LOCATIONS - NON-SPliced... RAFTER DETAIL & FASTENER LOCATIONS - NON-SPliced... HAND-DRAWN APPLICATION IS PREFERABLE.

GENERAL STRUCTURAL REQUIREMENTS: (CONT'D) SPECIAL NOTES: 1. CARE MUST BE GIVEN TO INSURE WALLS ARE NOT... RAFTER NON-ANGLE SPLICE SUPPORT AND FASTENER DETAIL... HAND-DRAWN APPLICATION IS PREFERABLE.

DESIGN BY: Carolin J. Santangelo DATE: 09.26.15 REV. 09.30.15 (REF. IRC2012)



TERN PLAN, 1300 SF RESIDENCE Lot 17, Block 13, Sect. 1, Replat 16518 Lewis Scott Rd., Jamaica Beach, TX 77554 STRUCTURAL DETAILS

SEASIDE HOME DESIGN, LLC RR 4, Box 225 D3 Galveston, Texas, 77554 www.seasidehomedesign.com

Sht. 6 File No. EWALD\_TERN plan