



RESIDENTIAL INSPECTION REPORT

6624 Merry Ln
Houston TX 77023

Juan Chavero
AUGUST 26, 2020



Inspector
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PROPERTY INSPECTION REPORT

Prepared For: Juan Chavero
(Name of Client)

Concerning: 6624 Merry Ln, Houston TX 77023
(Address or Other Identification of Inspected Property)

By: Chance Phillips - TREC #3899, TPCL #0725712 08/26/2020 9:00 am
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family

Access provided by:: Supra

In Attendance: Buyer, Buyer Agent

Occupancy: Occupied, Furnished

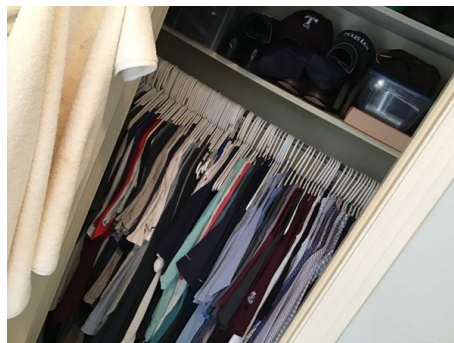
Weather Conditions: Cloudy, Hurricane expected tomorrow

Temperature (approximate): 88 Fahrenheit (F)

Storage Items/Occupied Home:

The home was occupied at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual

observation of components. Items blocked by storage/furnishing are not inspected.



Thank you for choosing Bryan & Bryan Inspections

Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this web-page includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.

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I. STRUCTURAL SYSTEMS

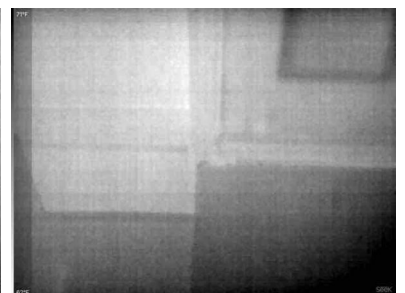
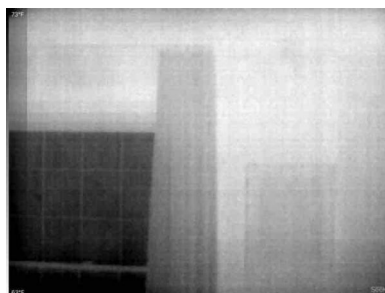
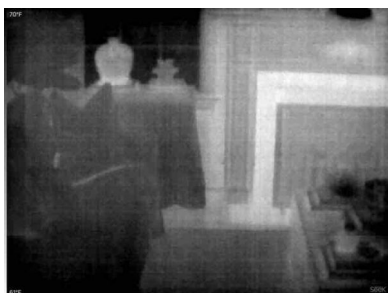
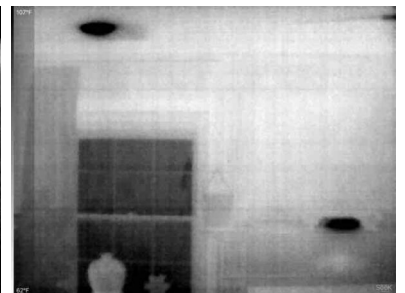
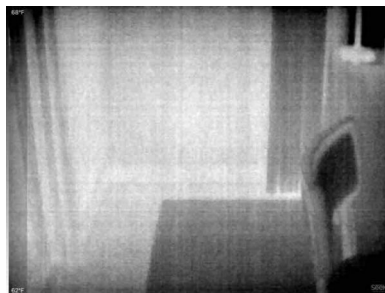
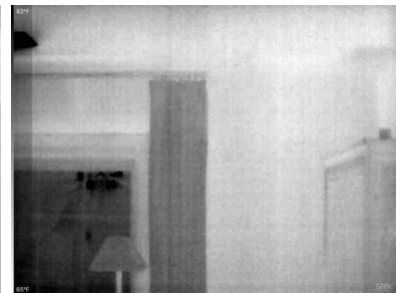
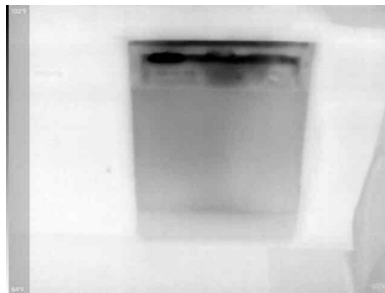
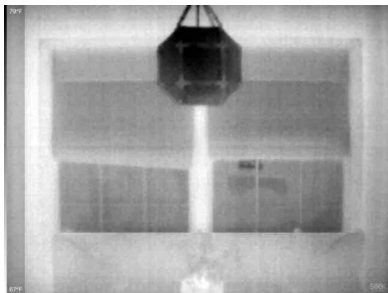
General Photos of Structure:



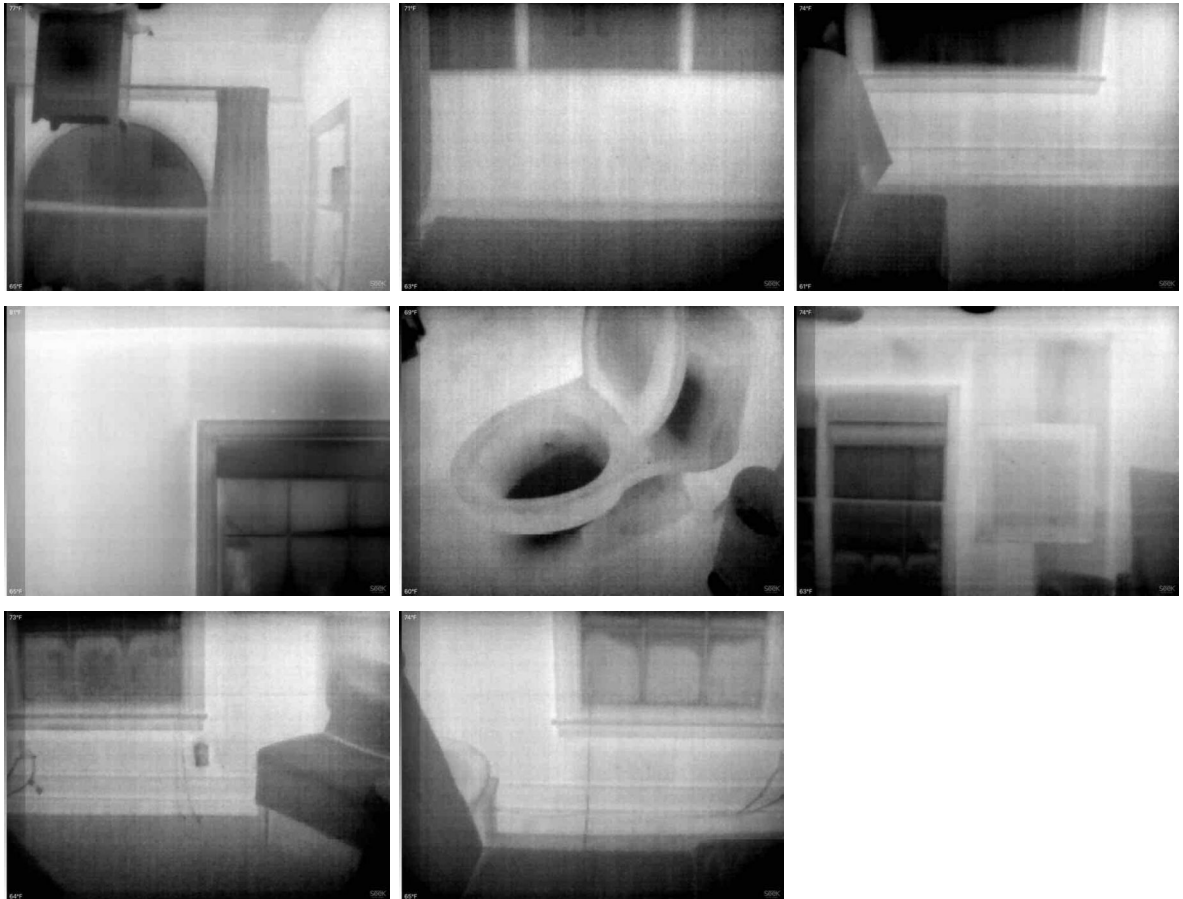
General Photos of Roof Covering:



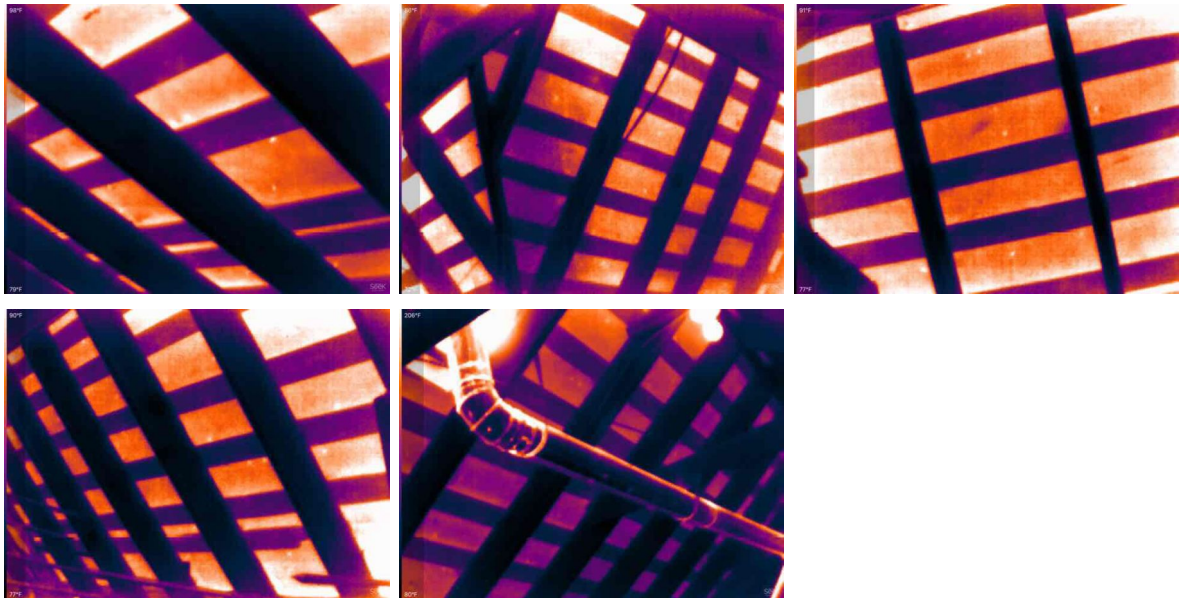
Infrared Photos of Interior:



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Infrared Photos of Structure:



A. Foundations

Type of Foundation(s): Pier and Beam, Slab on Grade

Comments:

Performance Opinion: Further Evaluation is Recommended:

Further evaluation by a licensed structural engineer and/or a foundation contractor is recommended.

Note: The statements included in this report regarding the foundation are the inspector's OPINION. If buyer desires a second opinion or further analysis a foundation company or structural engineer should be contacted

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Garage



Foundation Inspected with Digital Level:

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there were elevation variations that indicated excessive movement of the foundation. At the time of this inspection the measured areas did not indicate any variations that, in this inspector's OPINION, indicated any need for invasive repairs to the foundation.

Main residence



Crawlspace Access Limitations: The evaluation of the foundation system and other components or systems in the crawlspace were limited and based on visual observation from the foundation perimeter ONLY.



1: Trees Too Close

🚫 Recommendation

Root systems of large trees planted too close to the foundation can cause foundation problems.

Recommendation: Contact a qualified professional.

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B. Grading and Drainage

Comments:

1: Grading & Drainage: Uneven/Cracked Driveway

🔴 Recommendation

Uneven or Cracked driveways can be a trip hazard.

Recommendation: Contact a qualified professional.



2: Grading & Drainage: Uneven/Cracked Sidewalk

🔴 Recommendation

Uneven or Cracked sidewalks can be a trip hazard.

Recommendation: Contact a qualified professional.



3: Grading & Drainage: Inadequate

🔴 Recommendation

Low spots, ruts, and/or damaged sod were present at the time of inspection. Regrading by a qualified landscaping contractor or foundation contractor so that water flows away from the home is recommended.

Recommendation: Contact a qualified landscaping contractor

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C. Roof Covering Materials

Types of Roof Covering: Composition Shingles

Viewed From: Binoculars, Ladder

Roof Access was limited: Too Steep -

Direct access to the roof was limited because of constraints encountered during the inspection. The inspector did employ other methods in determining the overall functionality of the roof covering. If further evaluation of the roof covering is desired, consult with a qualified roofing contractor.

Roof fastening not verified:

The roof fastening method was not verified as determining this may have caused damage to the roofing material.

1: Tree limbs on/near roof

🚫 Recommendation

Tree limbs that are in contact with roof or hanging near roof should be trimmed to prevent damage to the roofing materials.

Recommendation: Contact a qualified tree service company.



2: Flashing: Lead Jacks Damaged

🚫 Recommendation

Multiple Locations

The lead vent jack was damaged. Remedy as needed.

Recommendation: Contact a qualified roofing professional.



D. Roof Structure and Attic

Viewed From: Decked areas of attic

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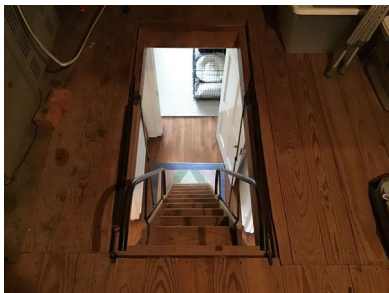


Approximate Average Depth of Insulation: Less than 4 Inches



Comments:

Attic Access Method: Pull down ladder(s)



Type of Attic/Roof Ventillation: Gable vent, Turbine vent



Type of Insulation Material: Batt Fiberglass

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Only accessible areas were entered:

Note: Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

1: Note: Rodent activity

🔴 Recommendation

There was evidence of prior and/or current rodent activity in one or more areas of the home. Pest control services are available through our sister company, Green Team Pest, and can be scheduled through our office. If you have any concerns regarding rodent infestation we strongly recommend you schedule this service.

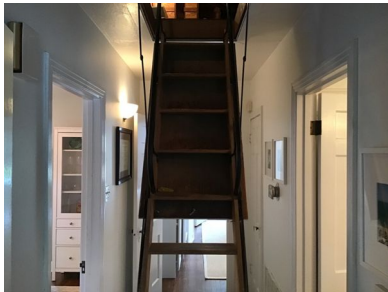
Recommendation: Contact a qualified pest control specialist.

2: Pulldown stairs/ladder: Not insulated or weatherstripped

🔴 Recommendation

The ladder door was not insulated or weatherstripped. This can lead to increased energy loss. Remedy as needed.

Recommendation: Contact a qualified professional.



3: Framing: Ridge prop missing

🔴 Recommendation

No ridge prop (support board) was installed. Installation is recommended to ensure proper load support of the ridge framing. Evaluate and remedy as needed

Recommendation: Contact a qualified professional.



4: Framing: Missing Purlin Supports

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Recommendation

Current building standards require purlin bracing every 4 ft.

Recommendation: Contact a qualified professional.



5: Insulation: Insufficient

Recommendation

Insulation depth was inadequate. Installation of additional insulation by a qualified insulation contractor is recommended.

Recommendation: Contact a qualified insulation contractor.

6: Venting: Gable Vent Screens Missing/Deteriorated

Recommendation

Gable vent screens were missing and/or deteriorated . Remedy as needed.

Recommendation: Contact a qualified roofing professional.



E. Walls (Interior and Exterior)

Comments:

Fresh Paint:

Fresh paint and new finishes can hide defects from the inspector.



1: Exterior: Seal Wall Fixtures

Maintenance Item/Note

Light Fixture(s), All Exterior Wall Penetrations, A/C Disconnect Box(es), Trim boards, A/C return lines -

Fixtures/Electrical boxes were not properly sealed. Remedy as needed.

Note: Modern building practices recommend sealing around components that are mounted on or pass through the exterior wall to limit moisture intrusion.

Recommendation: Recommended DIY Project



2: Exterior Masonry: Cracks

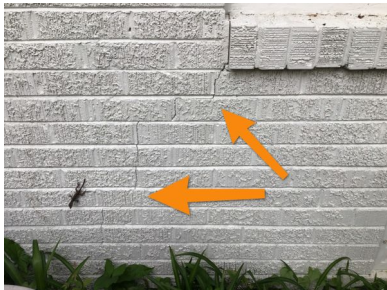
🔴 Recommendation

Cracks were observed in the brick/masonry siding. Common causes may include:

- building settlement,
- thermal expansion and contraction, or
- mechanical damage.

Cracked masonry or mortar may be cosmetic, but also may allow water into the wall which could damage the interior structure of the building. Cracks may grow with time at a constant (increasing or decreasing) rate and may open and close as seasons change. Remedy as needed.

Recommendation: Contact a qualified masonry professional.



3: Exterior Masonry: Weep holes not present over openings

🔧 Maintenance Item/Note

Weep holes were not installed in brick above steel lintels over windows and/or doors. Modern practices often utilize weep holes to prevent rusting of steel lintels supporting brick. If there is visible moisture damage to steel lintels or other building materials around these openings then this condition should be evaluated by a brick mason for possible correction. Otherwise the area should be monitored periodically.

Recommendation: Contact a qualified professional.



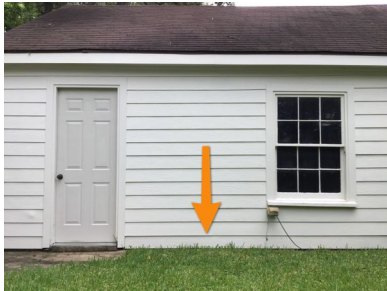
4: Exterior: Siding is too close to grade

🔴 Recommendation

For Example: garage

Siding should be a minimum of 6 inches above finished grade. Brick and stone should be a minimum of 4" above grade. Remedy as needed.

Recommendation: Contact a qualified professional.



5: Interior: Possible Microbial Growth

🔴 Recommendation

For Example: Laundry Area

Observed signs of possible microbial growth indicating prior moisture intrusion. It is recommended that the source of any moisture intrusion be identified, and the issue remediated.

Bryan & Bryan offers Indoor Air Quality testing. Speak with our office for further details and to see if this service might benefit you.

Recommendation: Contact a qualified professional.



6: Wall Framing: Insect Damage

🔴 Recommendation

For Example: garage

Extent of damage was not determined. Further evaluation by a qualified contractor is recommended.

Recommendation: Contact a qualified professional.

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F. Ceilings and Floors

Comments:

1: Flooring: Squeaky Subflooring

🔴 **Recommendation**

For Example: Kitchen, Laundry Area

Squeaky subflooring is not uncommon and is usually caused by wood subflooring that isn't properly attached to the joists. These can generally be repaired by a flooring contractor.

Recommendation: Contact a qualified flooring contractor



G. Doors (Interior and Exterior)

Comments:

1: Door: Wood Rot at Base of Frame

🔴 **Recommendation**

For Example: garage

Wood rot was observed at the base of a door frame. Remedy as needed.

Recommendation: Contact a qualified handyman.



2: Door: Damaged

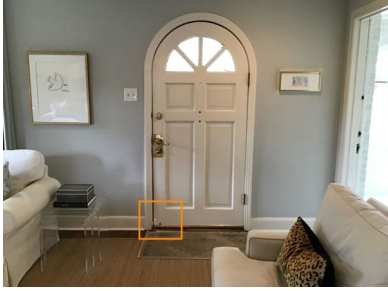
🔴 **Recommendation**

For Example: front entry

Evaluated and remedy as needed

Recommendation: Contact a qualified door repair/installation contractor.

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3: Door: Noticeable Gap at Frame

🔴 Recommendation

For Example: front entry, rear entry

Gaps were observed between the door and frame, which could result in energy loss. Evaluate and remedy as needed.

Recommendation: Contact a qualified door repair/installation contractor.



4: Door Hardware: Doesn't Latch

🔴 Recommendation

For Example: rear entry

Door did not latch properly. Handyman repair of latch and/or strike plate is recommended.

Recommendation: Contact a qualified handyman.



5: Door Glazing: No Safety Glass

⚠️ Safety Hazard

All glazing in door must be safety glass unless the glazing is decorative panels with dimensions less than 3 inches.

Recommendation: Contact a qualified professional.

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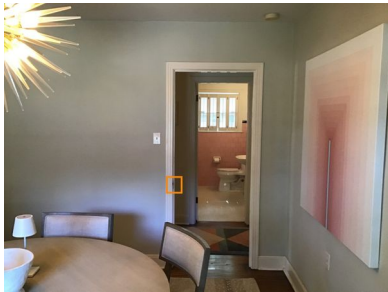
6: Door: Missing

👉 Recommendation

Dining Room, front bedroom

Hardware still present, however, door is not present.

Recommendation: Contact a qualified professional.



H. Windows

Comments:

Furniture/Storage items:

One or more windows were not accessible due to furniture/storage items.



1: Missing/Damaged Screen(s)

👉 Recommendation

One or more windows are missing a screen or had a damaged screen. Replacement of screens is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



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2: Cracked/Broken Glass Panes

🔴 Recommendation

For Example: master bedroom

Cracked or broken glass panes were present. Remedy as needed.

Recommendation: Contact a qualified window repair/installation contractor.



3: Painted Shut

🔴 Recommendation

Throughout

One or more windows were painted shut. Restoration of window functionality is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



4: Caulking: Missing/Damaged

🔴 Recommendation

Multiple Locations

Recommendation: Contact a qualified professional.



I. Stairways (Interior and Exterior)

Comments:

1: Handrails/Guardrails: Missing

🔴 Recommendation

Staircase had no handrails and/or a guardrail was missing. This is a safety hazard. Installation of a handrail or guardrail by a qualified professional is recommended.

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Recommendation: Contact a qualified professional.



J. Fireplaces and Chimneys
Comments:

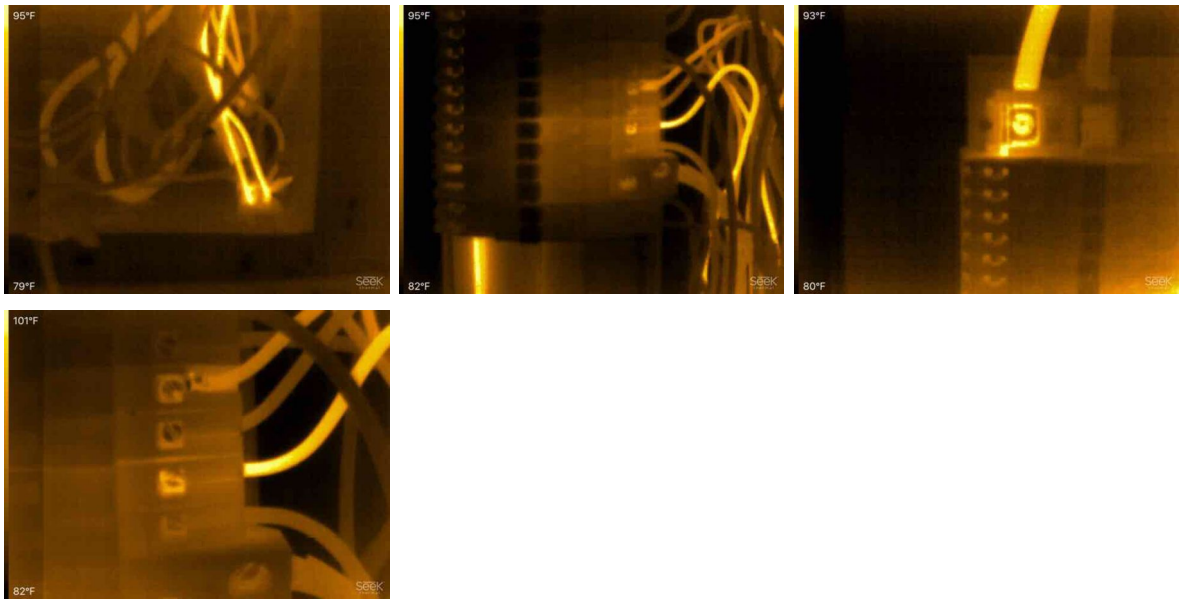
K. Porches, Balconies, Decks, and Carports
Comments:

II. ELECTRICAL SYSTEMS

General Photos of Distribution Panels:



General Infrared Photos of Distribution Panel(s):

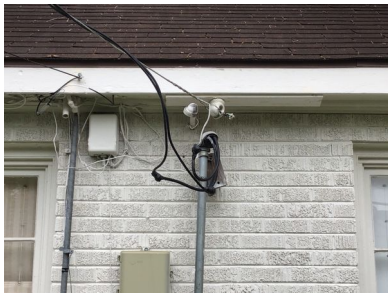


A. Service Entrance and Panels
Comments:

Main disconnect/service box type and location: Breakers -exterior wall



Service entrance cable location: Overhead



Service size: No Main Present

Unable to Verify Gas Line Bonding:



1: Arc-Fault Safety Protection Missing

🔴 Recommendation

Arc-fault safety protection was not installed for all of the living and bedroom areas.

Note: This protection was required by the National Electric code for homes built after 2008. The Texas Real Estate Commission recognizes that the building codes have not always required AFCIs, however the agency believes that it is important for consumers to be made aware of these safety devices when they are not present and functioning in a home as a consumer protection issue.

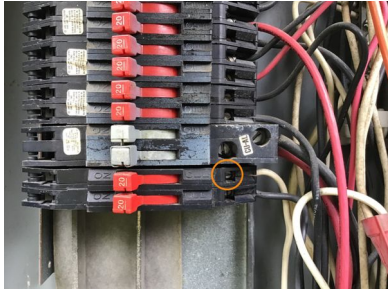
2: White Wires Not Marked

🔴 Recommendation

White wires connected to breakers are not marked with black or red electrical tape to indicate that they are "hot". Remedy as needed.

Recommendation: Contact a qualified electrical contractor.

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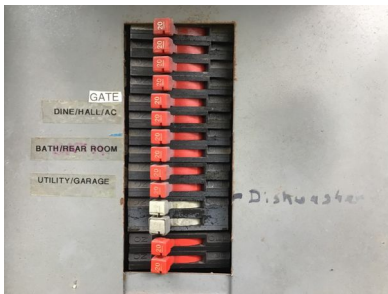


3: Circuits Not Labeled

🟡 Recommendation

Circuits in the distribution panel were not properly labeled. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



4: Missing Wire Bushing

⚠️ Safety Hazard

There was no bushing around wires that pass through the panel into the wall to protect them from abrasion. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



5: Service Entrance Wires: Insufficient Clearance

🟡 Recommendation

Service drop overhead wires are too low, not giving enough clearance. Contacting your local electric utility company or licensed electrician to see if they can remedy is recommended.

Recommendation: Contact a qualified electrical contractor.



6: FPE/Zinsco/Sylvania/Challenger Breakers

🚫 Recommendation

For Example: right exterior

A Zinsco, Sylvania-Zinsco, Challenger, or FPE (Federal Pacific) brand electrical panel was installed in this building. Although once widely used, these panels are no longer manufactured due to a poor history of performance. This includes the possibility that the circuit breakers may not trip when needed, or other possible electrical hazards. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified professional.



7: Missing Panel Screws

🚫 Recommendation

Screws that mount the cover to the electrical panel are missing. Remedy as needed.

Note: Blunt tipped screws designed for this application are recommended to prevent puncturing electrical wiring insulation.

Recommendation: Contact a qualified electrical contractor.



8: Gap in Conduit

🚫 Recommendation

For Example: breaker panel

There was a gap in the conduit. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact your local utility company

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9: Improper Disconnection Means

▲ Safety Hazard

There was no single main disconnect, and the process to turn off power to the home required more than 6 throws of a switch. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

1: Inoperable/Damaged Doorbell

⊖ Recommendation

Recommendation: Contact a qualified professional.



2: Smoke Detector Defective

⊖ Recommendation

Multiple Locations

Not functioning as intended, Old/Past life expectancy, Not present in required location - Smoke detectors are required in all bedrooms, hallways to bedrooms, and living areas on every level of the home. These devices should be changed every 10 years for safety. Evaluate the units in the home and remedy as needed.

Note: *The inspector does not disassemble devices to check for expiration dates.*

Recommendation: Contact a qualified professional.

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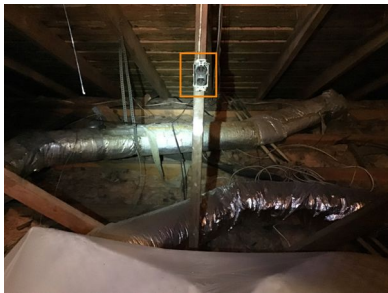
3: Receptacle/Switch Covers: Missing or Damaged

🚫 Recommendation

For Example: attic

One or more receptacle/switch cover plates were missing or damaged. Replacement of cover plates is recommended for safety. Evaluation and remediation by a qualified electrical contractor is recommended.

Recommendation: Contact a qualified electrical contractor.



4: Receptacles: No GFCI Protection Observed

🚫 Recommendation

For Example: garage, exterior, Kitchen,

There was no GFCI protection observed. Current building standards recommend the installation of ground fault protection:

- at all counter-top receptacles in the kitchen
- in bathrooms
- in garages
- all exterior receptacles

GFCI protection was not present in one or more of these required locations. Evaluate and remedy as needed.

Recommendation: Contact a qualified electrical contractor.



5: Receptacles: Open Ground

🚫 Recommendation

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Multiple Locations

Receptacle(s) are not wired correctly. Evaluate and remedy as needed.

Recommendation: Contact a qualified electrical contractor.



6: Receptacles: Inadequate Number of Receptacles

🔴 Recommendation

A minimal number of receptacles were present. This can cause a short circuit if increased demand is present. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

7: Light: Inoperable

🔴 Recommendation

One or more light fixtures were not operating at time of inspection. Cause was not determined. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



8: Light: Globe Damaged/Missing

🔴 Recommendation

Multiple Locations

Missing/damaged light globe was observed. Remedy as needed.

Recommendation: Recommended DIY Project



9: Light: Insulation on can lights

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Recommendation

Multiple Locations

Insulation was too close or touching can lights. Insulation should be removed from can lights in attic. A 3-inch clearance is generally required for safety. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



10: Wiring: Exposed Ends & Splices

Recommendation

For Example: exterior, attic

Exposed wire connections, splices, and ends were present. All wire connections and charged wires with exposed ends and splices should be covered in junction boxes for safety. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



11: Wiring: No Conduit For Exterior Wiring

Recommendation

For Example: garage

Exterior wiring is not properly installed inside wire conduit for protection from the elements. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



12: Wiring: Open Junction Box

Recommendation

For Example: attic

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An open junction box was present. Remedy as needed.

Recommendation: Recommended DIY Project



13: Wiring: Older Home with 2-wire system

Maintenance Item/Note

Note: This home has an older two-wire system, which does not include grounding. If further evaluation is desired, consult with a qualified electrician.



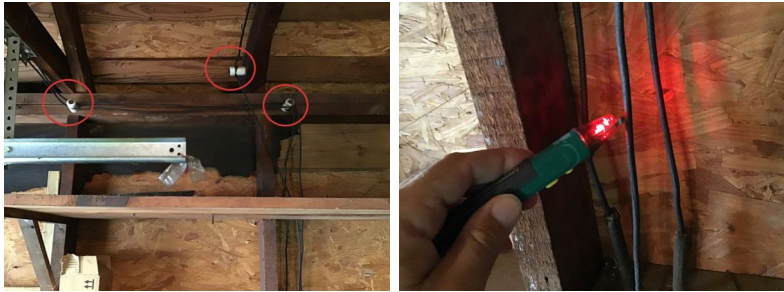
14: Wiring: Knob & Tube in use

Safety Hazard

Knob and tube wiring was present and in use in the home. Evaluation and/or remediation by a licensed electrician is recommended.

Note: *This type of wiring is no longer used and may present a safety hazard due to exposed wires, poor connections, and (typically) brittle wire insulation. Installing insulation on top of this type of wire creates a fire hazard.*

Recommendation: Contact a qualified electrical contractor.



III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

General Photos of HVAC Equipment:

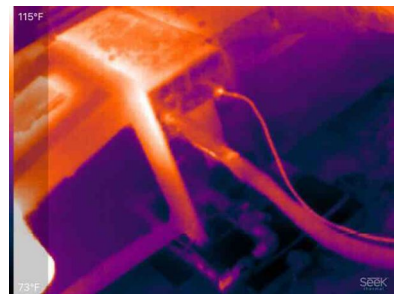
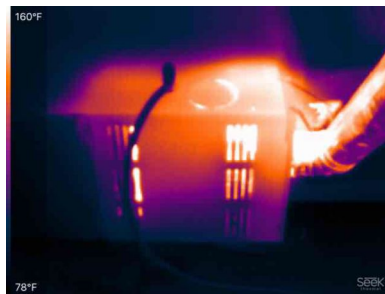
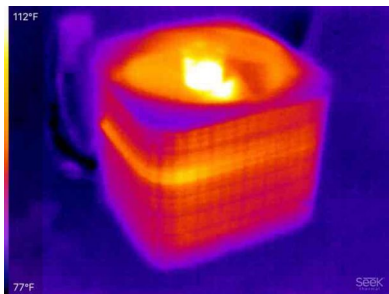
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General Photos of Thermostats:



General Infrared Photos of HVAC Equipment:



A. Heating Equipment

Type of System: Furnace

Energy Source: Gas

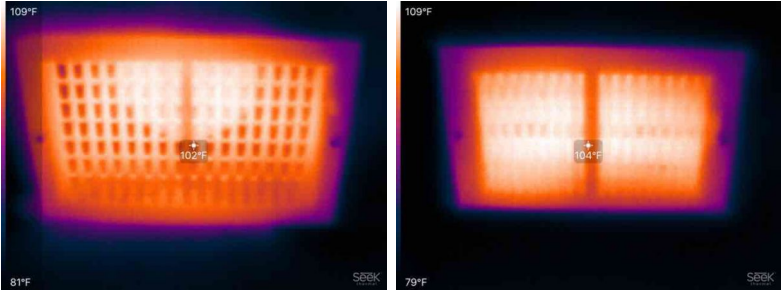
Comments:

Heating System was Functioning:

The Heating System was functioning at the time of inspection. Refer to the Inspection Report for any

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further recommendations.



Note: Routine service due to age:

Note: Due to age of the furnace, routine maintenance is recommended.

1: Gas piping: Missing Sediment Trap (Drip Leg)

🔴 Recommendation

Sediment traps are installed to help prevent sediment in the gas piping from getting into the gas valve or burner area of an appliance and causing problems. Remedy as needed.

Recommendation: Contact a qualified professional.



2: Venting: Combustible Clearance

⚠️ Safety Hazard

Type-B furnace vent pipe clearance from combustible materials was less than 1 inch. Remedy as needed.

Recommendation: Contact a qualified professional.



B. Cooling Equipment

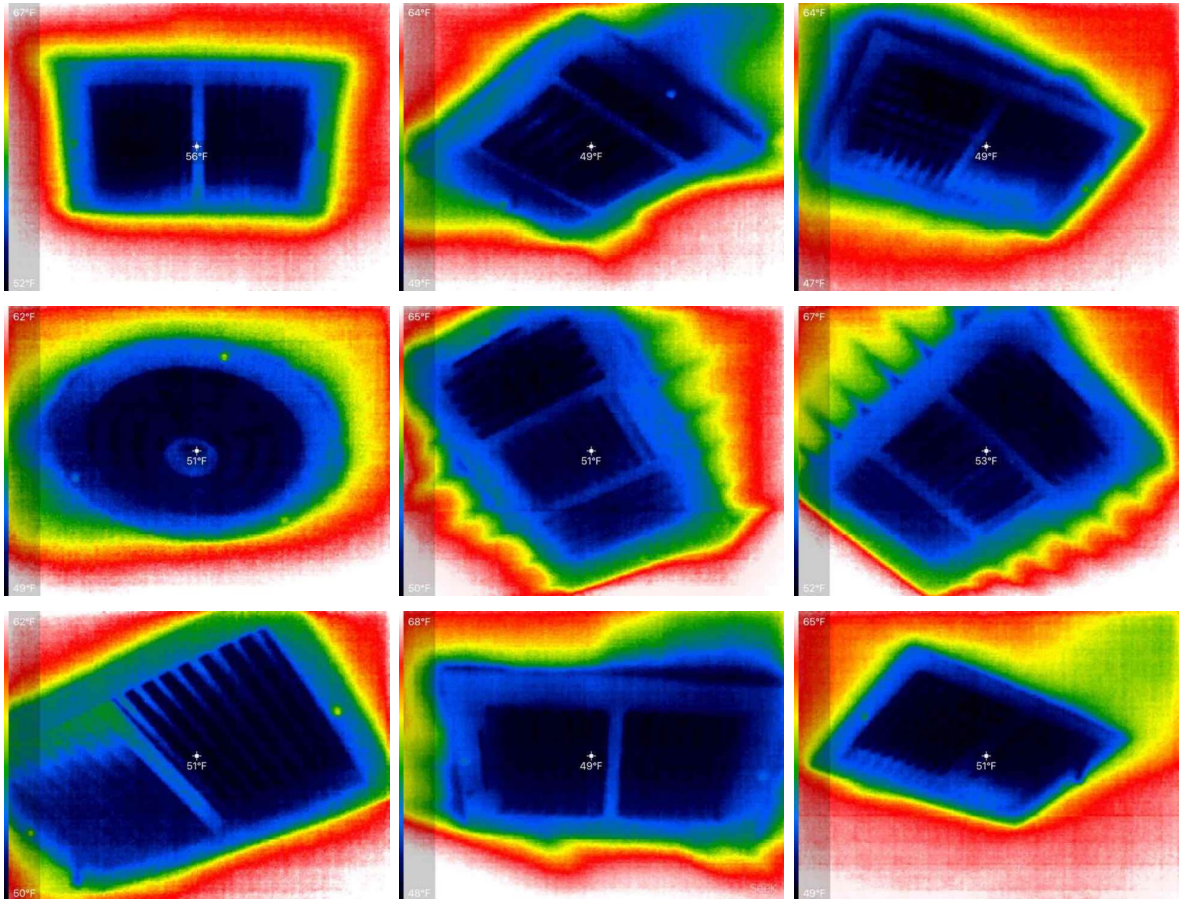
Type of System: Central Air Conditioner

Comments:

Older Equipment: Cooling:

Note: Operation of the unit shows the unit was cooling at the time of the inspection. Due to the age of the system, routine maintenance should be considered.

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Temperature difference (delta) - First Floor: 17°

1: Condensate system: Standing water in overflow pan

🔴 Recommendation

Standing water was present in the A/C emergency overflow pan. This can indicate a dirty or restricted condensate system. Servicing by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



C. Duct System, Chases, and Vents
Comments:

1: Ducts: Ducts on attic floor

🔴 Recommendation

Sections of ducting were resting on the attic insulation which compresses the insulation. Hang ducting where possible. Remedy as needed.

Recommendation: Contact a qualified HVAC professional.

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2: Ducts: Ducts resting on each other.

⊖ Recommendation

Ducts were resting on each other. This can result in condensation forming between the two sections of ductwork. Remedy as needed.

Recommendation: Contact a qualified professional.



3: Ducts: Insulation is loose or missing

⊖ Recommendation

Insulation was loose or missing from various sections of ducting. Remedy as needed.

Recommendation: Contact a qualified professional.



4: Visible substance observed on Supply Register

⊖ Recommendation

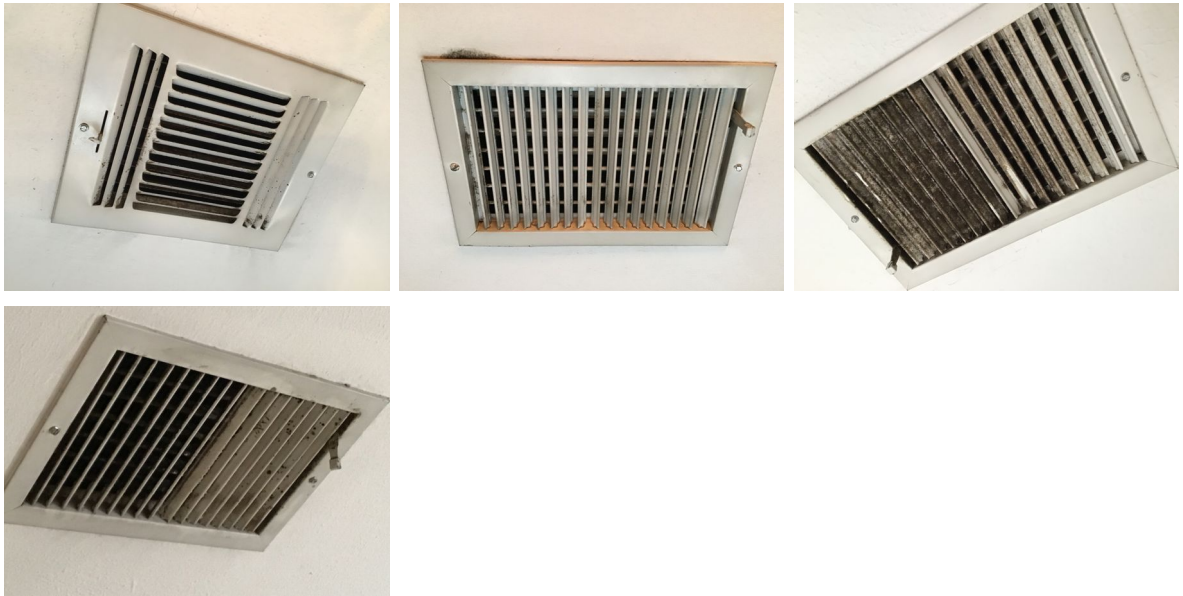
Multiple Locations

A dark substance was observed on an air supply register in the home. Servicing and cleaning of the system by a qualified HVAC contractor is recommended, as this can be a result of excessive water vapor/humidity in the conditioned air.

Unless otherwise contracted, the Inspector does not test these areas to determine the presence of microbial growth.

Recommendation: Contact a qualified HVAC professional.

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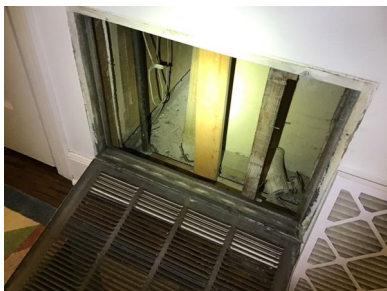


5: Return Air System: Dust or Debris In Chase

🔴 Recommendation

Dust particles can clog cooling coils and may lead to coil corrosion over time. Proper cleaning and evaluation of the return air shaft, ducts, and coils is recommended.

Recommendation: Contact a qualified HVAC professional.



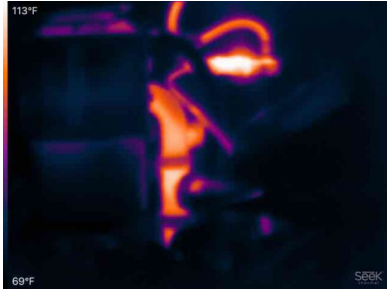
IV. PLUMBING SYSTEMS

General Photos of Water Heating Equipment:



General Infrared Photos of Water Heating Equipment:

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General Photos of Plumbing Fixtures:



A. Plumbing Supply, Distribution Systems, and Fixtures

Location of water meter: Front yard near street

Location of main water supply valve: Exterior Wall - Front



Static water pressure reading: 56-60 psi

Comments:

No Plumbing Access:

There was not an access panel at one or more bathrooms to observe bath drain lines.

1: Hose bibb (outdoor faucet): Backflow Prevention Missing

[Maintenance Item/Note](#)

Multiple Locations

A hose bibb was missing a backflow preventer. These devices are inexpensive and easily installed, and help to prevent contamination of potable water. Remedy as needed.

Recommendation: Contact a handyman or DIY project

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2: Shower: Missing/Deteriorated Caulking or Grout

☹ Recommendation

For Example: hall bath

Recommendation: Contact a qualified professional.



3: Supply piping: Water Pressure Drop at Fixtures

☹ Recommendation

Water pressure decreased when multiple fixtures were in use at the same time. This is not uncommon for homes with older metal pipes that may have some corrosion in the lines. If evaluation is desired to determine a method of remedy, consult with a qualified plumber.

Recommendation: Contact a qualified plumbing contractor.

4: Supply Piping: Corroded supply valve

☹ Recommendation

For Example: water heater

One or more supply valves were corroded. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.



5: Supply piping: Corrosion on Galvanized Pipes

☹ Recommendation

Galvanized water supply piping was corroded. The extent of rusting on the piping is not determined. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.

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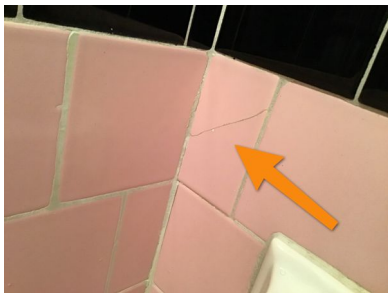


6: Cracked Tile

🚫 Recommendation

For Example: hall bath shower enclosure

Recommendation: Contact a qualified professional.



7: Hose Bibb: Inoperative

🚫 Recommendation

For Example: rear exterior

Recommendation: Contact a qualified plumbing contractor.



B. Drains, Wastes, & Vents

Comments:

Refer to Sewer Scope Section:

A Sewer Scope assessment was performed. Please refer to the SEWER SCOPE Section of the full report for recommendations and observations.

1: Drain piping: Slow Drains

🚫 Recommendation

For Example: hall bath sink

Poor/slow drainage was observed at time of inspection. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.

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C. Water Heating Equipment

Energy Source: Gas

Capacity: Not determined - Unit wrapped in insulation

Comments:

Location: Attic

1: TPR Valve Note: Replacement may be needed

Maintenance Item/Note

The manufacturer recommends replacement of the pressure relief valve every three years to ensure proper emergency function. The inspector does not test TPR valves due to safety hazard or possible damage to unit.

Recommendation: Contact a qualified professional.



2: Venting system: Missing vent pipe strap

Recommendation

The water heater combustion vent pipe was not properly supported/secured with strapping. Remedy as needed.

Recommendation: Contact a qualified professional.



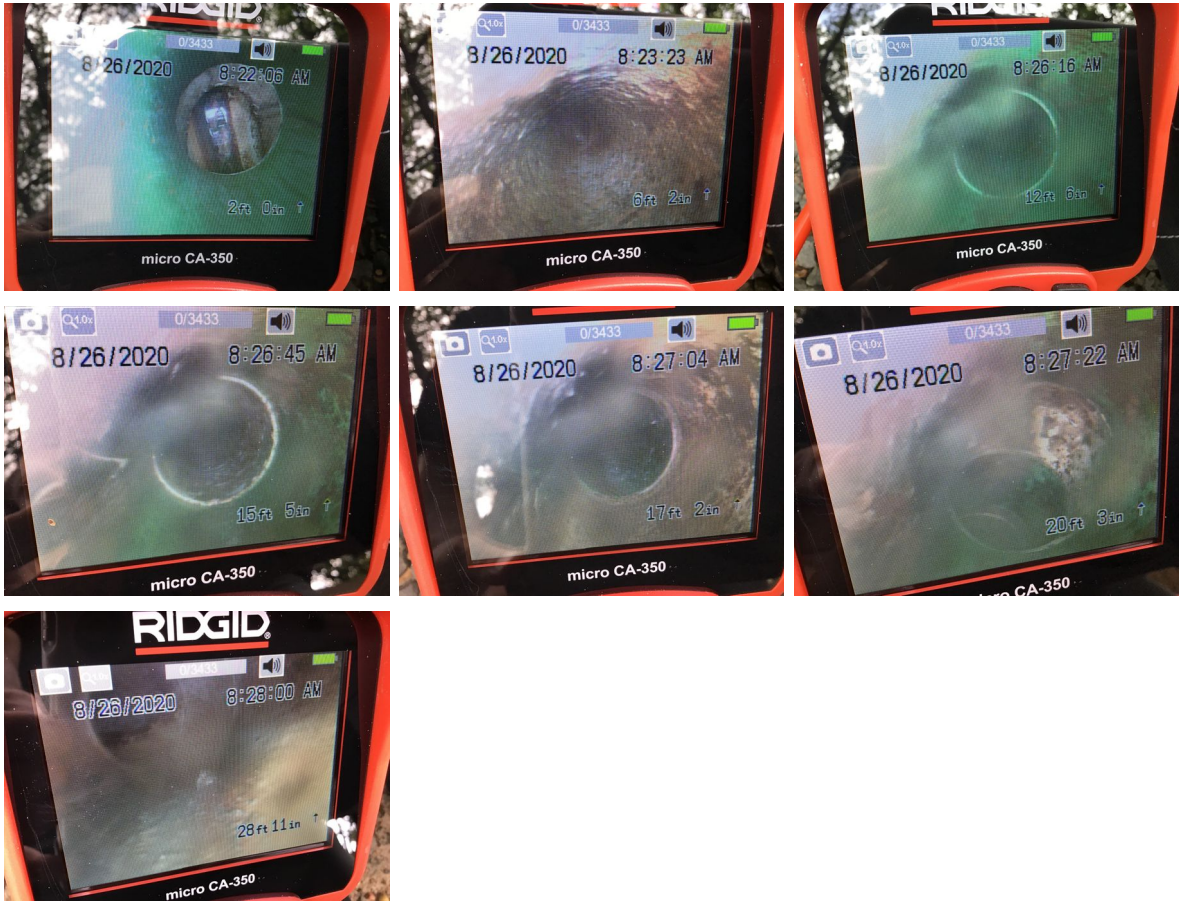
D. Hydro-Massage Therapy Equipment

Comments:

E. Main Line Sewer Scope Assessment

Sewer Scope Photos:

I NI NP D



Comments:

Distance scoped: The camera was run to the main sewer utility connection



Material: PVC, Cast Iron

Point of entry: Side Yard Cleanout



No major deficiencies observed:

An assessment of the sewer line from the building to its termination with the city sewer line was performed. The line was viewed with a camera to determine if any obstructions, breaks, or tree roots were present that may require the attention of a qualified plumber. No major deficiencies were observed and the main sewer line appears to be functioning as intended at this time.

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V. APPLIANCES

General Photos of Dishwasher:



General Photos of Food Waste Disposer:



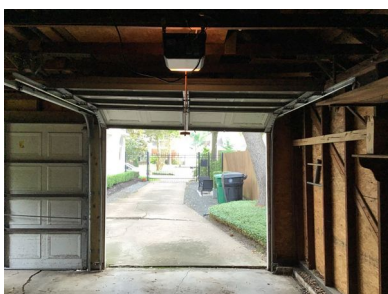
General Photos of Range Hood/Exhaust Systems:



General Photos of Ranges, Cooktops, and Ovens:



General Photos of Garage Door Operator(s):



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General Photos of Dryer Exhaust Systems:



A. Dishwashers

Comments:

1: No Anti-Siphon Loop

🔴 Recommendation

An anti-siphon loop was not installed at the drain hose under the sink. Most manufacturers specifications suggest that in the absence of an air gap, the drain be looped to prevent back washing from the sink.

Recommendation: Contact a qualified professional.

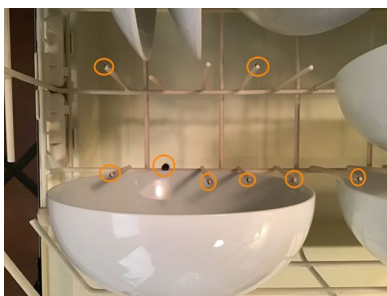


2: Rusted Dish Racks

🔴 Recommendation

There is evidence of rust on dishwasher racks. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



B. Food Waste Disposers

Comments:

1: Wire clamp not installed

🔴 Recommendation

No wire clamp had been installed at the base of the unit. Remedy as needed.

Recommendation: Contact a qualified professional.

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C. Range Hood and Exhaust Systems

Comments:

Exhaust Hood Type: Vented

1: Flex Vent Pipe Improper

🚫 Recommendation

Section(s) of the kitchen exhaust vent pipe were corrugated. Smooth-walled material is recommended to prevent grease build-up inside the vent pipe.

Recommendation: Contact a qualified professional.



2: Vents to Exterior and Recirculates

🚫 Recommendation

When vented to the exterior the exhaust fan should not also recirculate.

Recommendation: Contact a qualified professional.



D. Ranges, Cooktops, and Ovens

Comments:

Range/Oven Energy Source: Gas

1: Missing Anti-Tip Device

⚠️ Safety Hazard

There was no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

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E. Microwave Ovens
Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters
Comments:

G. Garage Door Operators
Comments:

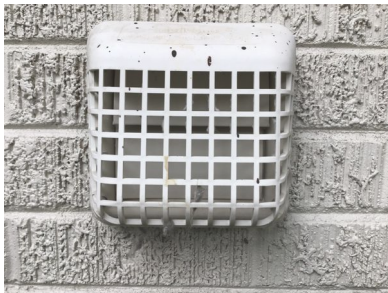
H. Dryer Exhaust Systems
Comments:

1: Cleaning Vent Recommended

➔ Recommendation

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line.

Recommendation: Contact a qualified professional.



VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems
Comments:
Control Location: Garage



Rain sensor: Not present/Not located

Shut Off Location: None found

Vacuum Breaker/Backflow Preventer: Not present/Not located

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Zone Location: Entire perimeter of home

Tested in Manual Mode Only:

Inspection and operation of irrigation (sprinkler) systems under the scope of this inspection is limited to "manual mode" only. Timers and other functions are not operated.

1: Adjust heads aimed at structure

🚫 Recommendation

Sprinkler heads were spraying the structure. Sprinkler heads should be adjusted to spray away from the structure(s). Remedy as needed.

Recommendation: Contact a qualified professional.



2: Backflow valve not found

🚫 Recommendation

Backflow prevention device was not present or not located. Remedy as needed.

Recommendation: Contact a qualified professional.

3: Broken Sprinkler Heads

🚫 Recommendation

For Example: front yard, rear yard

One or more sprinkler heads were broken. Replacement is recommended.

Recommendation: Contact a qualified professional.



4: No visible rain sensor

🚫 Recommendation

Rain/moisture sensor is not visible/could not be located. These are water-conservation devices. Remedy as needed.

Recommendation: Contact a qualified professional.