

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 8-14-2020 GF No. _____
Name of Affiant(s): Baron Lopez, Jackie Lopez
Address of Affiant: 2219 Shelby Park Dr. Katy TX 77450
Description of Property: 2219 Shelby Park Drive, Katy, TX 77450
County Harris County, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of TEXAS, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since August 2014 there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): Extended the concrete patio

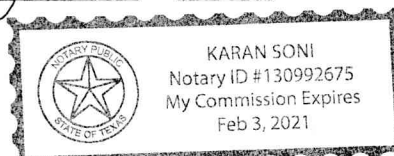
5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.



Jackie Lopez
Baron Lopez

SWORN AND SUBSCRIBED this 14th day of August, 2020.

[Signature]

Notary Public
(TXR 1907) 02-01-2010



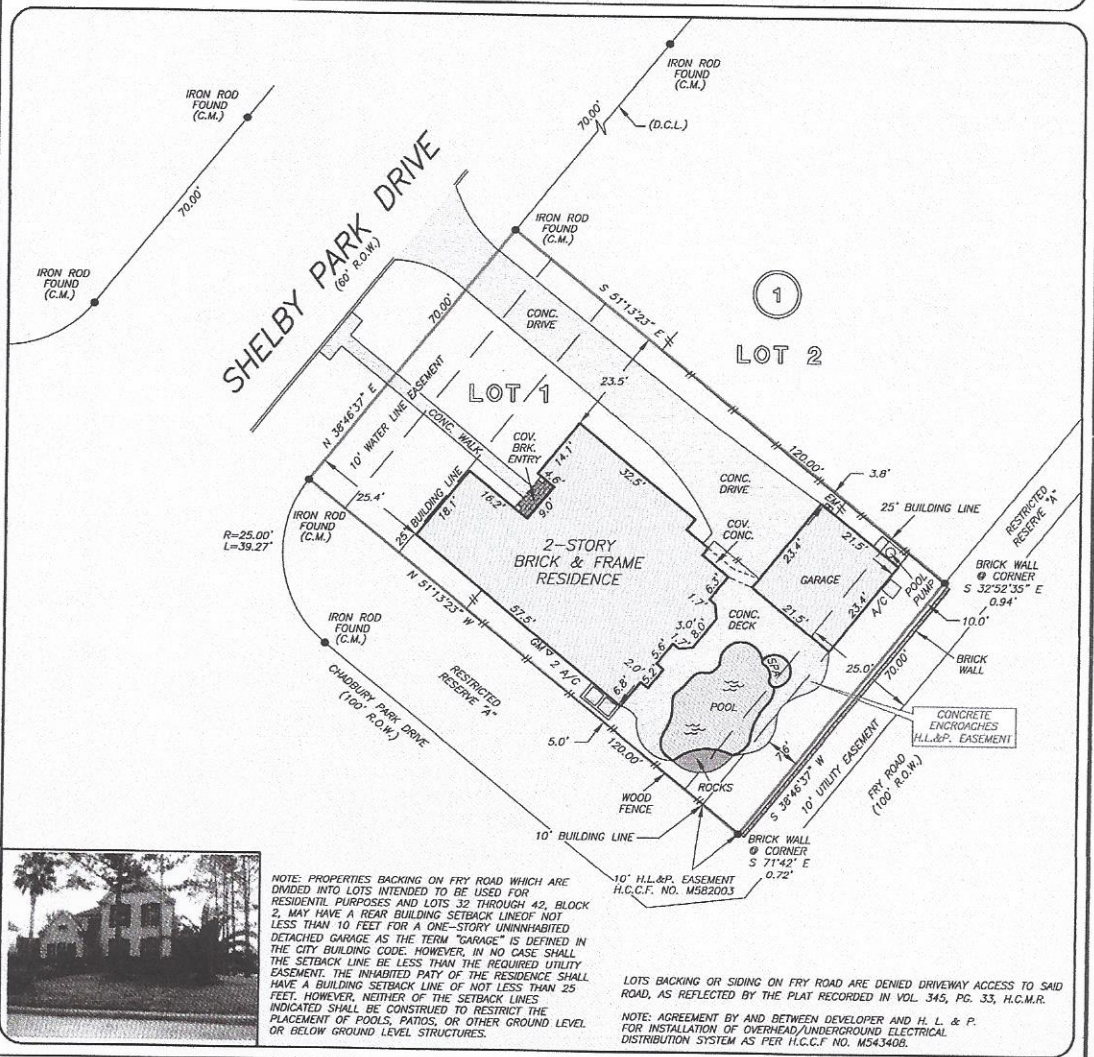
 08/12/20 10:34 AM CDT dotloop verified	 08/12/20 10:33 AM CDT dotloop verified
--	--

GF NO. 20111043 INFINITY TITLE
 ADDRESS: 2219 SHELBY PARK DRIVE
 KATY, TEXAS 77450
 BORROWER: JOHNATHAN M. ALLEN

LOT 1, BLOCK 1 KELLIWOOD GARDENS, SECTION 1

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 IN VOLUME 345, PAGE 33, OF THE MAP RECORDS
 OF HARRIS COUNTY, TEXAS

SCALE: 1" = 30'



NOTE: PROPERTIES BACKING ON FRY ROAD WHICH ARE DIVIDED INTO LOTS INTENDED TO BE USED FOR RESIDENTIAL PURPOSES AND LOTS 32 THROUGH 42, BLOCK 2, MAY HAVE A REAR BUILDING SETBACK LINE OF NOT LESS THAN 10 FEET FOR A ONE-STORY UNINHABITED DETACHED GARAGE AS THE TERM "GARAGE" IS DEFINED IN THE CITY BUILDING CODE. HOWEVER, IN NO CASE SHALL THE SETBACK LINE BE LESS THAN THE REQUIRED UTILITY EASEMENT. THE UNINHABITED PATY OF THE RESIDENCE SHALL HAVE A BUILDING SETBACK LINE OF NOT LESS THAN 25 FEET. HOWEVER, NEITHER OF THE SETBACK LINES INDICATED SHALL BE CONSTRUED TO RESTRICT THE PLACEMENT OF POOLS, PATIOS, OR OTHER GROUND LEVEL OR BELOW GROUND LEVEL STRUCTURES.

LOTS BACKING OR SIDING ON FRY ROAD ARE DENIED DRIVEWAY ACCESS TO SAID ROAD, AS REFLECTED BY THE PLAT RECORDED IN VOL. 345, PG. 33, H.C.M.R.
 NOTE: AGREEMENT BY AND BETWEEN DEVELOPER AND H. L. & P. FOR INSTALLATION OF OVERHEAD/UNDERGROUND ELECTRICAL DISTRIBUTION SYSTEM AS PER H.C.C.F. NO. M543408.

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48201C 0805 L
 MAP REVISION: 06/18/07
 ZONE X
 BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY
 D.C.L. = DIRECTIONAL CONTROL LINE
 RECORD BEARING: VOL. 345, PG. 33, H.C.M.R.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

GEORGE GALE
 PROFESSIONAL LAND SURVEYOR
 NO. 4678
 JOB NO. 11-10360
 DECEMBER 02, 2011



DRAWN BY: MV



RECORDING TITLE
 JENNIFER LITZMAN
 281-752-8888



PRECISION
 surveyors

1-800-LANDSURVEY
 www.precisionlandsurveyors.com
 281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
 14926 MEMORIAL DRIVE SUITE 8100 HOUSTON, TEXAS 77079 1777 NE LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217