



Moisture Assessment Report- Reinspection

For the Property Located At:

809 Willard St.
Houston, TX 77006
07/19/18

Report Prepared For:

Meghan Paulson



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Website: www.houstonstuccoinspections.com Email: stuccospec@consolidated.net



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Project Information

Project Information Client	Meghan Paulson		
Street Address	809 Willard St.		
City, State, Zip	Houston, TX 77006		
Phone Number	N/A		
Property Owner	N/A		
Street Address	same		
City, State, ZIP	same		
Phone	N/A		
Type of Exterior	Cement Stucco / Fiber Cement	Date of Inspection	07/23/2018
Substrate	Wood	Others Present	Yes
Age	N/A	Temperature	86 Degrees
Approx. SQ feet	2,749	Weather Conditions	Sunny
Stories	4	Last Rainfall	7+ days
Type of windows	Metal	Consultant	Jacob Burns / Jerica Harbison

Inspection Test Equipment Test Range Settings

1. Tramex Wet Wall Detector	Low 10 - 20 Medium 21-50 High 51-100	Not Used
2. Delmhorst BD 2100	Low 10 -14 Medium 15 – 19 High >19	1
3. Bio Pump		Not Used

Important Note:

The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. This information is then used to help determine potential problem areas which may warrant more investigation.



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Summary Checklist

Caulking	Adequate	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		Sealant joints are aged and starting to separate. It is suggested to assess all windows, doors, penetrations and terminations and reseal as needed.
Caulking AT Window Joints / Miters		X		
Caulking Around Door Frame		X		
Caulking At Door Joints / Miters		X		
Caulking Around Other Breaches		X		
Flat Accents Caulked or Angled		X		
Soffit, Frieze & Facia Boards Caulked			X	
Flashings / Diverters	Present	Not Present	N/A	Comments
Kickout Flashings / Roof / Wall			X	
Balcony Flashings			X	
Other Attachment Flashings	X			
Chimney Flashing			X	
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Pan Flashing	X			
Window Pan Flashing			X	
Terminations	Yes	No	N/A	Comments
Stucco is in contact with the concrete		X		
Stucco is in contact with the soil		X		



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Summary Checklist Continued

Miscellaneous	Yes	No	N/A	Comments
Sprinkler System Present			X	
Gutters Clean & Functioning			X	
Control Joints are Present	X			
Cracks Or Impact Damage	X			Seal / Repair crack as needed.
Delamination is present			X	
Exterior Evidence Of Pest Infestation		X		
Dead Valley Present			X	
Mildew is Present	X			Clean all mildew as needed.



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- Assess and reseal all windows, doors, flashing terminations and penetrations.
- Aged sealant joint noted at garage door. See detail #5.2. It is suggested to reseal as needed.
- Sealant separation noted at door miters. See detail #5.3. Reseal all door miters as needed.
- Moisture stains are present at bottom of wall. See detail #5.4.
- It is suggested to apply elastomeric coating on top of semi-flat wall to minimize moisture intrusion. See detail #5.6.
- Sealant joints at windows are aged and starting to separate. See detail #5.6, 6.2 and 6.3. Assess all window frames, miters and mullions and reseal as needed.
- Alarm sensors are present. See detail #6.4. It is suggested to assess all alarm sensors and seal with silicone sealants to minimize moisture intrusion.
- Sealant separation noted at flat accents. See detail #6.5. Reseal as needed.
- Mildew noted in this area. It should be removed with a mild soap or cleaner recommended by the stucco manufacturers. Never use a high-pressure sprayer. Apply the cleaner using a sponge or brush. See detail #6.6.
- Hairline crack is present. See detail #7.2. To temporarily cover hairline cracks in the future, it is suggested to re-paint the entirety of home with an elastomeric paint.
- Sealant separation noted at siding transitions. See detail #7.3. Reseal as needed.
- Crack is present at corner of wall. See detail #8.2. Seal / Repair as needed.
- Rust is present at corner of wall. See detail #8.3. Clean and re-paint as needed.
- Metal cap is present at flat wall. See detail #8.4, 8.5, 8.6 and 9.1. Assess all metal cap joints and terminations and reseal as needed.
- Sealant separation noted at terrace floor terminations. See detail #9.2. Assess all terrace flashings, fasteners and terminations and seal as needed.
- Assess scuppers and reseal as needed. See detail #9.3 and 9.4
- There are no elevated moisture readings found during the course of this inspection. Refer to elevation photos for specific locations of moisture readings and substrate density listed behind the reading. (i.e. Firm, Soft and None)

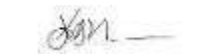


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- Great care should be exercised in choosing the appropriate caulk. The manufacturer of your system has recommended specific brands and types of sealant for various applications. Each caulking manufacturer has recommendations about how their particular caulk should be applied. It is important that these guidelines be followed in order to maximize the effectiveness of the caulk and enhance its ability to protect your home. All caulk joints should be thoroughly cleaned before caulking to ensure the effectiveness and adherence of the caulk. Important Note: Check with your caulking contractor about painting concerns on silicone verses polyurethane caulks. Silicone cannot be painted over whereas polyurethane can.
- **It is suggested that a follow-up inspection be completed in 12 to 24 months after all repairs are completed to ensure that the moisture levels remain within an acceptable level and proper corrections have been made to prevent moisture intrusion and wood rot.**
- This report only reports on the condition of the structure at the specific locations indicated. Locations were determined by the inspector according to the probable areas of possible moisture intrusion and in accordance with Industry Standards. The suggestions for corrections to prevent moisture intrusion and mold growth are given in accordance with the best judgment and experience that have been determined from previous inspections, repairs, and knowledge gained from our experience and other knowledgeable persons in the industry. No judgment is intended or given for any areas not reported on.
- **Please Note: StuccoSpec / Safe Aire does not perform home inspections. This document was prepared to point out likely areas of moisture intrusion. Moisture Control is the key to mold control. The investigations, opinions and recommendations/suggestions reported within this document are represented as a "mold prevention inspection" sanctioned by the Texas Department of State Health Services.**

This home was inspected and reviewed by:



Beth and Kevin Harbison, Reviewers

Jacob Burns, Inspector

Jerica Harbison, Inspector

StuccoSpec

Texas Department of State Health Services

Mold Assessment Consultant / License Number: MAC 0223 exp July 2018

Mold Assessment Technician / License Number: MAT 1168 exp Feb 2019

StuccoSpec / Safe Aire
"Waterproofing, Environmental &
Mold Prevention Consultants"



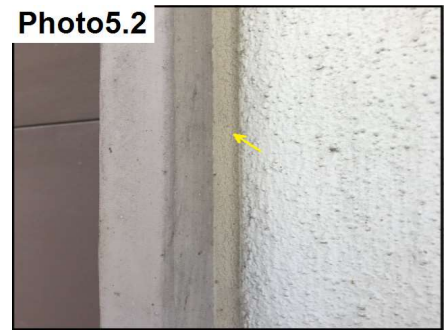
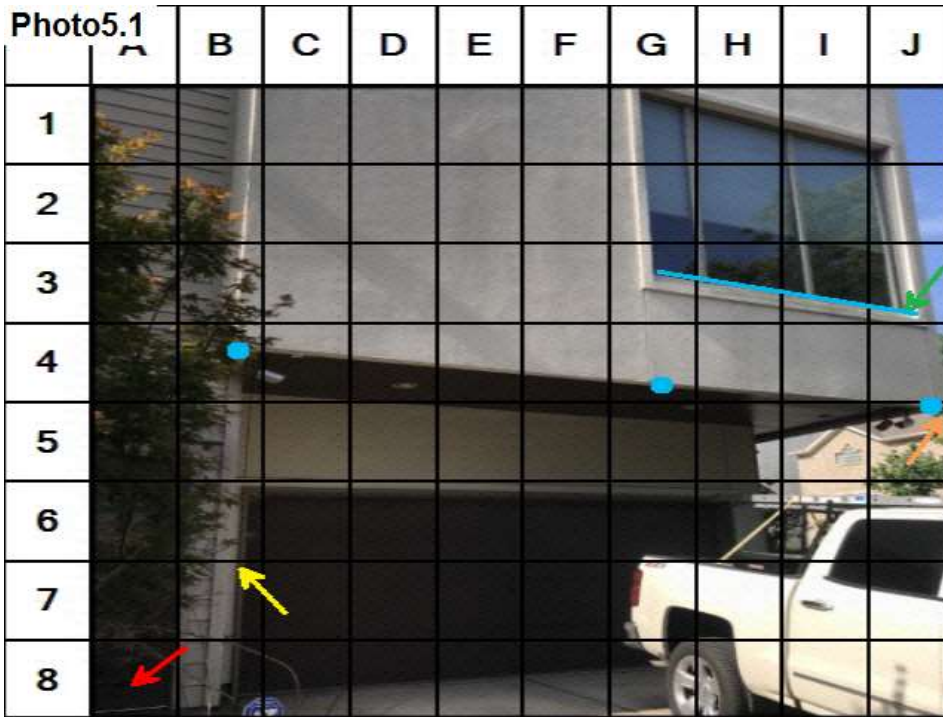
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Mold Assessment Technician / License Number: MAT 1169 exp Fen 2019



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Reseal garage door as needed.



Reseal door miters as needed.



Moisture stain is present at bottom of wall.



Reseal windows as needed.

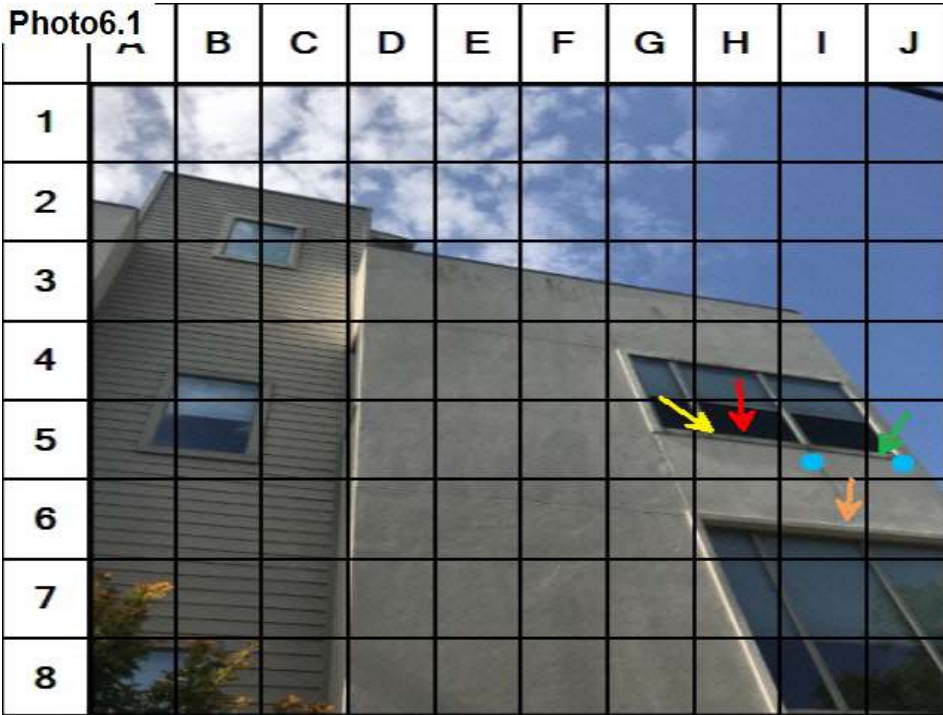


Apply elastomeric coating on top of semi-flat wall.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #5.1	Chapter Reference
				Assess and reseal all windows, doors, flashing terminations and penetrations.	Ch 3.1,3.2
B4	Bottom of Wall	12%	Firm	Moisture reading was made at bottom of wall.	
Yellow Arrow	Garage Door			Aged sealant joint noted at garage door. See detail #5.2. It is suggested to reseal as needed.	Ch 3.2
Red Arrow	Door Miters			Sealant separation noted at door miters. See detail #5.3. Reseal all door miters as needed.	Ch 3.2
G4	Bottom of Wall	10%	Firm	Moisture reading was made at bottom of wall.	
Orange Arrow	Moisture Stains			Moisture stains are present at bottom of wall. See detail #5.4.	
J5	Bottom of Wall	10%	Firm	Moisture reading was made at bottom of wall.	
Green Arrow	Window Sealants			Sealants at windows are starting to separate. See detail #5.5. Assess all windows and reseal as needed.	Ch 3.2
Blue Line	Semi-Flat Wall			It is suggested to apply elastomeric coating on top of semi-flat wall to minimize moisture intrusion. Se detail #5.6.	



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Reseal windows as needed.



Reseal windows as needed.



Seal alarm sensors as needed.



Reseal flat accents as needed.



Clean mildew as needed.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #6.1	Chapter Reference
				Assess and reseal all windows, doors, flashing terminations and penetrations.	Ch 3.1,3.2
Yellow Arrow	Window Sealants			Sealant joints at windows are aged and starting to separate. See detail #6.2 and 6.3. Assess all window frames, miters and mullions and reseal as needed.	Ch 3.2
Red Arrow	Alarm Sensors			Alarm sensors are present. See detail #6.4. It is suggested to assess all alarm sensors and seal with silicone sealants to minimize moisture intrusion.	
I5	Window Lower Right	12%	Semi Firm	Moisture reading was made at window lower right	
Orange Arrow	Flat accents			Sealant separation noted at flat accents. See detail #6.5. Reseal as needed.	Ch 3.7
J5	Window Lower Right	16%	Firm	Moisture reading was made at window lower right	
Green Arrow	Mildew			Mildew noted in this area. It should be removed with a mild soap or cleaner recommended by the stucco manufacturers. Never use a high-pressure sprayer. Apply the cleaner using a sponge or brush. See detail #6.6.	



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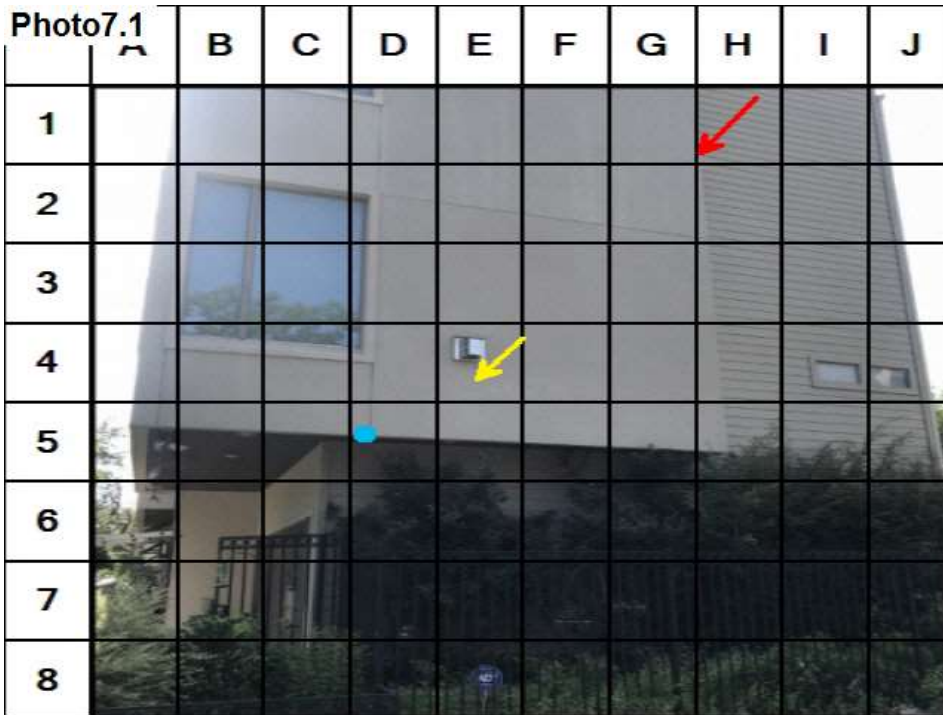


Photo7.2
 Hairline cracks are present.

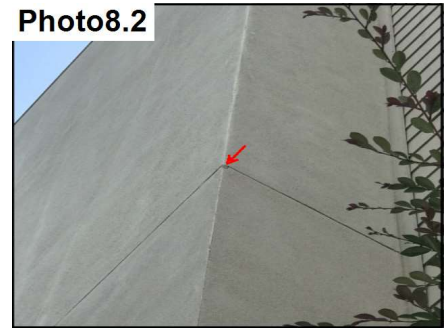
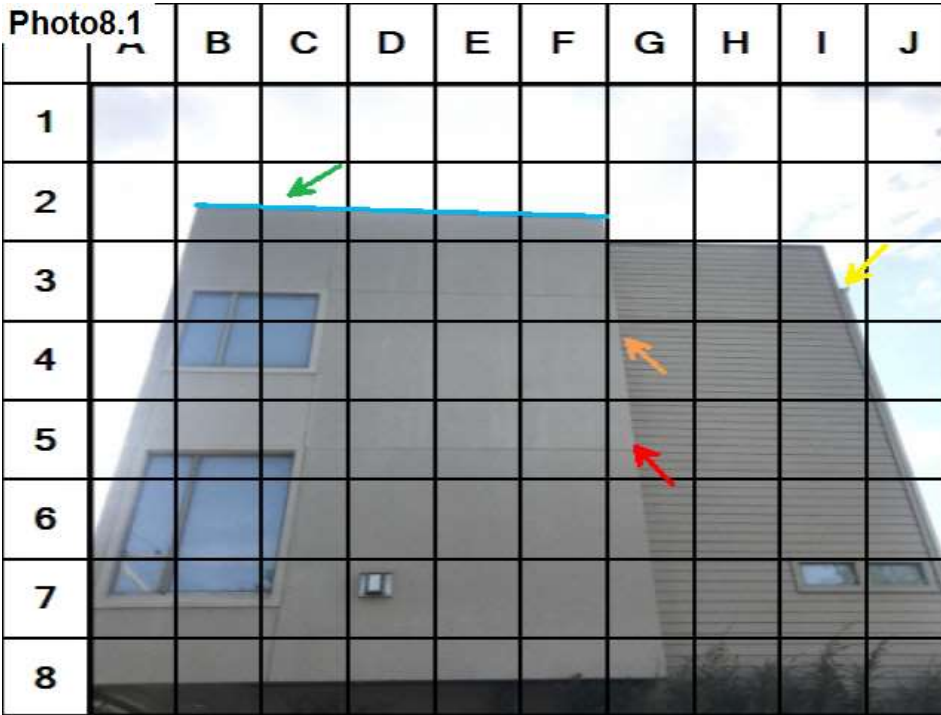


Photo7.3
 Reseal siding transitions as needed.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #7.1	Chapter Reference
				Assess and reseal all windows, doors, flashing terminations and penetrations.	Ch 3.1,3.2
D5	Bottom of Wall	11%	Firm	Moisture reading was made at bottom of wall.	
Yellow Arrow	Hairline Crack			Hairline crack is present. See detail #7.2. To temporarily cover hairline cracks in the future, it suggested to re-paint the entirety of home with an elastomeric paint.	Ch 3.6
Red Arrow	Siding Transitions			Sealant separation noted at siding transitions. See detail #7.3. Reseal as needed.	Ch 3.10



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Seal / Repair crack as needed.



Rust noted at corner of wall.



Metal caps are present at terrace.



Reseal metal cap joints and transitions as needed.



Reseal metal cap joints and transitions as needed.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #8.1	Chapter Reference
				Assess and reseal all windows, doors, flashing terminations and penetrations.	Ch 3.1,3.2
Red Arrow	Crack			Crack is present at corner of wall. See detail #8.2. Seal / Repair as needed.	Ch 3.6
Orange Arrow	Rust			Rust is present at corner of wall. See detail #8.3. Clean and re-paint as needed.	
Blue Line	Metal Cap			Metal cap is present at flat wall. See detail #8.4, 8.5, 8.6 and 9.1. Assess all metal cap joints and terminations and reseal as needed.	
Green Arrow	Terrace			Sealant separation noted at terrace floor terminations. See detail #9.2. Assess all terrace flashings, fasteners and terminations and seal as needed.	Ch 3.5
Yellow Arrow	Scuppers			Assess scuppers and reseal as needed. See detail #9.3 and 9.4.	Ch 3.5



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Photo9.1



Reseal metal cap joints and transitions as needed.

Photo9.2



Seal balcony floor terminations as needed.

Photo9.3



Reseal scuppers as needed.

Photo9.4



Reseal scuppers as needed.