

ALLTEX HOME INSPECTIONS



809 WILLARD ST.
Houston, TX 77006

ALLTEX HOME INSPECTIONS

STEPHEN PERRY
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TREC 7854

INVOICE

SOLD TO:
TERRY KRAILO
TX

INVOICE NUMBER	20200831-01
INVOICE DATE	08/31/2020
LOCATION	809 WILLARD ST.
REALTOR	

DESCRIPTION	PRICE	AMOUNT
Inspection Fee	\$625.00	\$625.00
8/31/2020 PAID \$625 CHECK	(\$625.00)	(\$625.00)
	SUBTOTAL	\$625.00
	TAX	\$0.00
	TOTAL	\$625.00
	BALANCE DUE	\$0.00

THANK YOU FOR YOUR BUSINESS!

PROPERTY INSPECTION REPORT

Prepared For: TERRY KRAILO
(Name of Client)

Concerning: 809 WILLARD ST., Houston, TX 77006
(Address or Other Identification of Inspected Property)

By: Stephen Perry, Lic #7854 08/31/2020
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information

obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Present at Inspection: Buyer Selling Agent Listing Agent Occupant
Building Status: Vacant Owner Occupied Tenant Occupied Other
Weather Conditions: HOT Cloudy Rain Temp: 98 _____
Utilities On: Yes No Water No Electricity No Gas
Special Notes: _____

INACCESSIBLE OR OBSTRUCTED AREAS

- Attic Space is Limited - Viewed from Accessible Areas**
- Plumbing Areas - Only Visible Plumbing Inspected**
- Walls/Ceilings recent Patchwork and Paint**

- Mold/Mildew investigations are NOT included with this report; it is beyond the scope of this inspection at the present time. Any reference of water intrusion is recommended that a professional investigation be obtained.**

NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE.
THIS REPORT IS NOT VALID WITHOUT THE SIGNED SERVICE AGREEMENT AND IS NOT TRANSFERABLE.

I=Inspected

NI=Not Inspected

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I NI NP D

I. STRUCTURAL SYSTEMS

-
-
-
-

A. Foundations

Type of Foundation(s): Slab

Comments:

Signs of Structural Movement or Settling

THERE IS SOME LOOSE CREAKING SUB FLOORING ON THE THIRD FLOOR NEAR THE STAIRWELL AND MASTER BEDROOM ENTRY THAT CAN INDICATE STRUCTURAL SETTLEMENT.

Cracks in cement board siding

Separations between bath tile enclosure grout

Cracks in wall(s) and / or ceiling

PerformanceOpinion: (An opinion on performance is mandatory)

Note: Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted or warranted.

Structural movement and/or settling noted; however, the foundation is supporting the structure at this time.

AS PART OF THE FOUNDATION INSPECTION THE ELEVATION OF THE FLOOR WAS CHECKED FOR EXCESSIVE SLOPE WITH A "ZIP LEVEL/ PRO-2000" - ("HIGH PRECISION ALTIMETER"). A REFERENCE POINT WAS SELECTED IN THE MIDDLE OF HOUSE AND ELEVATION

MEASUREMENTS WERE TAKEN IN EACH ROOM. IT WAS DETERMINED

AFTER CAREFUL EVALUATION OF THE DATA

OBTAINED THAT THE FOUNDATION ELEVATION/SLOPE

IS WITHIN ACCEPTABLE TOLERANCES. THE

TOLERANCES ON THE GROUND LEVEL WERE

ACCEPTABLE SHOWING +.6" TENTHS OF AN INCH HIGH

AT THE FRONT DOOR/FOYER AND LEVEL TO NEAR

LEVEL ON THE BACK SIDE OF THE HOME IN THE

SECONDARY BEDROOM AND BATHROOM.

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☑ Slab-on-grade foundations are the most common type of foundations in the greater houston area for residential foundations. When supported by active or expansive soils, this type of foundation will frequently deflect enough to result in cosmetic damage (usually sheetrock, brick veneer cracking and floor tile cracking) and possibly some minor functional problems such as sticking doors. Any owner of a building founded on a slab-on-grade foundation should be prepared to accept a degree of cosmetic distress and minor functional problems due to

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foundation movement.

Suggested Maintenance: (managing trees and large shrubs):
Trees and large shrubs extract large amounts of water from the soil every day, when they are close to the foundation the can significantly exacerbate the shrinkage of soil when there is drought. It is during extended periods that we see the most damage due to foundation movement; The houses that exhibit damage during a drought almost always have trees/large shrubs close to the foundation that are clearly making the situation worse than it would be otherwise. Tress and large shrubs can be managed for improved moisture control and foundation performance. Large shrubs can be removed. Trees can also be removed. In many cases, the roots of trees can be pruned between the trees and foundation.

SUGGESTED FOUNDATION MAINTENANCE & CARE -

Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

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B. Grading and Drainage

Comments:

Note: Any area where the ground or grade does not slope away from the structure is to be considered an area of improper drainage. Six inches per 10 feet.

- FRENCH DRAINS SYSTEM IS PRESENT AS IS RECOMMENDED.



-

C. Roof Covering Materials

Type(s) of Roof Covering: "TPO"-FLAT ROOFTOP TERRACE/PITCHED ROOF IS ASHPHALT COMPOSTION SHINGLES

Viewed From: Roof Level

***Comments:* THE "TPO" ROOFING WAS REPORTED BY THE AGENT TO BE A RECENT INSTALLATION. HOWEVER, THE TPO WAS NOT VISIBLE DUE TO BEING COVERED BY A RECENT ROOF TOP TERRACE COMPOSITE DECKING BOARDS. THE PITCHED ROOF ABOVE THE ROOF TOP TERRACE WAS ASPHALT COMPOSITION SHINGLES THAT APPEAR TO BE THE ORIGINAL (15 YEARS OLD) AND DO APPEAR TO BE NEAR THE END OF THERE LIFE WITH EXCESSIVE GRANULE LOSS AND HAIL DAMAGE, SOME RAISED FLASHING AND FLASHING THAT NEEDS SEALANT APPLIED. RECOMMEND THAT THE PITCHED ROOF WITH COMPOSITION SHINGLES BE EVALUATED, REPAIRED AND POTENTIAL ROOF REPLACEMENT BY A ROOFING EXPERT.**

- Flashing is lifting, ill configured, or missing

- **THERE IS VENTS AND FLUES WITH RAISED FLASHING THAT NEEDS TO BE PROPERLY SEALED DOWN BY A ROOFING EXPERT.**

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TPO ROOF BELOW THE DECKING THAT IS NOT VISIBLE AND UNABLE TO INSPECT.



- **EXCESSIVE GRANULE LOSS IN SOME LOCATIONS DUE TO AGE THAT NEEDS EVALUATION BY A ROOFING EXPERT.**



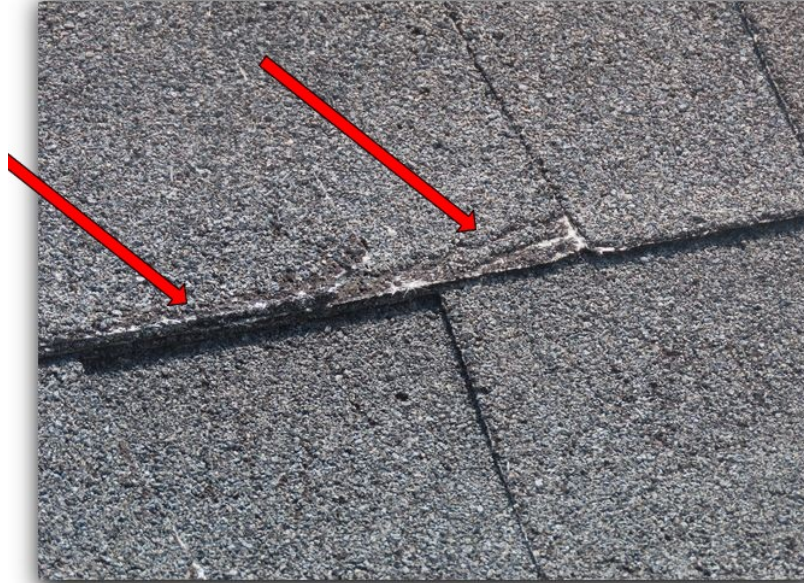
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- **HAIL DAMAGE THAT NEEDS EVALUATION AND REPAIRS BY A ROOFING EXPERT.**

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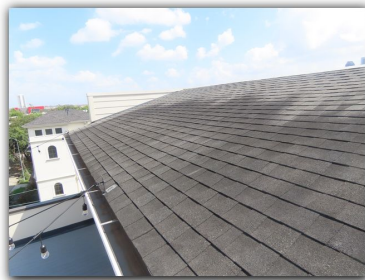
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- **THE BRACKETS FOR THE LIGHTING SUPPORTS NEEDS ADDITIONAL ROOFING CEMENT TO PREVENT LEAKS AND NOT RECOMMENDED TO BE INSTALLED ON THE ROOF FOR THAT REASON.**

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- **THE UPPER BACK RIDGE OF PITCHED ROOF NEEDS SEALANT APPLIED AT THE LAPS AND ALSO AT THE "PARAPET WALL" METAL CAPS AS WELL IN SOME LOCATIONS.**

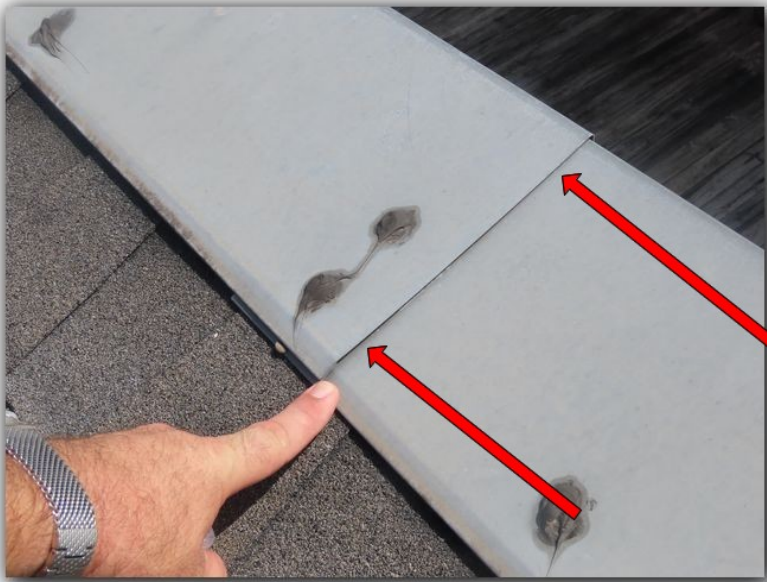
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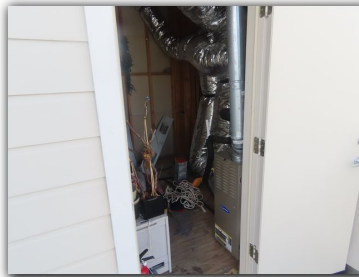
D. Roof Structures and Attics

Viewed From: Entered the Attic

*Approximate Average Depth of Insulation:*10 INCHES BAT

*Approximate Average Thickness of Vertical Insulation:*8 INCHES BAT

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IT WOULD BE RECOMMENDED TO HAVE RADIANT BARRIER APPLIED TO THE ROOF SHEATHING FOR IMPROVED ENERGY EFFICIENCY.

FOR IMPROVED ENERGY EFFICIENCY IT WOULD BE RECOMMENDED TO HAVE A SOLAR POWERED THERMOSTATICALLY CONTROLLED ATTIC EXHAUST FAN INSTALLED



E. Walls (Interior and Exterior)

Comments:

Interior Walls:

SOME MINOR KITCHEN CABINET DOOR DAMAGE

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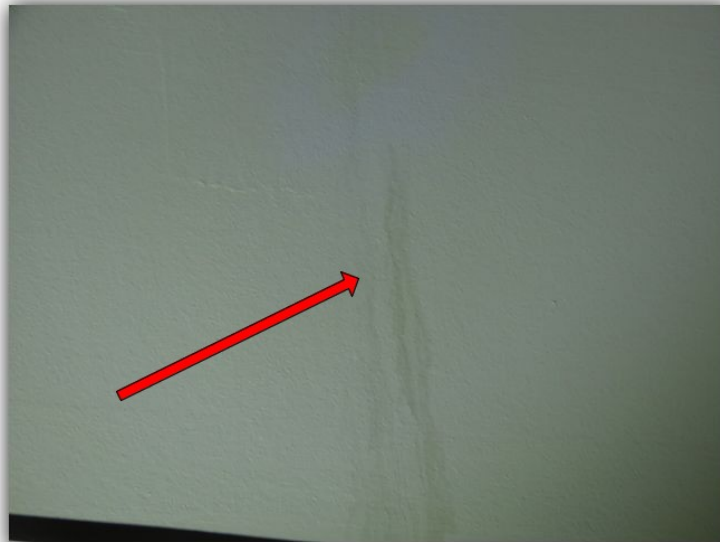
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Water stains present

- **several a/c vent locations have water stains present from condensation that is normally due to the vent cover not properly insulated inside the wall area. Recommend evaluation by a licensed hvac professional and also by a drywall repair expert.**



- **SOME HOLES CUT OUT IN THE DRYWALL OF THE GARAGE UPPER WALL THAT NEEDS REPAIRS.**

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- Freshly Painted**
- Signs of Structural Settling**



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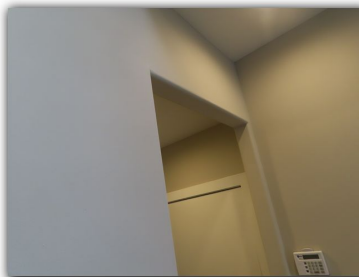
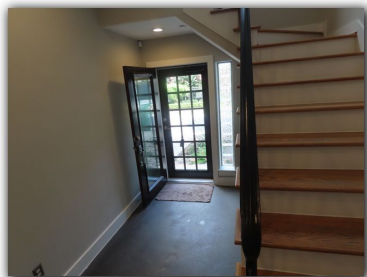
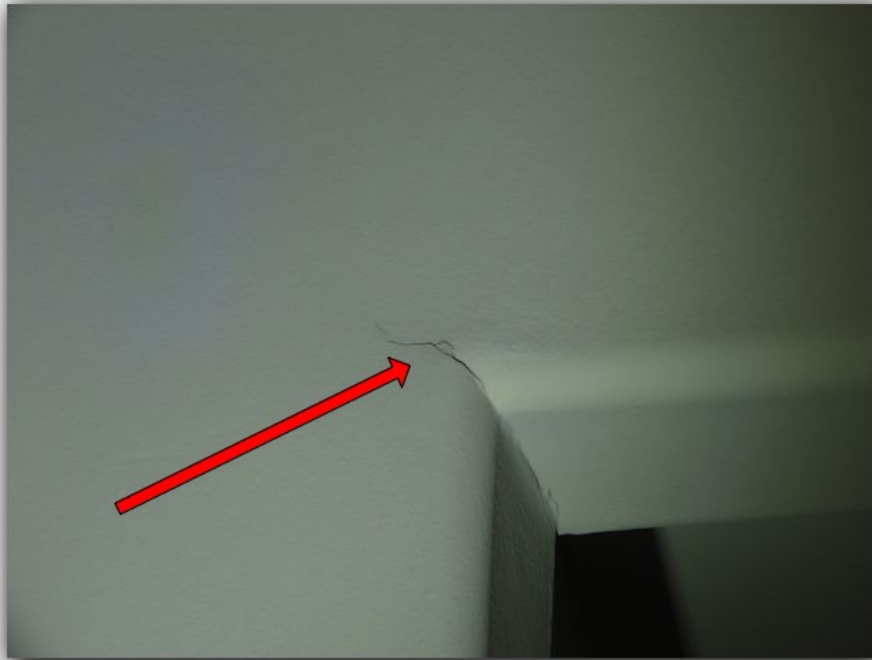
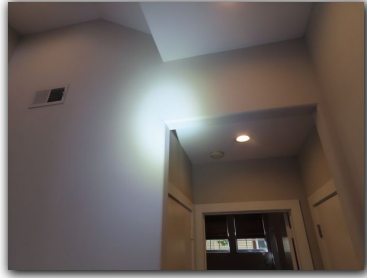
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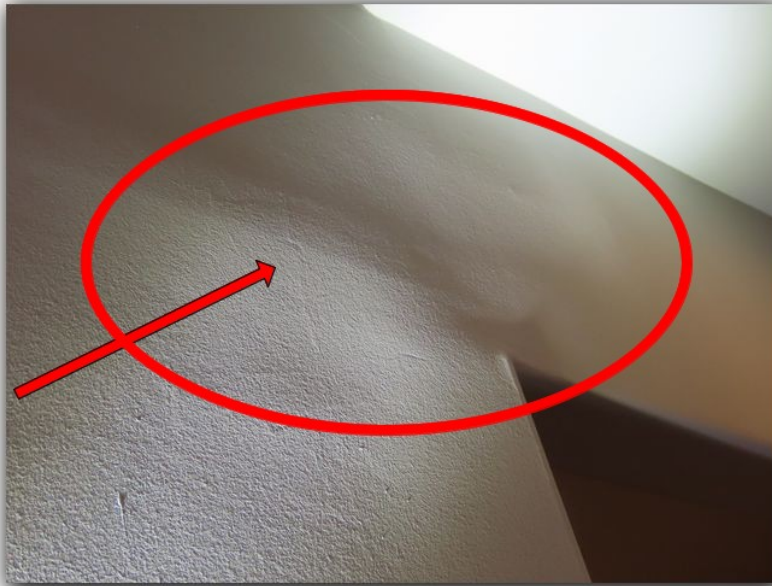
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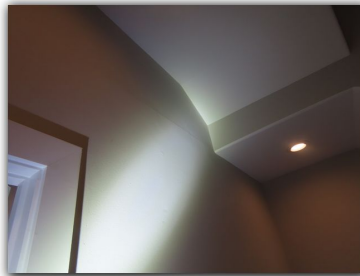
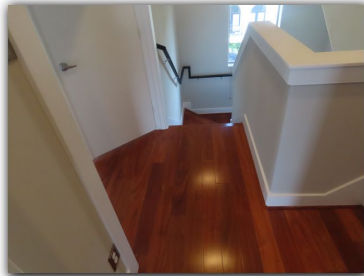
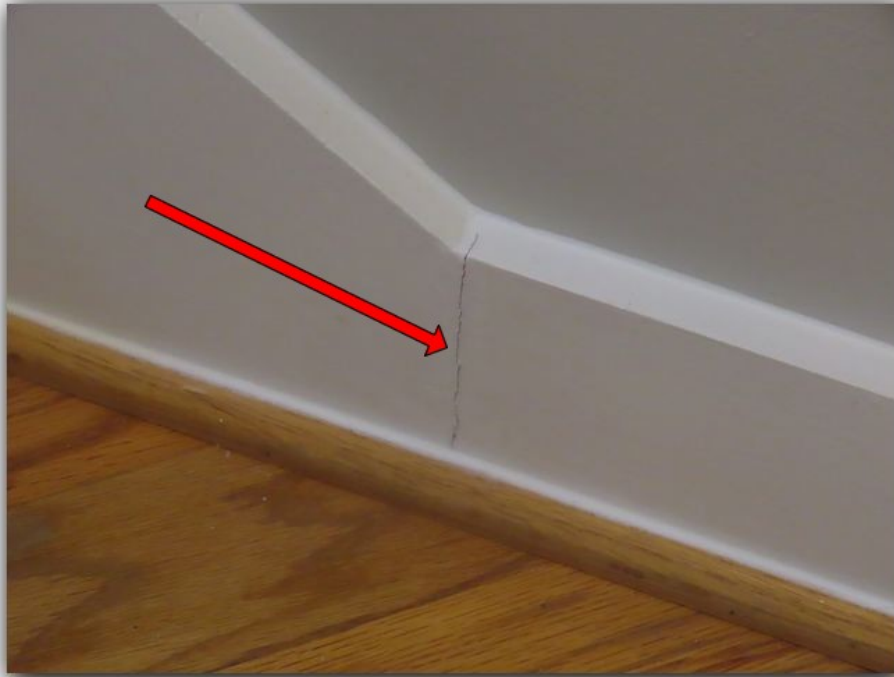
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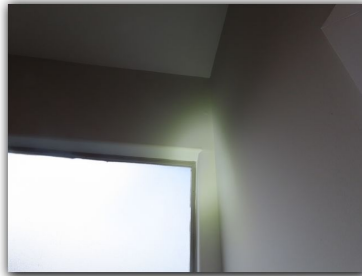
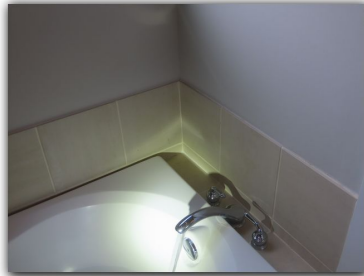
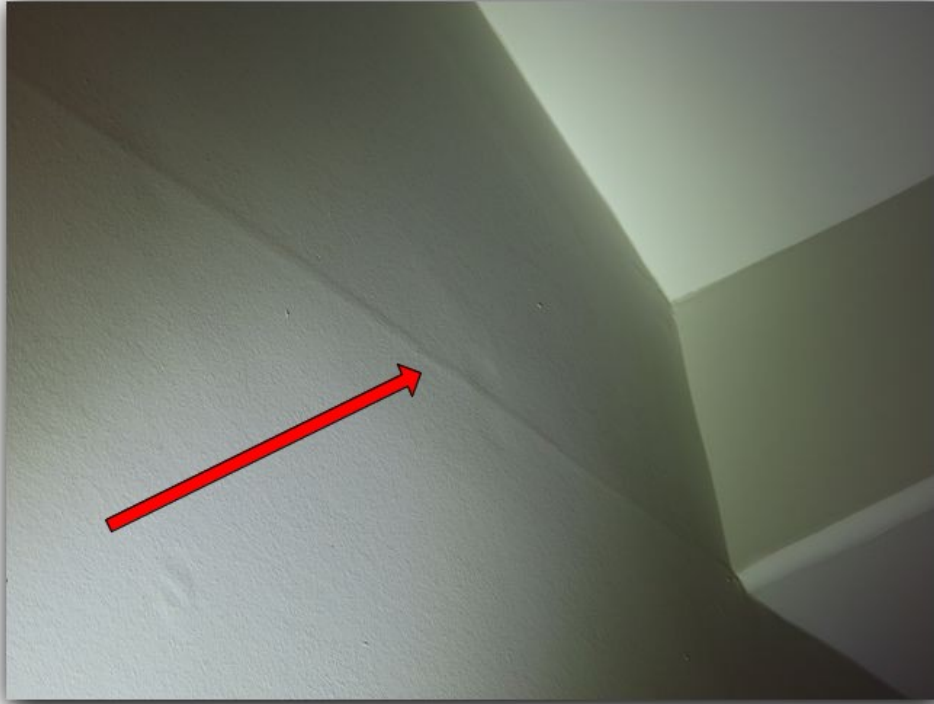
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- **SOME PATCHWORK PAINTED OVER AT THE LOWER WALLS AND NEAR THE**

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RIGHT CORNER WINDOW FRAME AND WALL CORNER THAT IS THE STUCCO SIDE/FRONT WALL OF THE HOME AS WELL. RECOMMEND AN INVASIVE STUCCO INSPECTION AND MOLD INSPECTION BE PERFORMED BY A LICENSED MOLD INSPECTOR AND STUCCO EXPERT TO ENSURE NO POTENTIAL FRAMING DAMAGE/WATER DAMAGE/MOLD IS PRESENT.(INFRARED CAMERA DID NOT SHOW ANY ACTIVE MOISTURE PRESENT)



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Exterior Walls:

Siding Materials: Brick Stone Wood Wood byproducts **Stucco**
 Vinyl Aluminum Asbestos **Cement Board** Other

Some cracks at the Cement board siding in a few locations that can indicate some structural settlement that needs evaluation and repairs by a siding repair expert.



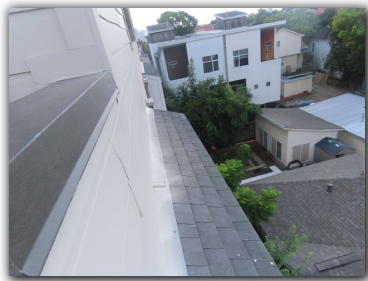
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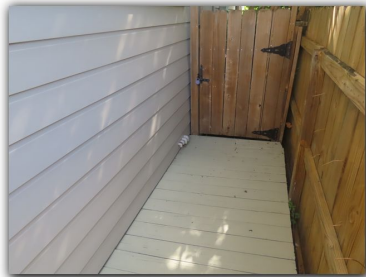
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Caulking / sealant is separated or missing in some areas



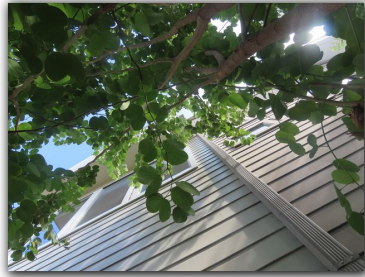
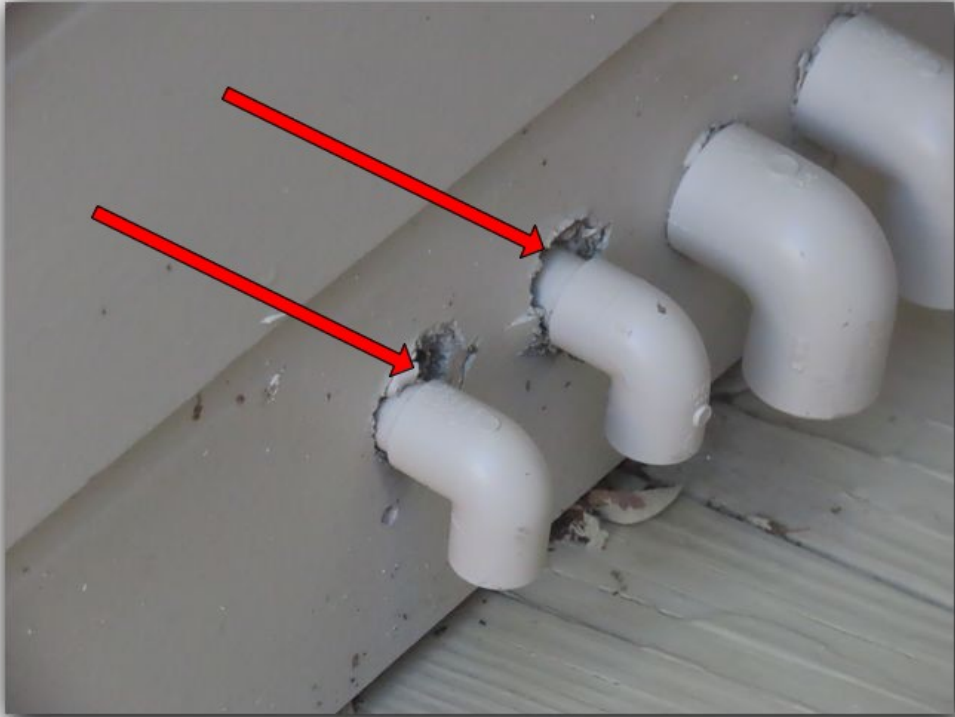
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STUCCO IF NOT SEALED PROPERLY DUE TO CRACKS OR OPENINGS AND SEPARATIONS CAN ALLOW MOISTURE TO BECOME TRAPPED INSIDE THE WALL THAT IS SOMETIMES NOT VISIBLE FROM THE INSIDE WALLS OR EXTERIOR WALLS AND CAN CAUSE ROTTED FRAMING AND MOLD INSIDE THE WALLS UNDETECTED FOR A LONG PERIOD OF TIME IF NOT PROPERLY SEALED. ANY AREAS OF STUCCO THAT ARE NOT PROPERLY SEALED OR CRACKS AND SEPARATIONS SHOULD BE PROPERLY REPAIRED AND SEALED.

DEFICIENCY- NO WEEP SCREED PRESENT FOR THE BOTTOM OF THE "CANTILEVER" OF THE LOWER WALL TERMINATION OF THE STUCCO AS IS NORMALLY REQUIRED FOR PROPER DRAINAGE OF MOISTURE.(EXPAMPLE IMAGE ALSO IS SHOWN OF WEEP SCREED)

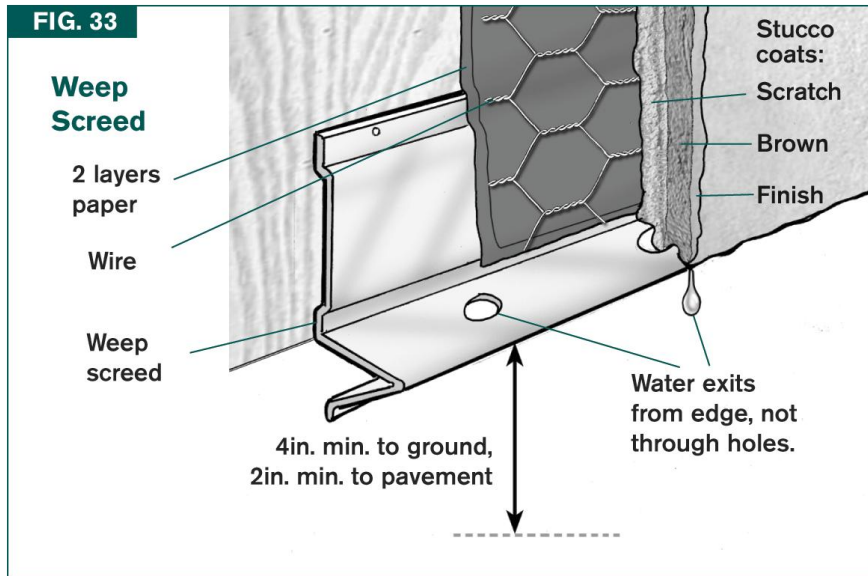
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DEFICIENCY- THE FIREPLACE WALL VENT HAS SOME

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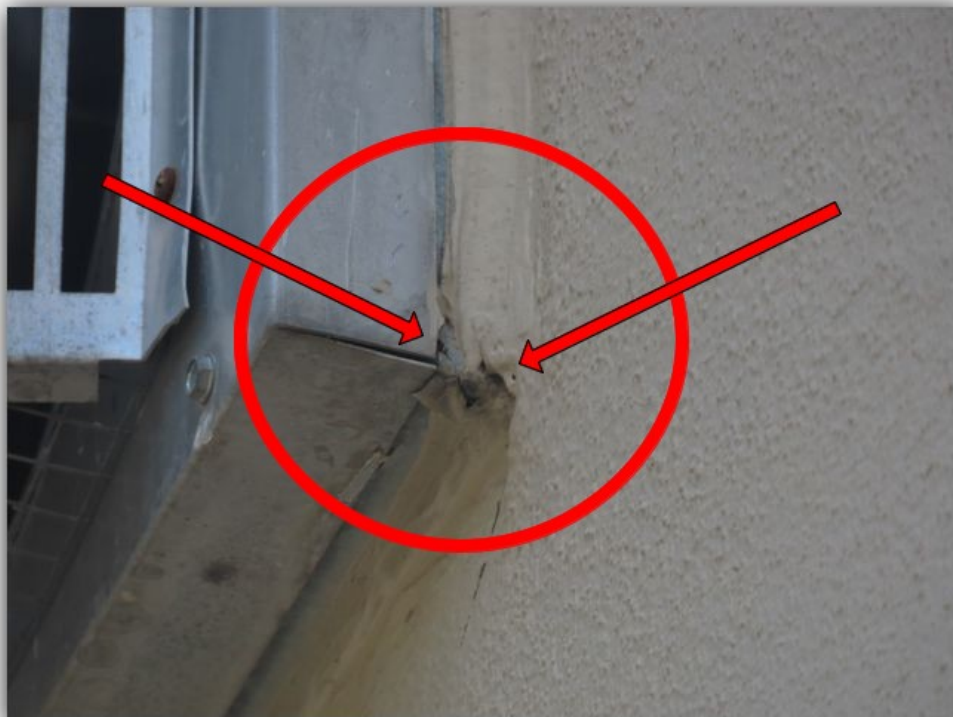
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AREAS THAT NEEDS ADDITIONAL CALKING APPLIED



THERE IS RECENT CALKING THAT WAS APPLIED AND THE STUCCO APPEARS TO BE RECENTLY REFINISHED/PAINTED AND IN GOOD OVERALL CONDITION. THERE APPEARS TO BE SOME INTERIOR DRYWALL PATCHWORK BELOW THE DEN WINDOWS ON

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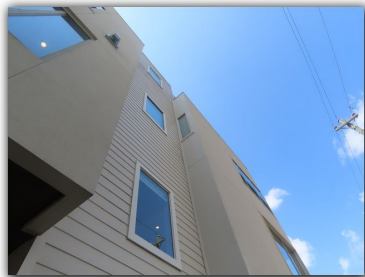
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THE FRONT SIDE AND ON THE MASTER BEDROOM WALL CORNER NEAR THE SIDE WINDOW; THE CONCERN IS WHAT THE STUCCO'S CONDITION WAS PRIOR TO THE RECENT WORK. TO ENSURE THERE WAS NO PREVIOUS MOISTURE PENETRATIONS OR DAMAGE INSIDE THE WALL IT WOULD BE A RECOMMENDATION ONLY TO HAVE AN INVASIVE STUCCO INSPECTION PERFORMED BY A STUCCO EXPERT TO ENSURE NO WATER RELATED DAMAGE IS PRESENT.

WINDOWS HAVE ALL BEEN RECENTLY CALKED/PAINTED AND INTERIOR WALLS RECENTLY PATCHED/PAINTED AND IT IS NOT POSSIBLE TO KNOW THE PREVIOUS CONDITIONS.THEREFORE HAVING A INVASIVE STUCCO INSPECTION CAN PROVIDE ASSURANCE THAT THERE IS NO HIDDEN DAMAGE PRESENT INSIDE THE WALL AND CAN BE VERY DIFFICULT OR SOMETIMES NOT POSSIBLE TO DETECT VISUALLY WITHOUT THE INVASIVE INSPECTION.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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NI=Not Inspected

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I	NI	NP	D
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NI=Not Inspected

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I	NI	NP	D
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NI=Not Inspected

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D=Deficient

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I=Inspected

NI=Not Inspected

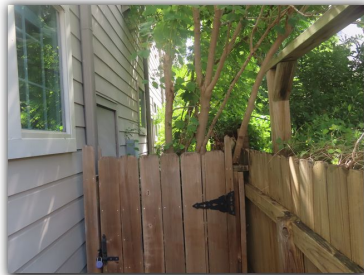
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D=Deficient

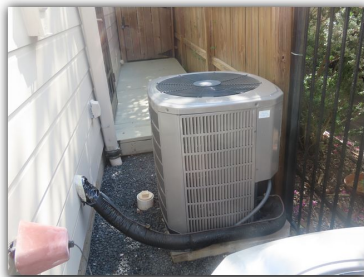
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TREE LIMBS TOUCHING THE HOME SHOULD BE PRUNED BACK AWAY FROM THE HOME AND CONSIDERED CONDUCTIVE CONDITIONS FOR WOOD DESTROYING INSECTS



THE A/C COOLING LINE WALL TERMINATION NEEDS TO BE CALKED AND SEALED.



I=Inspected

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D=Deficient

I	NI	NP	D
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F. Ceilings and Floors

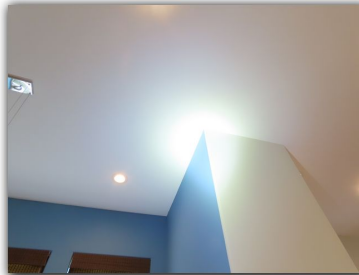
Comments:

Ceiling cracks in some areas

Ceiling cracks in some areas

Signs of structural settling

- **INDICATING STRUCTURAL SETTLEMENT THAT NEEDS TO BE PATCHED/FINISHED/TEXTURED AND MONITORED FOR ANY FURTHER CRACKING**



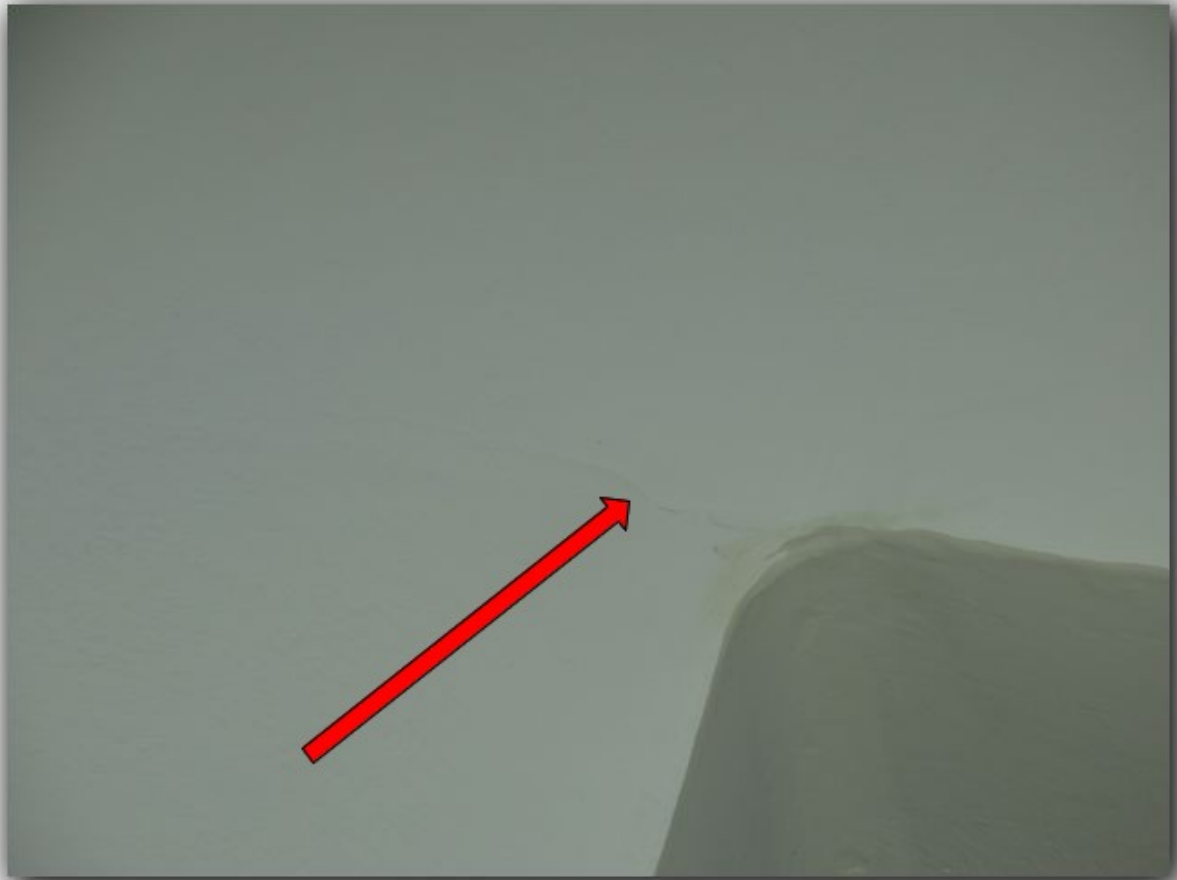
I=Inspected

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I	NI	NP	D
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Water stains on ceiling

WATER DAMAGE ON THE HARDWOOD FLOORING IN THE PANTRY. AFTER RUNNING ALL THE PLUMBING IN THE KITCHEN AND BATHROOMS ABOVE THIS LOCATION DID NOT SHOW ANY ACTIVE MOISTURE WITH USE OF AN INFRARED CAMERA. INFRARED CAMERA DID NOT SHOW ANY ACTIVE MOISTURE IN ANY OTHER LOCATION OF THE HOME AS WELL. RECOMMEND FURTHER EVALUATION OF THE FLOORING BY A FLOORING REPAIR CONTRACTOR AND INSIDE THE WALL AS WELL. IN ADDITION. I DO RECOMMEND A MOLD INSPECTION BE PERFORMED BY A LICENSED MOLD INSPECTOR AS WELL.

I=Inspected

NI=Not Inspected

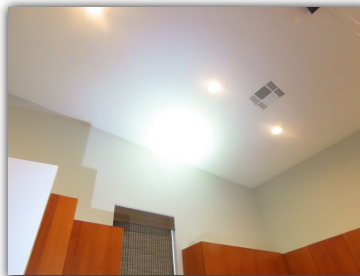
NP=Not Present

D=Deficient

I	NI	NP	D
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- **WATER STAINS PAINTED OVER ON THE KITCHEN CEILING THAT IS BELOW THE MASTER BATH; INFRARED CAMERA DID NOT SHOW ANY ACTIVE MOISTURE. RECOMMEND EVALUATION BY A PLUMBER TO ENSURE THERE ARE NO LEAKS PRESENT AND ALSO RECOMMEND A MOLD INSPECTION BY A LICENSED MOLD INSPECTOR.**



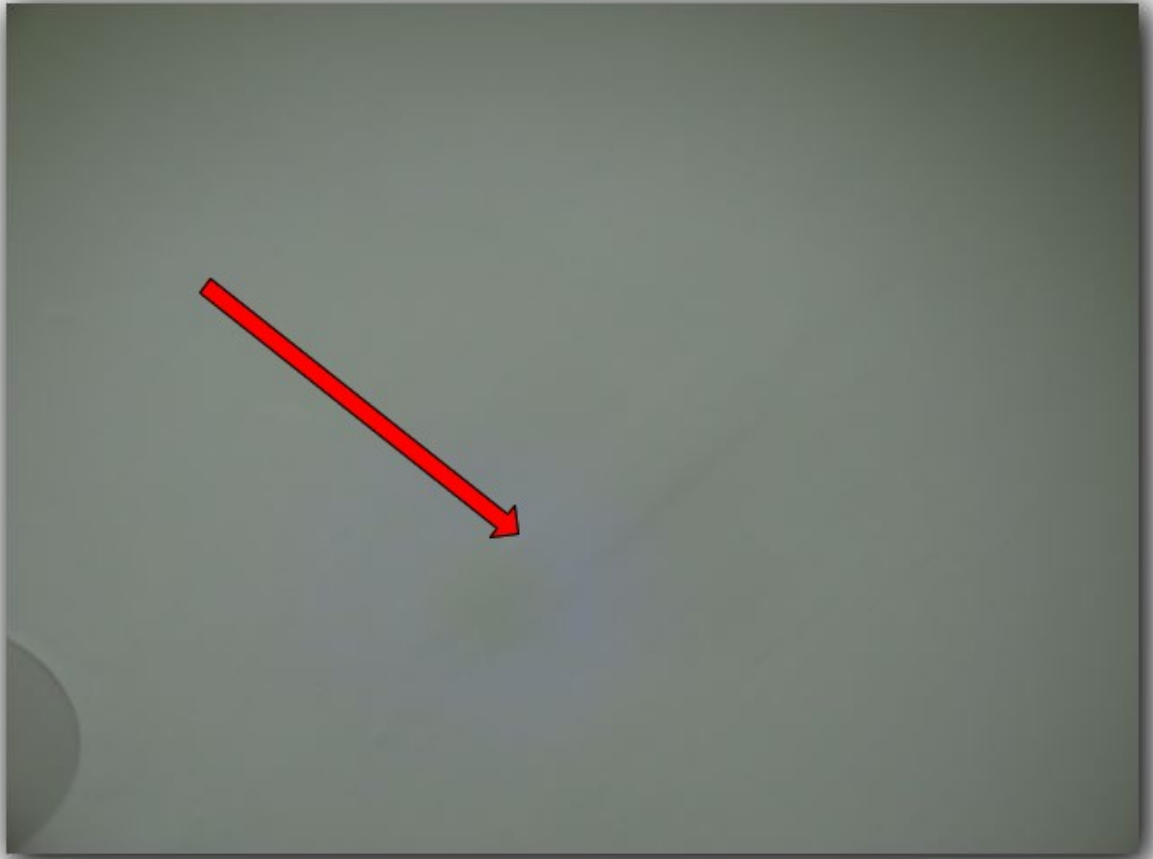
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Floor cracks in some areas
SOME SEPARATIONS IN THE TILE FLOORING AND THE BASE BOARD/DOOR
FRAME TRIM AT THE MASTER BATHROOM THAT CAN INDICATE STRUCTURAL
SETTLEMENT.



I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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- **THE THIRD FLOOR FLOORING IS CREAKING WHEN WALKED ON MAKING EXCESSIVE NOISE THAT NEEDS EVALUATION AND REPAIRS BY A FLOORING REPAIR CONTRACTOR. THIS ALSO IS COMMON WITH STRUCTURAL SETTLEMENT.**



I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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G. Doors (Interior and Exterior)

Comments:

Interior Doors

Exterior Doors

THE GARAGE ENTRY DOOR IS NOT SELF CLOSING AS REQUIRED FOR FIRE SAFETY FOR ATTACHED GARAGE ENTRY DOORS.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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- **THE BOTTOM OF THE EXTERIOR DOOR FRAMES AT THE LOWER JAMBS NEEDS TO HAVE SMALL SQUARE FOAM RUBBER WEATHER STRIPS THAT DO PREVENT THE INSIDE JAMB FROM BECOMING ROTTED FROM WATER PENETRATIONS**



I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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SOME DRY ROT AT THE BOTTOM OF THE BACK DOOR AND DOOR FRAME TRIM OF THE JAMB THAT NEEDS REPAIRS.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

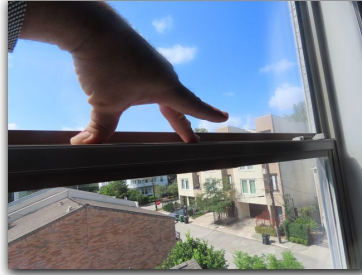
Garage Doors

Type: Metal Wood Fiberglass Doors / panels are damaged

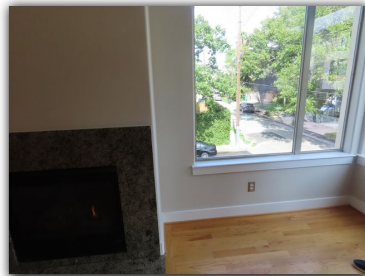
H. Windows

Comments:

Some windows are difficult to open or close



Some glass panes are loose, damaged or missing; THE DEN WINDOW ON THE RIGHT BACK SIDE WINDOW OF THE DEN HAS CHIPPED/DAMAGED GLAZING THAT NEEDS TO BE EVALUATED BY A WINDOW REPAIR EXPERT FOR REPAIRS OR POTENTIAL WINDOW REPLACEMENT.



I=Inspected

NI=Not Inspected

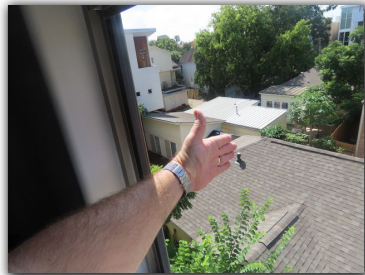
NP=Not Present

D=Deficient

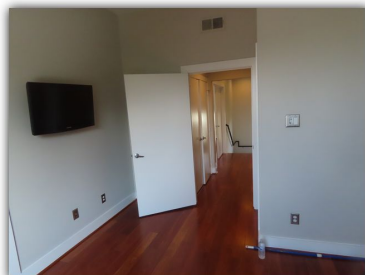
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Some window / door screens are damaged or missing



Thermal pane window seals have failed, moisture is present(THE UPSTAIRS BACK GUEST BEDROOM UPPER SASH AND THE DEN FRONT CENTER LARGE WINDOW BOTH APPEAR TO HAVE BROKEN SEALS. THIS REQUIRES WINDOW SASH REPLACEMENT WHEN THE SEALS ARE BROKEN. RECOMMEND EVALUATION BY A WINDOW REPAIR EXPERT.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. Stairways (Interior and Exterior)

Comments:
INTERIOR

THE HAND RAILING AT THE BOTTOM SPACING BETWEEN THE BOTTOM AND THE TREAD EXCEEDS THE REQUIRED MINIMUM SPACING THAT SHOULD NOT ALLOW A 6" INCH SPHERE TO PASS.(CHILD SAFETY REQUIREMENT)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



J. Fireplaces and Chimneys

Comments:

Type of Fireplace: Factory Masonry Free Standing

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

THE PRE-MANUFACTURED GAS FIREPLACE WAS TESTED AND FUNCTIONING PROPERLY



K. Porches, Balconies, Decks, and Carports
Comments:

L. Other
Comments:

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels
Comments:
 Overhead Service Underground Service

Main Disconnect Panel

Sub Panels **Type of Wire:** Copper Aluminum

150 AMP "SQUARE D" SERVICE PANEL LOCATED IN THE GARAGE

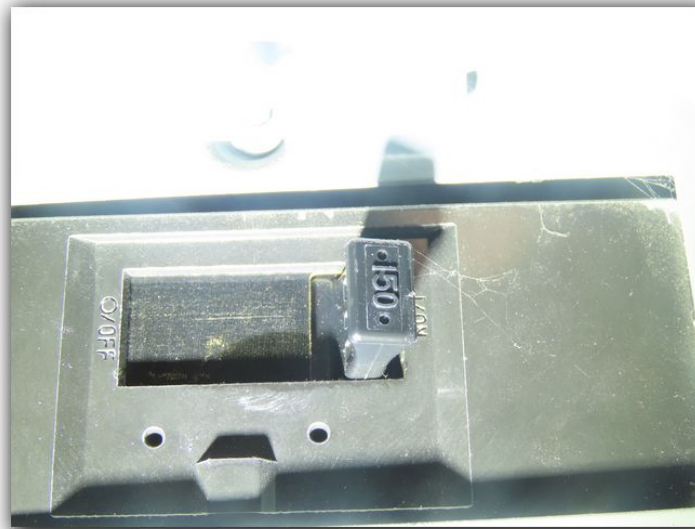
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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ARC FAULTS TESTED AND FUNCTIONING

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

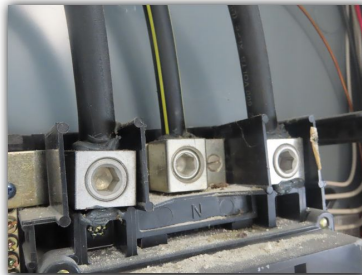
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DEFICIENCY- ONE FRONT COVER SCREW IS MISSING AND NEEDS TO BE BLUNT ENDED SCREW AS REQUIRED.



ANTIOXIDANT IS PRESENT ON THE MAIN LEADS AS IS REQUIRED.



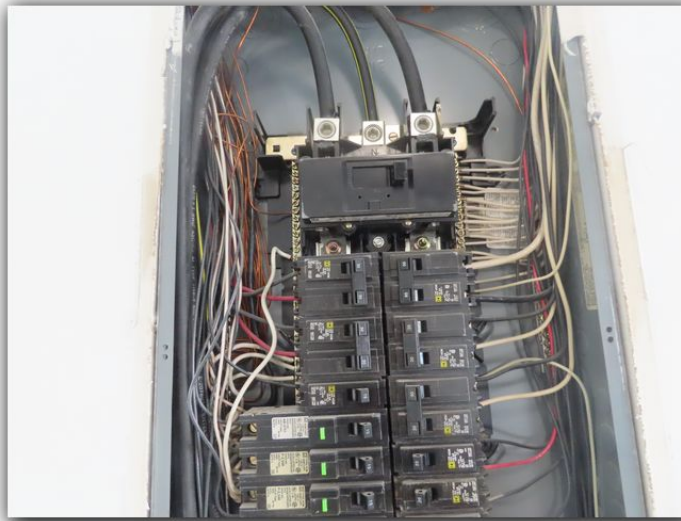
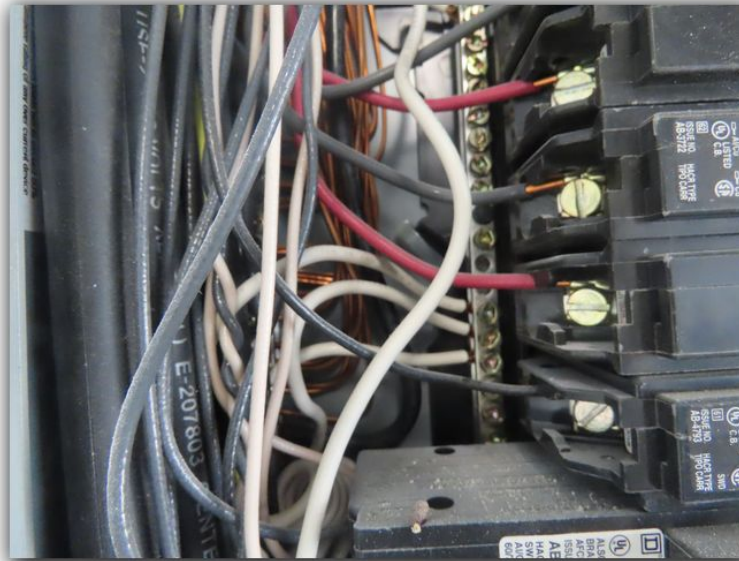
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NP=Not Present

D=Deficient

I NI NP D



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper Aluminum Conduit _____

Comments:

Outlet and Switches

Ground/ARC Fault Circuit Interrupt Safety Protection

Kitchen: Yes No Partial Bathrooms: Yes No Partial

Exterior: Yes No Partial Garage: Yes No Partial

Laundry: Yes **No** Partial

Master/Spa: Yes No Partial

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D=Deficient

I NI NP D

No GFCI/ARC Fault protection at one or more location. This is considered a recognized safety hazard.

NO GFCI PROTECTION FOR THE LAUNDRY ROOM OUTLETS AS IS NOW REQUIRED FOR NEW CONSTRUCTION.



Fixtures

**Ceiling fans inoperable or in need of repair
THE DEN FAN LIGHT DID NOT FUNCTION.**



• **THE UPSTAIRS BACK GUEST BEDROOM FAN WAS NOT FUNCTIONING; IN NEED OF REPAIR BY AN ELECTRICIAN.**



Smoke and Fire Alarms

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of System: Central

Energy Source: UPSTAIRS FURNACE IS GAS AND DOWNSTAIRS FURNACE IS ELECTRIC

Comments:

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D=Deficient

I NI NP D

- THE FURNACE WAS TESTED AND FUNCTIONING PROPERLY.
- GAS FURNACES ARE RECOMMENDED TO HAVE THE HEAT EXCHANGER EVALUATED FOR CRACKS THAT CAN BE A SAFETY HAZARD BY A LICENSED HVAC PROFESSIONAL. HEAT EXCHANGERS ARE OUTSIDE THE SCOPE OF INSPECTION DUE TO DISMANTLING THAT IS REQUIRED.**

- BOTH FURNACES ARE ORIGINAL FROM 2005**
- THE UPSTAIRS FURNACE IS GAS**



- DOWNSTAIRS FURNACE IS ELECTRIC**



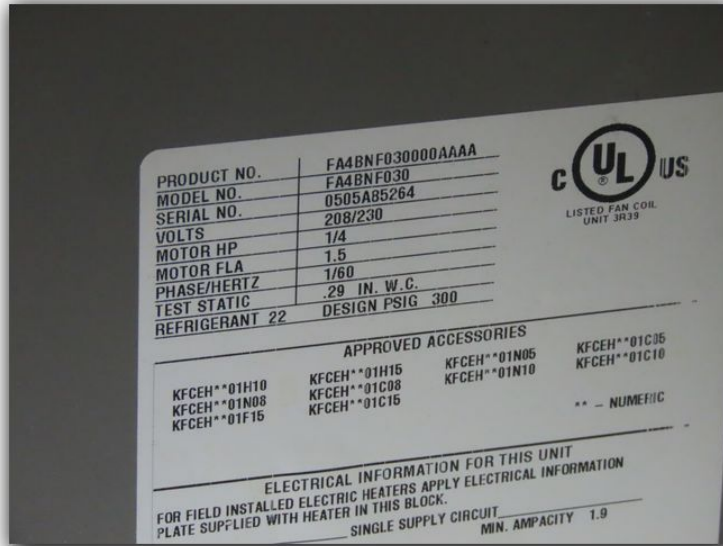
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I NI NP D



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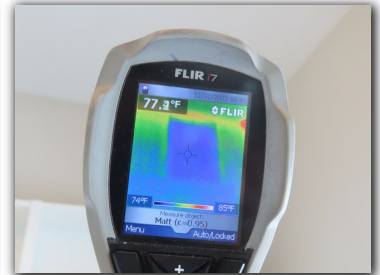
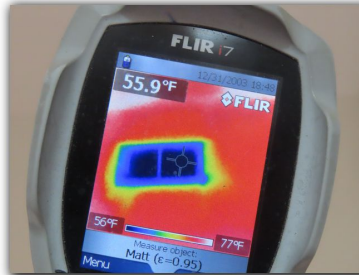
B. Cooling Equipment

Type of System: Central

Comments:

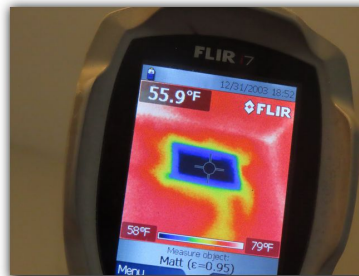
- Unit #1:upstairs

Supply Air Temp: 55 °F Return Air Temp: 77 °F Temp. Differential: 22 °F



- Unit #2:downstairs

Supply Air Temp: 55 °F Return Air Temp: 75 °F Temp. Differential: 20 °F



DEFICIENCY- Air handler plenum is not

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I NI NP D

**properly sealed(UPSTAIRS) WITH
CONDENSATION PRESENT; IN NEED OF REPAIR
BY A LICENSED HVAC PROFESSIONAL.**



FOR ROUTINE MAINTENANCE IT IS RECOMMENDED TO HAVE ANNUAL SERVICE AND CLEANING OF THE COILS AND CONDENSATE DRAINS BY LICENSED HVAC PROFESSIONAL.

RECOMMEND THAT MEDIA FILTERS/ELECTRONIC AIR CLEANERS BE INSTALLED FOR LESS MAINTENANCE AND IMPROVED PERFORMANCE AND CLEANER COILS.

IT WOULD BE RECOMMENDED TO HAVE FLOAT SWITCHES INSTALLED ON THE A/C WATER PANS IN THE ATTIC THAT CAN PREVENT POTENTIAL WATER PAN OVERFLOW BY SHUTTING DOWN THE SYSTEM IF THE PAN WAS TO OVERFILL.

THE COOLING EQUIPMENT IS PROPERLY COOLING THE HOME WITH THE PROPER TEMPERATURE DIFFERENTIAL.

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I NI NP D

THE AIR CONDENSERS ARE A "AMERICAN STANDARD" 2 1/2-TON AND A 3 -TON UNITS; MANUFACTURED IN 2020. NEW INSTALLATIONS



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I NI NP D



DOWNSTAIRS COILS ARE ORIGINAL 2 1/2 TON "CARRIER" FROM 2005



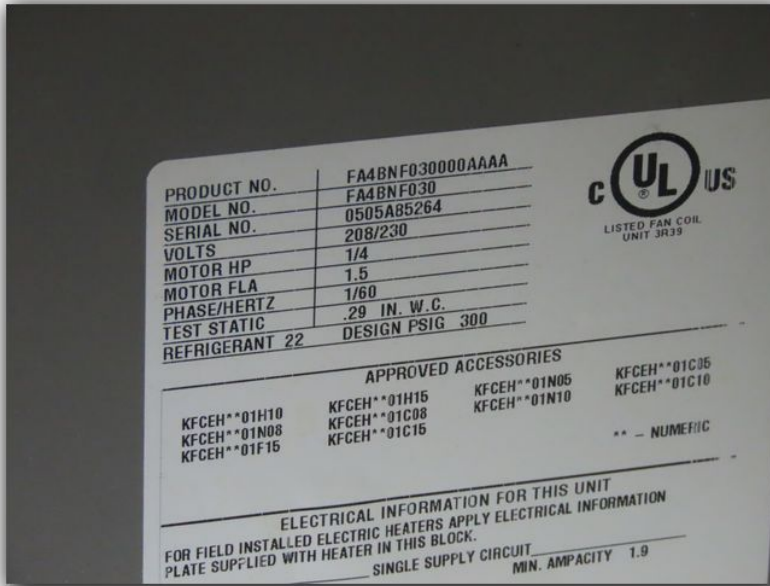
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THE UPSTAIRS EVAPORATOR COILS WERE MANUFACTURED IN 2018 (3 TON)
(2 YEARS OLD, RECENT INSTALLATION)



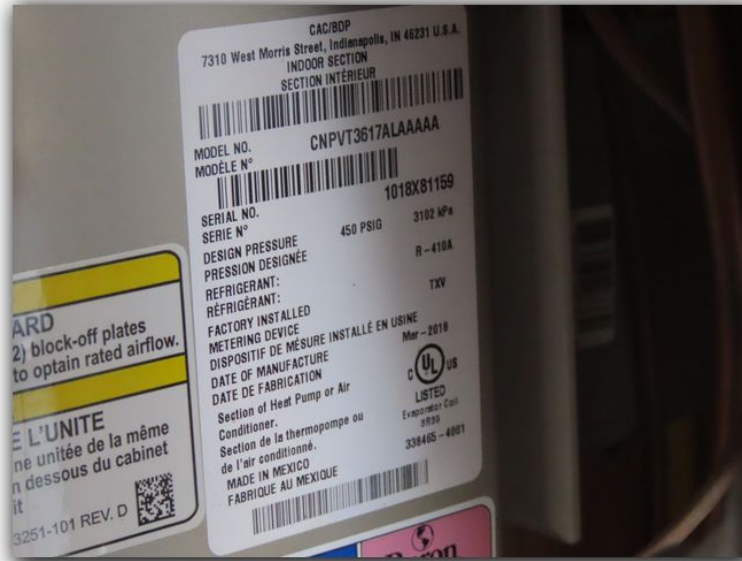
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C. Duct Systems, Chases, and Vents

Comments:

Type of Ducting: Flex Ducting Duct Board Metal



IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: STREET

Location of main water supply valve: INSIDE THE FOYER CLOSET AND FRONT SIDE OF THE GARAGE

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I NI NP D



Static water pressure reading: 57 _____ below 40 psi above 80 psi
 Lack of reducing valve over 80 psi

Comments:

Water Source: Public Private Sewer Type: Public Private

SUPPLY PIPES ARE COPPER



Sinks

Comments: _____

- **SEVERAL SINK FIXTURE HANDLES ARE HARD TO TURN ON AND OFF; IN NEED OF REPAIR BY A PLUMBER.**



- **THE FIRST FLOOR GUEST BATH SINK FIXTURE IS LOOSE AT THE COUNTER TOP**

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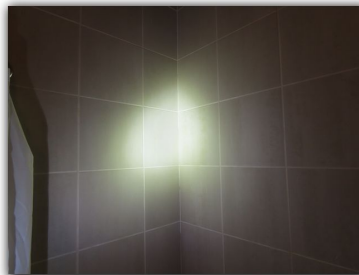
I NI NP D



Bathtubs and Showers

Comments: **IT IS RECOMMENDED TO HAVE SHOWER PAN TESTED FOR POTENTIAL SHOWER PAN LEAKS DUE TO BEING OUTSIDE THE SCOPE OF INSPECTION AND UNABLE TO PERFORM THIS TYPE OF INSPECTION THAT CAN BE PERFORMED BY A LICENSED PLUMBER.**

Caulking or grout missing or damaged(SEVERAL ENCLOSURES OF THE TUBS AND SHOWER, AND COMMON WITH STRUCTURAL SETTLEMENT)



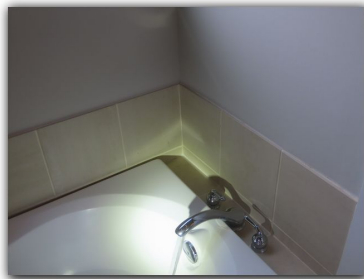
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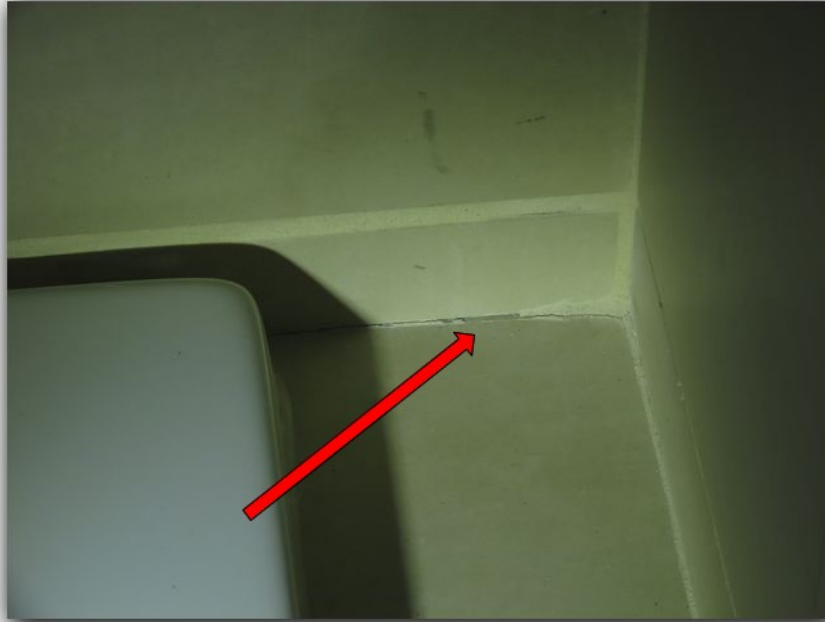
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I	NI	NP	D
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NP=Not Present

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I NI NP D

Hot and cold water reversed(FIRST FLOOR GUEST BATH)
**HOT SHOULD BE ON THE LEFT SIDE NOT THE RIGHT;
IN NEED OF REPAIR BY A PLUMBER.**



- **THE TILE ON THE MASTER TUB ENCLOSURE ON THE OUTER EDGE IS VERY SHARP AND A SAFETY HAZARD.**



- **BATHTUBS UPSTAIRS GUEST ROOM AND GROUND FLOOR GUEST BATH HAVE CHIPPED ENAMEL**



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Commodes

Comments: _____

Tank water level is too high(SEVERAL LOCATIONS)



Washing Machine Connections

Comments: _____

Exterior Plumbing

Comments: _____

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NP=Not Present

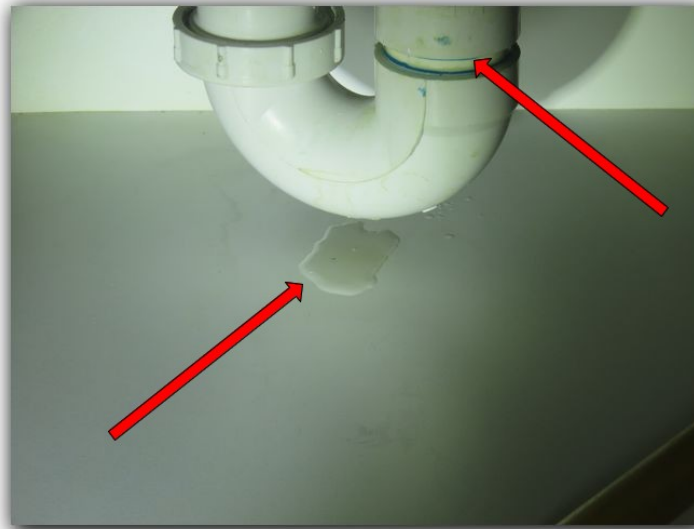
D=Deficient

I NI NP D

B. Drains, Wastes, and Vents

Comments:

P-TRAP DRAIN LEAKS FROM THE GROUND LEVEL GUEST BATH SINK THAT NEEDS REPAIRS BY A PLUMBER.



IT IS RECOMMENDED TO HAVE A DRAIN INSPECTION PERFORMED BY A LICENSED PLUMBER/DRAIN INSPECTOR THAT INCLUDES A HYDROSTATIC TEST AND CAMERA INSPECTION THAT CAN DETERMINE IF THERE IS ANY POSSIBLE LEAKS IN THE DRAIN SYSTEM AND UNDER GROUND AND SLAB OUT TOWARDS THE MAIN DRAIN TO THE SEWER AS WELL. THIS IS OUTSIDE THE SCOPE OF THE INSPECTION AND CAN ONLY BE PROPERLY DETERMINED BY A SPECIALIZED TEST DONE BY A PLUMBER.

C. Water Heating Equipment

Energy Source: Gas

Capacity: **TANKLESS WATER HEATER LOCATED ON THE ROOF TOP TERRACE ATTIC CLOSET LOCATION. MANUFACTURED IN 2014 BY "NORITZ"**

Comments: "DIRECT VENT AUTOMATIC INSTANTANEOUS WATER HEATER"

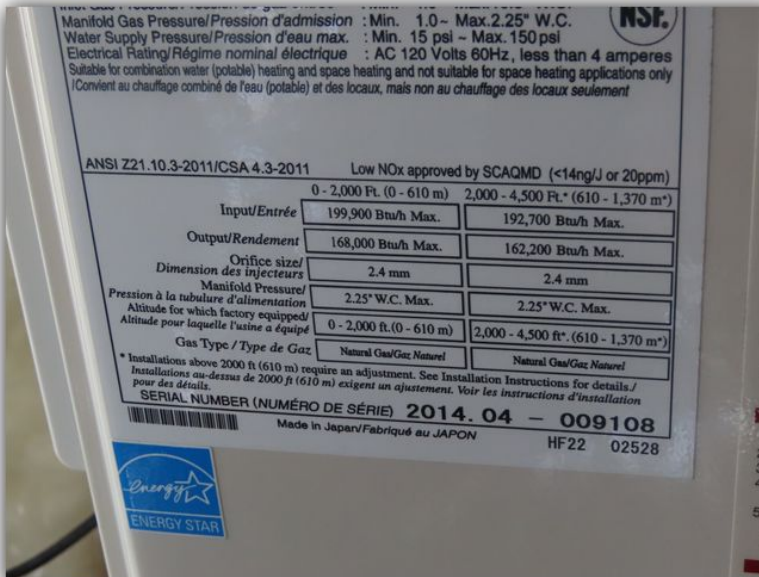
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NP=Not Present

D=Deficient

I NI NP D



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NP=Not Present

D=Deficient

I NI NP D



Water heater Temperature and Pressure Relief Valve

-

D. Hydro-Massage Therapy Equipment

Comments:

Deficiency- Vacuum switch does not operate/ THE SWITCH WILL NOT TURN THE TUB OFF AND WAS PREVIOUSLY BEING TURNED OFF AT THE GFCI OUTLET IN THE POWDER ROOM. IN NEED OF REPAIR.



I=Inspected

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I	NI	NP	D
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THE TUB WAS TESTED AND FUNCTIONING PROPERLY



E. Other

Comments:

V. APPLIANCES

A. Dishwashers

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments:



C. Range Hood and Exhaust Systems

Comments:

DOWNDRAFT EXHAUST FAN PRESENT



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Ranges, Cooktops, and Ovens

Comments:

Range Type: Electric Gas



Oven(s):

Unit #1: Electric Gas

Tested at 350°F, Variance noted: **5 HOT** °F (max 25°F)

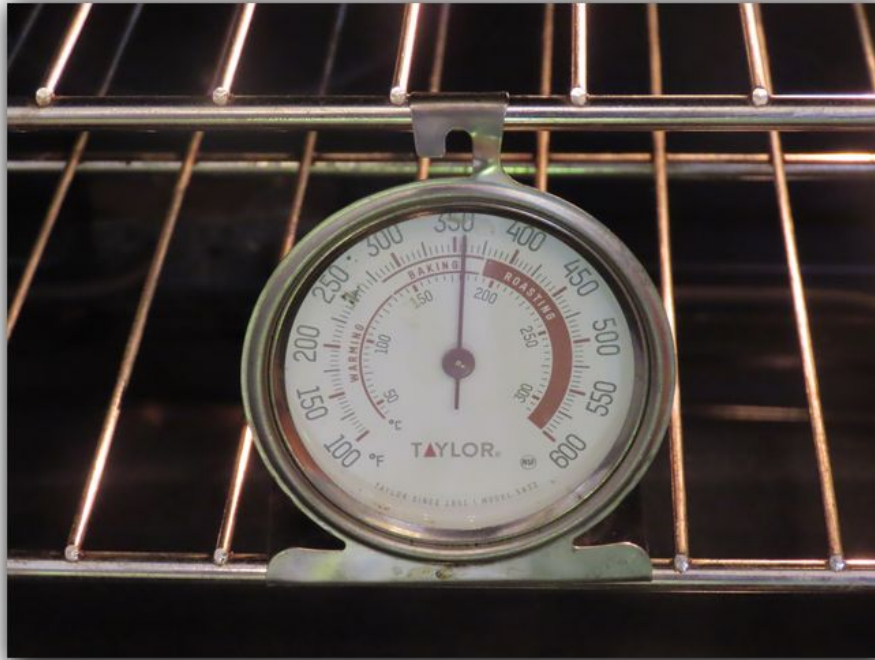
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I NI NP D



Unit #2: Electric Gas

Tested at 350°F, Variance noted: _____°F (max 25°F)

THE OVEN IS LOOSE INSIDE THE WALL AND NEEDS TO BE SECURED AND THE DIGITAL DISPLAY FOR SETTING THE OVEN TEMP. DID NOT FUNCTION FOR THE "ZERO" DIGIT ALL OTHER DIGITS DID FUNCTION FINE BUT NOT ZERO. HAD TO SET THE TEMP TO 351 RATHER THAN 350 FOR TESTING THE OVEN. IN NEED OF EVALAUTION AND REPAIRS BY AN APPLIANCE REPAIR PERSON.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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-

E. Microwave Ovens

Comments:



-

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:



-

G. Garage Door Operators

Comments:



-

H. Dryer Exhaust Systems

Comments:

- The dryer duct is a long span that extends into the upper wall and attic and terminates to a roof vent. Long span dryer ducts are recommended to have a "booster assist fan" installed that helps prevent lint from being trapped inside the duct and provides improved clothes dryer performance as well.**
- IT IS RECOMMENDED TO HAVE THE CLOTHES DRYER DUCT PROFESSIONALLY CLEANED OUT ANNUALLY FOR IMPROVED CLOTHES DRYER PERFORMANCE AND FIRE SAFETY PROTECTION.**

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

☑ Deficiency- IT IS NOW REQUIRED TO HAVE A DISPLAYED SIGN IN THE LAUNDRY ROOM THAT SHOWS THE NET EQUIVALENT LENGTH OF DRYER DUCT DISTANCE FROM THE WALL TERMINATION IN THE LAUNDRY ROOM TO THE ROOF TERMINATION/EXTERIOR TERMINATION.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. Other

Comments:

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

THE LAWN SPRINKLER SYSTEM WAS TESTED MANUALLY AT EACH ZONE AND WAS FUNCTIONING PROPERLY.

