

Survey

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 9-9-20 GF No. _____
Name of Affiant(s): _____
Address of Affiant: _____
Description of Property: 79 West Shore Drive, Montgomery, TX 77356
County Montgomery, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since 9/30/2015 there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

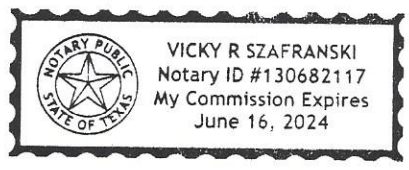
EXCEPT for the following (If None, Insert "None" Below): Form Survey only

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Charles L. Krum 9/9/20

SWORN AND SUBSCRIBED this 9th day of September, 2020

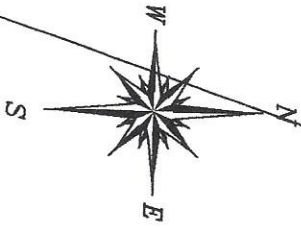
Vicky Szafanski
Notary Public
(TXR 1907) 02-01-2010



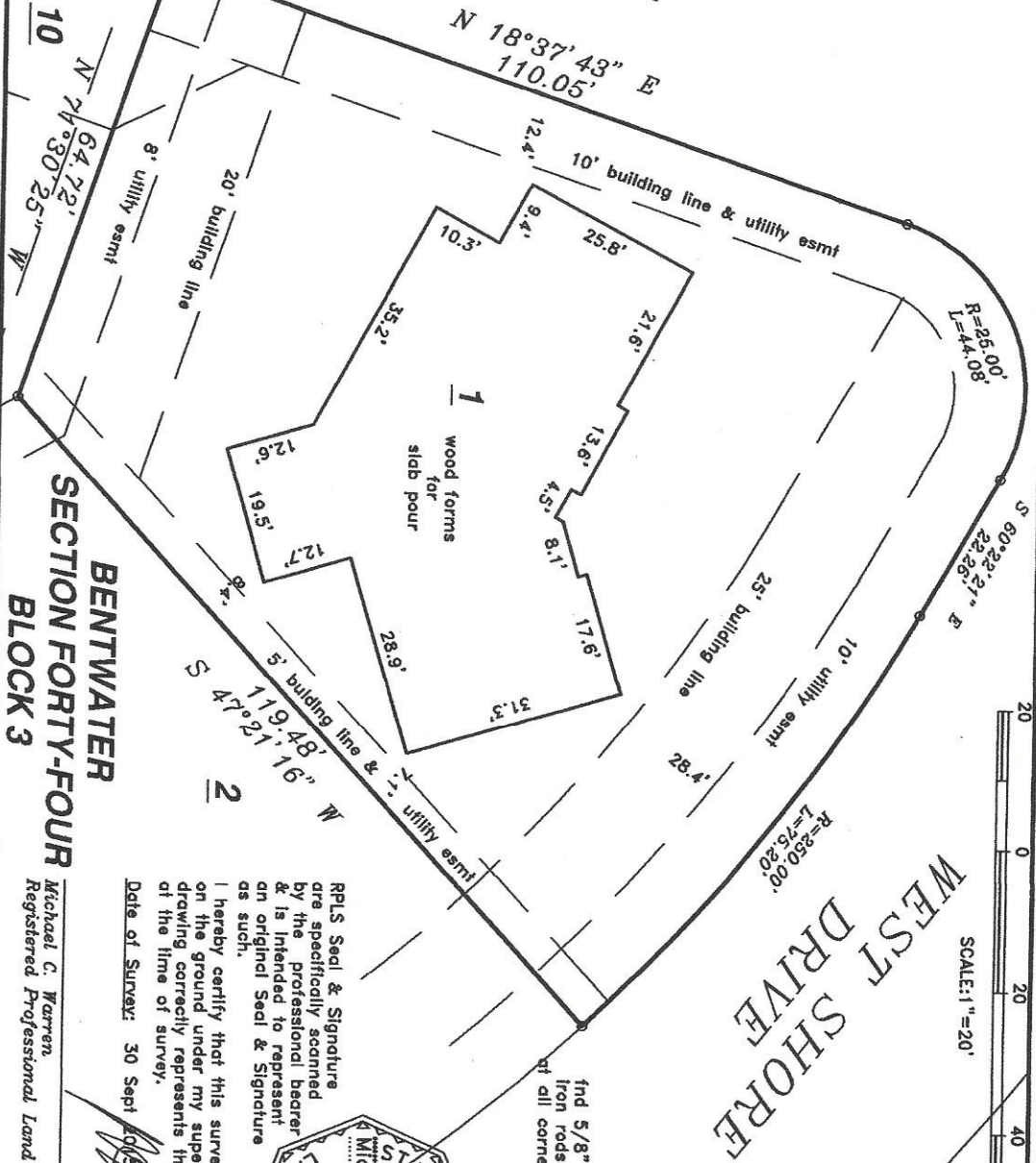
FORM SURVEY
 CHARLES & LINDA KREMMERS
 29 WEST SHORE DRIVE
 MONTGOMERY, TEXAS 77356

Lot 1, Block 3, of BENTWATER,
 SECTION FORTY-FOUR (44),
 according to the map of plat
 thereof recorded in Cabinet C,
 Sheet 190A thru 191A of the
 Map Records of Montgomery
 County, Texas.

QUADRANT SOLUTIONS
 P.O. BOX 1343 WILLIS, TEXAS 77378
 (836) 856-8989
 PROJECT NO.: 444115

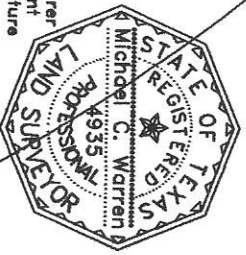


WEST SHORE LANE



BENTWATER SECTION FORTY-FOUR BLOCK 3

PLS Seal & Signature are specifically scanned by the professional bearer & is intended to represent an original Seal & Signature as such.
 I hereby certify that this survey was made on the ground under my supervision and that this drawing correctly represents the facts found at the time of survey.
 Date of Survey: 30 Sept 2005



Michael C. Warren
 Registered Professional Land Surveyor No. 4935