

BEV & MIKE KONZEM

3742 MEADOWLARK WAY

PEARLAND, BRAZORIA COUNTY, TEXAS, 77581

**DESIGN
TECH
Homes** 
L.P.

**18750 Interstate 45
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(281) 355-1591
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**24170 Highway 281 North
San Antonio, Texas 78258
(830) 980-5558
Fax (830) 980-5553
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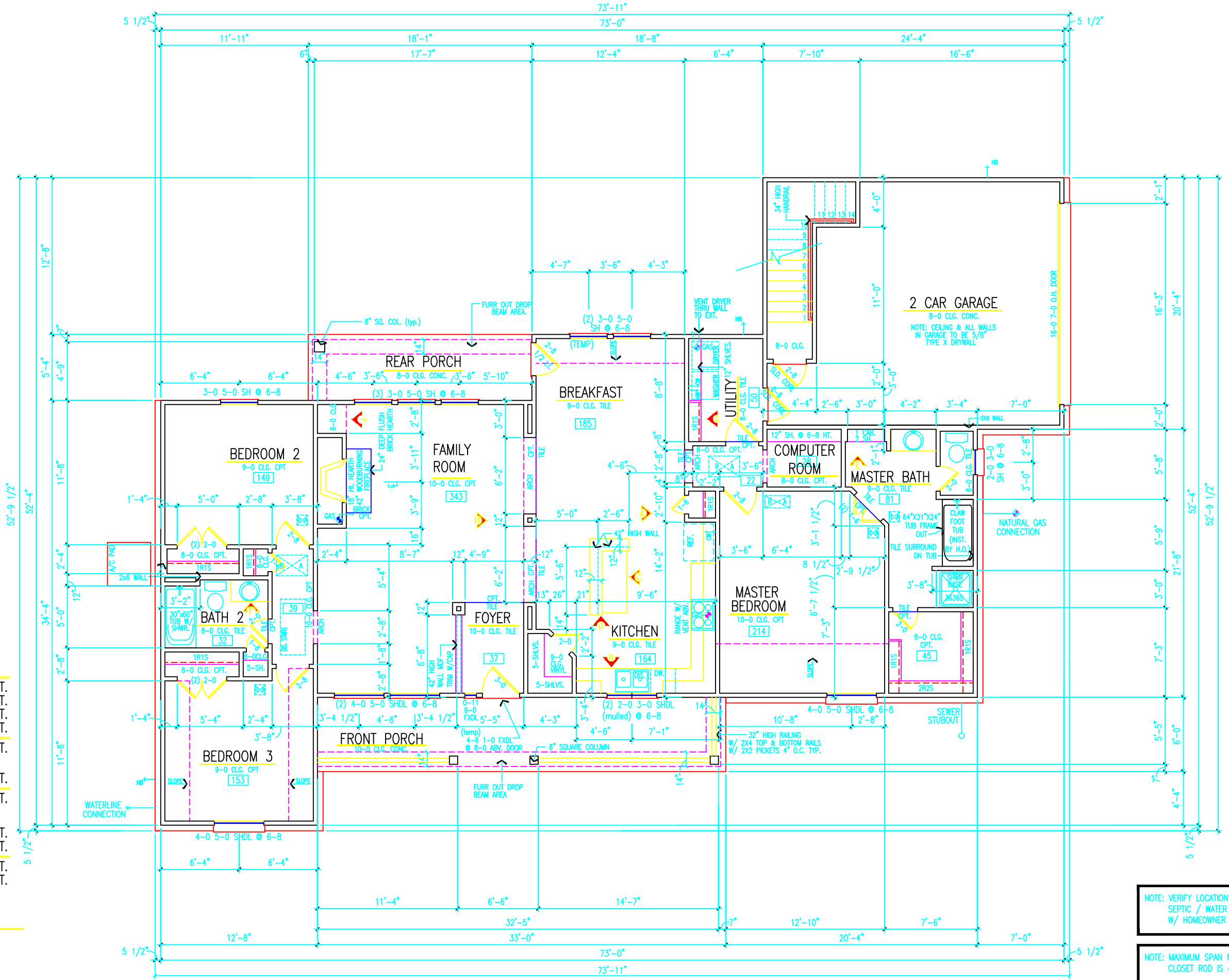
GENERAL NOTES

CUSTOMER SELECTIONS	GENERAL CONSTRUCTION NOTES	GRAPHICAL SYMBOLOGY	TEXT SYMBOLOGY																																																																																																				
<p>EXTERIOR SELECTIONS HARDIBOARD: FREDERICKSBURG 8-1/4" TEXTURED (HARDI CM) BRICK: 1ST CHOICE US BRICK "HUNTINGTON" BRICK: 2ND CHOICE ACME "CHERRY HILL" MORTAR: GREY</p> <p>SHINGLE SELECTION COLOR: SABLEWOOD NUMBER: ELK PRESTIQUE 30 YEAR</p> <p>PITTSBURGH PAINT COLORS: SIDING, SOFFIT, FASCIA & TRIM: ASPEN WHITE 32 SHUTTERS & FRONT DOOR: BLACK</p> <p>FRONT DOOR: "PAINT GRADE SIX PANEL FIBER CLAD WITH PEEP HOLE" FRONT DOOR HARDWARE: STANDARD POLISHED BRASS</p> <p>INTERIOR SELECTIONS INTERIOR DOORS: CLASSIC FLAT PANEL DOORS DOOR HARDWARE: STANDARD POLISHED BRASS FIXTURES</p> <p>INTERIOR PAINT COLORS: WALLS: SUMMERTIME 46 TRIM: MONARCH "WHITE CHIP" 45 CEILINGS: MONARCH "MOPAKO" 6600 KITCHEN COUNTERTOPS & COVED BACKSPLASH: NEVAMAR ALN-002T "DECADENT ALLUSION TEXTURED" GULF & BASCO KITCHEN CABINETS FLAT PANEL 30" UPPERS OAK: GOLD STAIN</p> <p>KITCHEN SINK: STAINLESS STEEL 5" DOUBLE BOWL KITCHEN SINK FAUCET: MOEN 7900 POLISHED CHROME BATHROOM CABINETS: PAINT GRADE "WHITE CHIP" FLAT PANEL BATHROOM VANITIES: WHITE CULTURED MARBLE</p> <p>BATH SINK FAUCET(S): MOEN 4920 POLISHED CHROME TUB/SHOWER FAUCET(S): MOEN L2352 & 3926 POLISHED CHROME BATHROOM HARDWARE: POLISHED CHROME FIXTURES BATHROOM WINDOWS: OBSCURE BATHROOM SHOWER DOOR: OBSCURE</p> <p>LAUNDRY/UTILITY CABINETS/SHELVES: PAINT GRADE "WHITE CHIP" FIREPLACE MANTLE SELECTION: STANDARD MANTLE ONLY W/OUT FLUTE BRICK SURROUND & HEARTH: US BRICK "HUNTINGTON" (SAME AS EXTERIOR)</p> <p>GROUT/MORTAR: STANDARD GREY CARPET: STANDARD CARPET: MEDALLION DRY TINDER 742 CARPET PAD: STANDARD 3/18" CARPET PAD</p> <p>CERAMIC TILE FLOORING: DELANO PARK BEIGE 12" X 12" GROUT: C-CURE RUST 24</p> <p>ROOMS: FOYER, KITCHEN, BREAKFAST, MASTER BATHROOM (PER PLAN)</p> <p>CERAMIC TILE FLOORING: CREEKSTONE BONE 12" X 12" GROUT: C-CURE CANVAS 251</p> <p>ROOMS: UTILITY & SECOND BATH</p> <p>APPLIANCES: MAYTAG DISHWASHER PDB2600AWB BLACK MAYTAG 30" CONVERTIBLE HOOD UXT4030AAB BLACK MAYTAG 30" GAS RANGE MGR5750BDB BLACK MAYTAG TOP FREEZER/REFRIGERATOR: PTB1954GRB BLACK SWITCH PLATE COVERS: WHITE FINISH TOGGLE INTERIOR LIGHTING: NEW SEA GULL CLASSIC FIXTURES PACKAGE CEILING FAN: WHITE LIGHT KIT & WHITE BLADES</p>	<p>1. PULL ALL DIMENSIONS FROM REAR OF STRUCTURE. 2. DETAILS AND SPECIFICATIONS ARE SHOWN AS TYPICAL REQUIREMENTS AND MAY HAVE TO BE ALTERED TO REFLECT MUNICIPALITY, CODE, OR DEED RESTRICTION REQUIREMENTS PER LOCATION. 3. THIS PLAN IS SUBJECT TO CHANGE AT THE BUILDERS DISCRETION. 4. ALL MEASUREMENTS AND DIMENSIONS ARE GUIDELINES FOR CONSTRUCTION USE ONLY. 5. THIS PLAN IS THE PROPERTY OF DESIGN TECH HOMES L.P. 6. SPECIFICATIONS AND FEATURES SHALL BE DETAILED ON DESIGN TECH SPECS FEATURE SHEET.</p> <p style="text-align: center;">TYPICAL DESIGN DATA</p> <p>GENERAL CONDITIONS The work contained in these drawing documents shall be performed under the general conditions of the latest edition of the contract for construction. On site verification of all dimensions and conditions shall be the responsibility of the contractors. The builder shall be notified should any discrepancy or questions arise pertaining to these drawings. No changes shall be made without review by the designer or builder. All work performed and materials used shall comply with the following: a) All applicable local and state codes, ordinances and regulations. b) Manufacturers specifications and trade association recommendations. c) Accepted engineering and construction practices. Notes on drawings shall apply to all similar conditions whether they are repeated or not.</p> <p>FOUNDATIONS/ CONCRETE All foundations shall be designed and built according to the engineer's specifications. Concrete flatwork shall conform to building code requirements for reinforced concrete and specifications for structural concrete. Apply broom finish to exterior concrete porches and steps.</p> <p>MASONRY Brick or stone masonry shall conform to building code requirements for engineered brick or stone masonry. All brick and stone colors are based on manufacturers specifications and not the responsibility of Design Tech Homes. Masonry ties; galvanized 20 gauge corrugated metal ties, provide 24" o.c. vertically and 16" o.c. horizontally as necessary. All ties to be secured with galvanized nails at each location. Do not install masonry work when temperature falls below 30 degrees F.</p> <p>WOOD AND LUMBER CONSTRUCTION All rough carpentry framing and materials shall conform to recognized industry standards. Pressure treated lumber to be used wherever lumber is in contact with masonry or concrete.</p> <p>DOORS AND WINDOWS Main entry doors and exterior doors to be either fiber classic or solid raised panel unless otherwise noted on the drawings. Interior doors to be hollow core and painted unless otherwise specified by owner. Mount door hardware as required to comply with governing standards.</p> <p>FINISHES Interior and exterior colors to be selected by home owner. Gypsum wallboard to comply with applicable industry requirements. Ceramic tile to comply with the manufacturers specifications. All carpeted surfaces to be installed per manufacturers specifications.</p> <p>SPECIAL CONSTRUCTION All fireplace equipment shall be installed in accordance with manufacturers recommendations and in compliance with all applicable codes.</p> <p>MECHANICAL Contractor shall provide all labor, materials and equipment to complete the design and installation of heating, cooling, and ventilating systems, including but not limited to heating distribution, air conditioning system humidification, temperature and humidification controls, exhaust fans, gas fired equipment flues and appliance vents. Dryer to be vented directly to the exterior and provided with back draft dampers. All water heaters to have a drain pan and auxiliary drain line installed to the exterior.</p> <p>ELECTRICAL For service and distribution, provide a fully grounded, electrical service of amperage required by electrical demand. Maximum 10 receptacles or lights on a single circuit. All directly connected HVAC and kitchen appliances are to be direct wired by electrician. Electrical installation per 2002 national electric code. All smoke detectors shall be wired in sequence with battery backup Smoke detectors per code in all bedrooms and adjacent halls per UBC requirements. 200 amp min. service to home All outlets within 6 feet of sink of wet location shall have GFI protection.</p>	<p style="text-align: center;">ELECTRICAL SYMBOLS</p> <p> CABLE TELEVISION OUTLET</p> <p> CABLE TELEVISION OUTLET W/SATELLITE PREWIRE</p> <p> CEILING FAN OR CEILING FAN W/LIGHT</p> <p> CEILING MOUNTED EXHAUST FAN (50 CFM)</p> <p> CEILING MOUNTED FLUORESCENT LIGHT (REFERENCE DRAWING FOR SIZE)</p> <p> CEILING MOUNTED INCANDESCENT LIGHT</p> <p> STANDARD OUTLET (CEILING OR SOFFIT MOUNTED)</p> <p> COMPUTER DATA LINE JACK</p> <p> DOOR BELL CHIMES</p> <p> PUSH BUTTON DOOR BELL (LOCATION PER PLAN)</p> <p> INTERIOR OR EXTERIOR ELECTRICAL PANEL (LOCATION PER PLAN)</p> <p> EXTERIOR FLOOD LIGHT (2 BULB)</p> <p> EXTERIOR FLOOD LIGHT PHOTO CELL (2 BULB)</p> <p> FAX LINE JACK</p> <p> RECESSED CAN FIXTURE</p> <p> RECESSED EYEBALL FIXTURE</p> <p> SECURITY KEYPAD LOCATION</p> <p> SMOKE DETECTOR</p> <p> TELEPHONE JACK</p> <p> WALL MOUNTED INCANDESCENT LIGHT</p> <p> HEAT LAMP</p> <p> 220 OUTLET (36" A.F.F. @ UTILITY)</p> <p> GROUND FAULT INTERRUPTER</p> <p> GROUND FAULT INTERRUPTER W/WATER PROOFING</p> <p> HALF HOT OUTLET</p> <p> STANDARD OUTLET 12" A.F.F.</p> <p> STANDARD SWITCH</p> <p> STANDARD DIMMER SWITCH</p> <p> 3 WAY SWITCH</p> <p> 3 WAY DIMMER SWITCH</p> <p> 4 WAY SWITCH</p> <p> 4 WAY DIMMER SWITCH</p> <p> STANDARD JAMB SWITCH</p> <p> SLAB DROP/ CAR STOP / FOUNDATION BREAK</p> <p style="text-align: center;">UTILITY CONNECTION SYMBOLS</p> <p> COLD WATER CONNECTION (typical @ refrigerator)</p> <p> HOT AND COLD WATER CONNECTION (typical @ washer and dryer)</p> <p> HOSE BIB (verify number and location per plan)</p> <p> GAS CONNECTION (natural or propane)</p> <p> SEPTIC PUMP (verify location per septic design)</p> <p> SANITARY WASTE CONNECTION (septic or city sewer)</p> <p> WATERLINE CONNECTION</p>	<p style="text-align: center;">FLOORING SYMBOLS</p> <table border="0"> <tr> <td>H.S.</td> <td>HARD SURFACE / SELECTION BY H/O</td> </tr> <tr> <td>CONC.</td> <td>CONCRETE</td> </tr> <tr> <td>CPT.</td> <td>CARPET</td> </tr> <tr> <td>TILE</td> <td>CERAMIC FLOOR TILE</td> </tr> <tr> <td>VINYL</td> <td>SHEET VINYL</td> </tr> <tr> <td>WOOD</td> <td>WOOD FLOOR OR WOOD LAMINATE FLOOR</td> </tr> </table> <p style="text-align: center;">FRAMING SYMBOLS</p> <table border="0"> <tr> <td>CANT.</td> <td>CANTILEVER</td> </tr> <tr> <td>DB.</td> <td>DROP BEAM</td> </tr> <tr> <td>DBL.</td> <td>DOUBLE JOIST OR RAFTER</td> </tr> <tr> <td>FB.</td> <td>FLUSH BEAM</td> </tr> <tr> <td>LVL.</td> <td>LAMINATED VENEER LUMBER</td> </tr> <tr> <td>MICRO.</td> <td>MICROLLAM LVL BEAM</td> </tr> <tr> <td>O.C.</td> <td>ON CENTER</td> </tr> <tr> <td>PARA.</td> <td>PARALLAM PSL BEAM</td> </tr> <tr> <td>S.Y.P.</td> <td>SOUTHERN YELLOW PINE</td> </tr> </table> <p style="text-align: center;">GENERAL SYMBOLS</p> <table border="0"> <tr> <td>A.F.F.</td> <td>ABOVE FINISHED FLOOR</td> </tr> <tr> <td>C.O.</td> <td>CASED OPENING</td> </tr> <tr> <td>1R1S</td> <td>1 ROD & 1 SHELF</td> </tr> <tr> <td>2R1S</td> <td>2 RODS & 1 SHELF</td> </tr> <tr> <td>2R2S</td> <td>2 RODS & 2 SHELVES</td> </tr> <tr> <td>3R2S</td> <td>3 RODS & 2 SHELVES</td> </tr> <tr> <td>3R3S</td> <td>3 RODS & 3 SHELVES</td> </tr> <tr> <td>D.W.</td> <td>DISHWASHER</td> </tr> <tr> <td>DISP.</td> <td>DISPOSAL</td> </tr> <tr> <td>F.F.</td> <td>FINISHED FLOOR</td> </tr> <tr> <td>F.P.</td> <td>FIREPLACE</td> </tr> <tr> <td>HRDBD.</td> <td>HARDBOARD</td> </tr> <tr> <td>K.S.</td> <td>KNEE SPACE</td> </tr> <tr> <td>M.C.</td> <td>MEDICINE CABINET</td> </tr> <tr> <td>MICRO.</td> <td>MICROWAVE</td> </tr> <tr> <td>MLD.</td> <td>MOLDING</td> </tr> <tr> <td>O.H. 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The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.</p> <p>This plan is protected under the Federal Copyright Act by Design Tech Homes L.P. Copyright protection official red seal of authority. If this seal is not printed in red the use or reproduction of this plan or blueprint may be an infringement of the Federal Copyright Act.</p>	H.S.	HARD SURFACE / SELECTION BY H/O	CONC.	CONCRETE	CPT.	CARPET	TILE	CERAMIC FLOOR TILE	VINYL	SHEET VINYL	WOOD	WOOD FLOOR OR WOOD LAMINATE FLOOR	CANT.	CANTILEVER	DB.	DROP BEAM	DBL.	DOUBLE JOIST OR RAFTER	FB.	FLUSH BEAM	LVL.	LAMINATED VENEER LUMBER	MICRO.	MICROLLAM LVL BEAM	O.C.	ON CENTER	PARA.	PARALLAM PSL BEAM	S.Y.P.	SOUTHERN YELLOW PINE	A.F.F.	ABOVE FINISHED FLOOR	C.O.	CASED OPENING	1R1S	1 ROD & 1 SHELF	2R1S	2 RODS & 1 SHELF	2R2S	2 RODS & 2 SHELVES	3R2S	3 RODS & 2 SHELVES	3R3S	3 RODS & 3 SHELVES	D.W.	DISHWASHER	DISP.	DISPOSAL	F.F.	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REVISIONS							
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Customer Name: BEV & MIKE KONZEM				Sales Consultant: MIKE NUNN			
Customer Signature of Approval:				Sales Signature of Approval:			
Checked by: DP		Job No.: 5295		Drawn By: JH		Date: 10/06/03	
				Scale: 1/8" = 1'-0"			
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Sheet No.: 2 of 14							
General Notes							

FINAL PLAN



SQUARE FOOTAGES:

TOTAL SLAB:	2619 SQ. FT.
FRONT PORCH:	198 SQ. FT.
REAR PORCH:	96 SQ. FT.
GARAGE:	499 SQ. FT.
<hr/>	
FIRST FLOOR LIVING:	1826 SQ. FT.
<hr/>	
SECOND FLOOR:	304 SQ. FT.
SECOND FLOOR LIVING:	304 SQ. FT.
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FIRST FLOOR LIVING:	1826 SQ. FT.
SECOND FLOOR LIVING:	304 SQ. FT.
<hr/>	
TOTAL LIVING:	2130 SQ. FT.
TOTAL FRAMING:	2923 SQ. FT.

FIRST FLOOR PLAN
 THIS IS AN ENERGY STAR PLAN
 THIS IS A NATURAL GAS HOUSE
 HEALTHY HOME FILTRATION SYSTEM
 CLASSIC FEATURE LEVEL

NOTE: VERIFY LOCATION OF SEPTIC / WATER / ELECT. W/ HOMEOWNER

NOTE: MAXIMUM SPAN FOR ANY CLOSET ROD IS 42"

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1	F1103030G	5
2	WT128030C	6
3		7
4		8

REVISIONS

Parent Plan: Cts 1850-A SAN JACINTO
 Customer Name: BEV & MIKE KONZEM
 Sales Consultant: MIKE NUNN
 Customer Signature of Approval:
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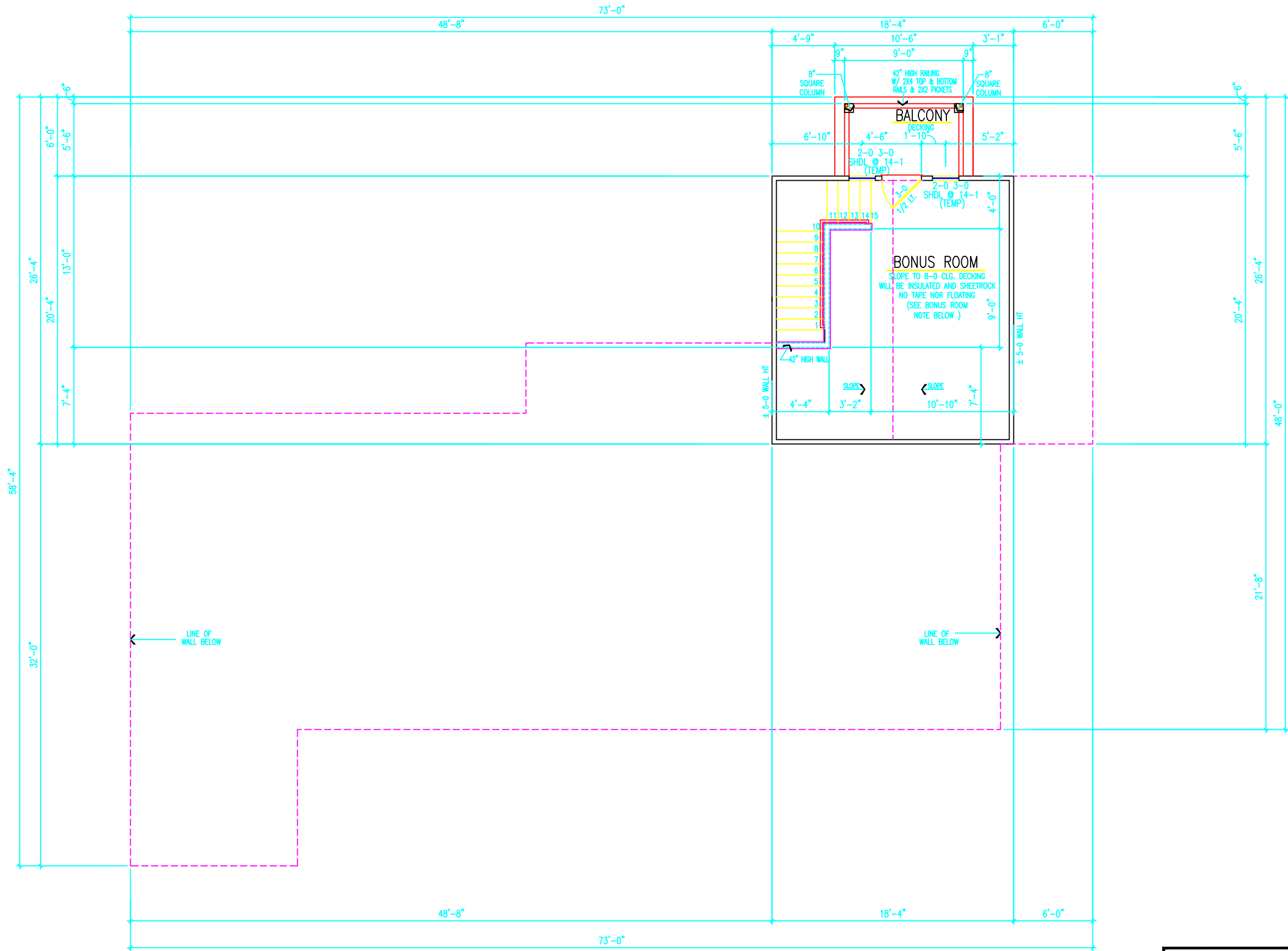
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Sheet No.: 3 of 14
 First Floor Plan

FINAL PLAN



SECOND FLOOR PLAN
 THIS IS AN ENERGY STAR PLAN
 THIS IS A NATURAL GAS HOUSE
 HEALTHY HOME FILTRATION SYSTEM
 CLASSIC FEATURE LEVEL

NOTE: BONUS ROOM IN COMPLIANCE WITH IRC 2000 CODE

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2	W112803CO
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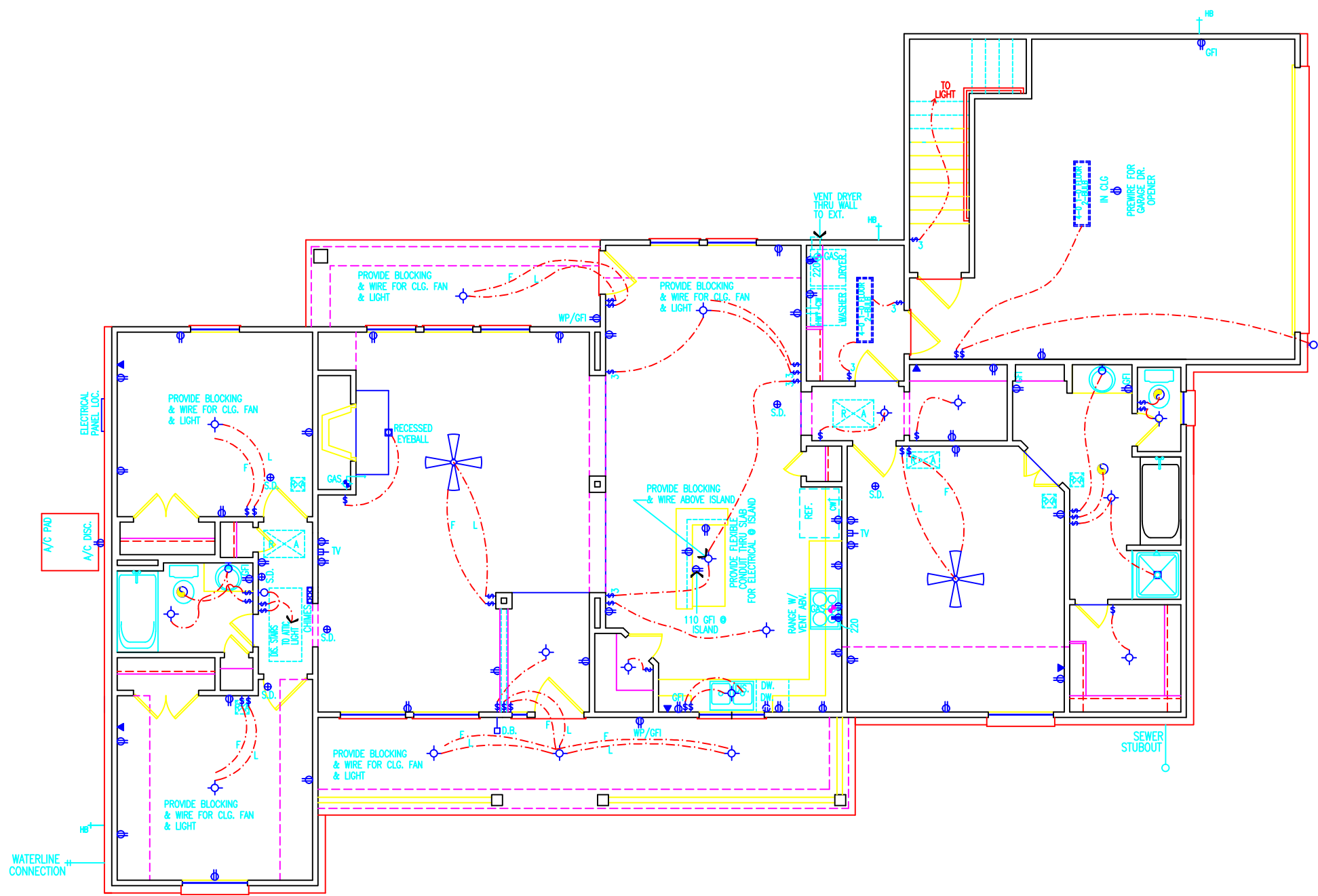
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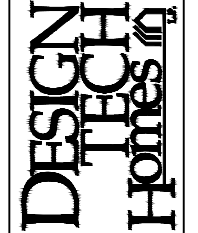
FINAL PLAN

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Sheet No.: 4 of 14
 Second Floor Plan

FIRST FLOOR ELECTRICAL PLAN
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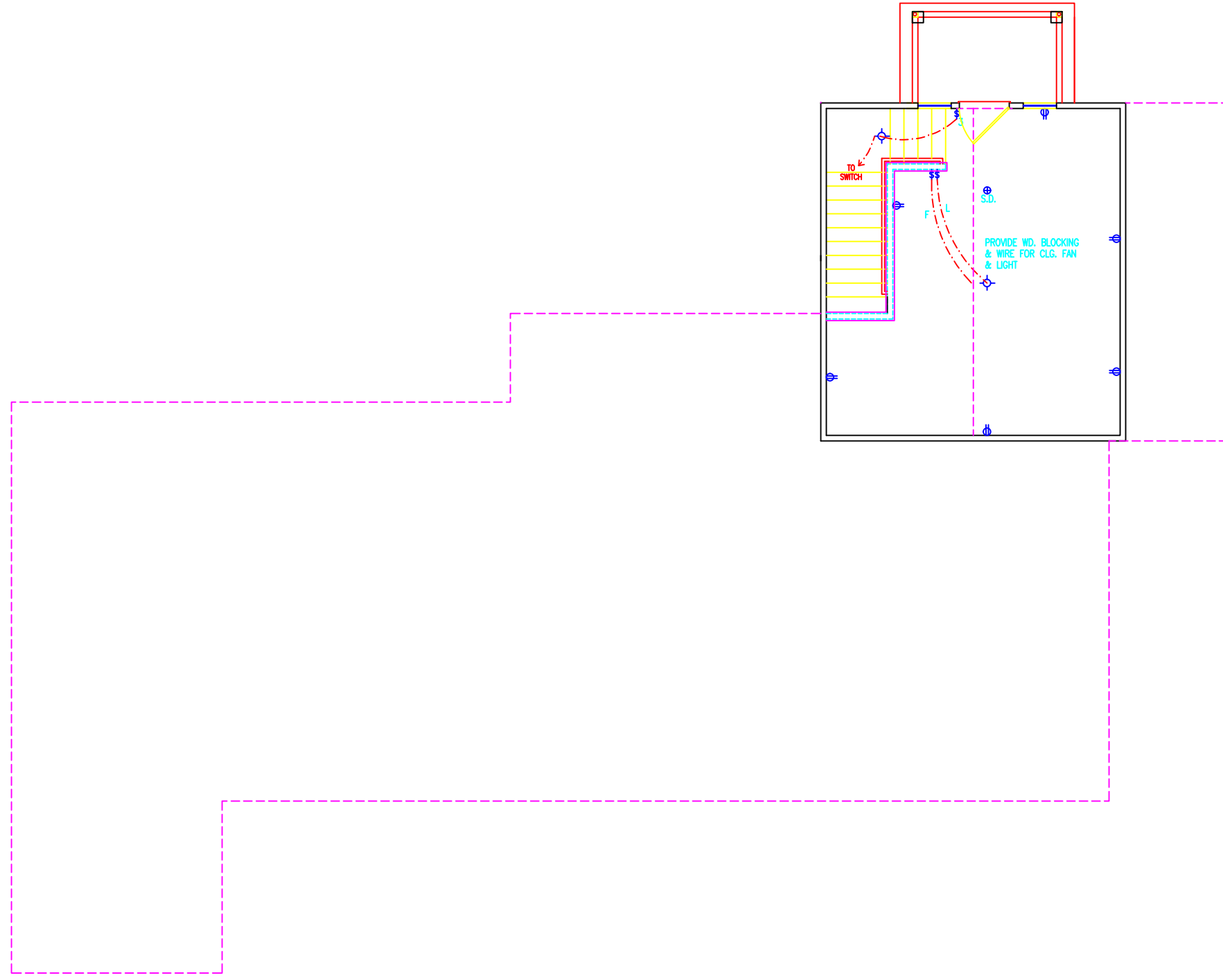
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Customer Signature of Approval:	Sales Signature of Approval:
Checked by: DP	Job No.: 5295
Drawn By: JH	Date: 10/06/03
	Scale: 1/8" = 1'-0"

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1	F110303OG	5
2	W112803CO	6
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SECOND FLOOR ELECTRICAL PLAN
 THIS IS AN ENERGY STAR PLAN
 THIS IS A NATURAL GAS HOUSE
 HEALTHY HOME FILTRATION SYSTEM
 CLASSIC FEATURE LEVEL

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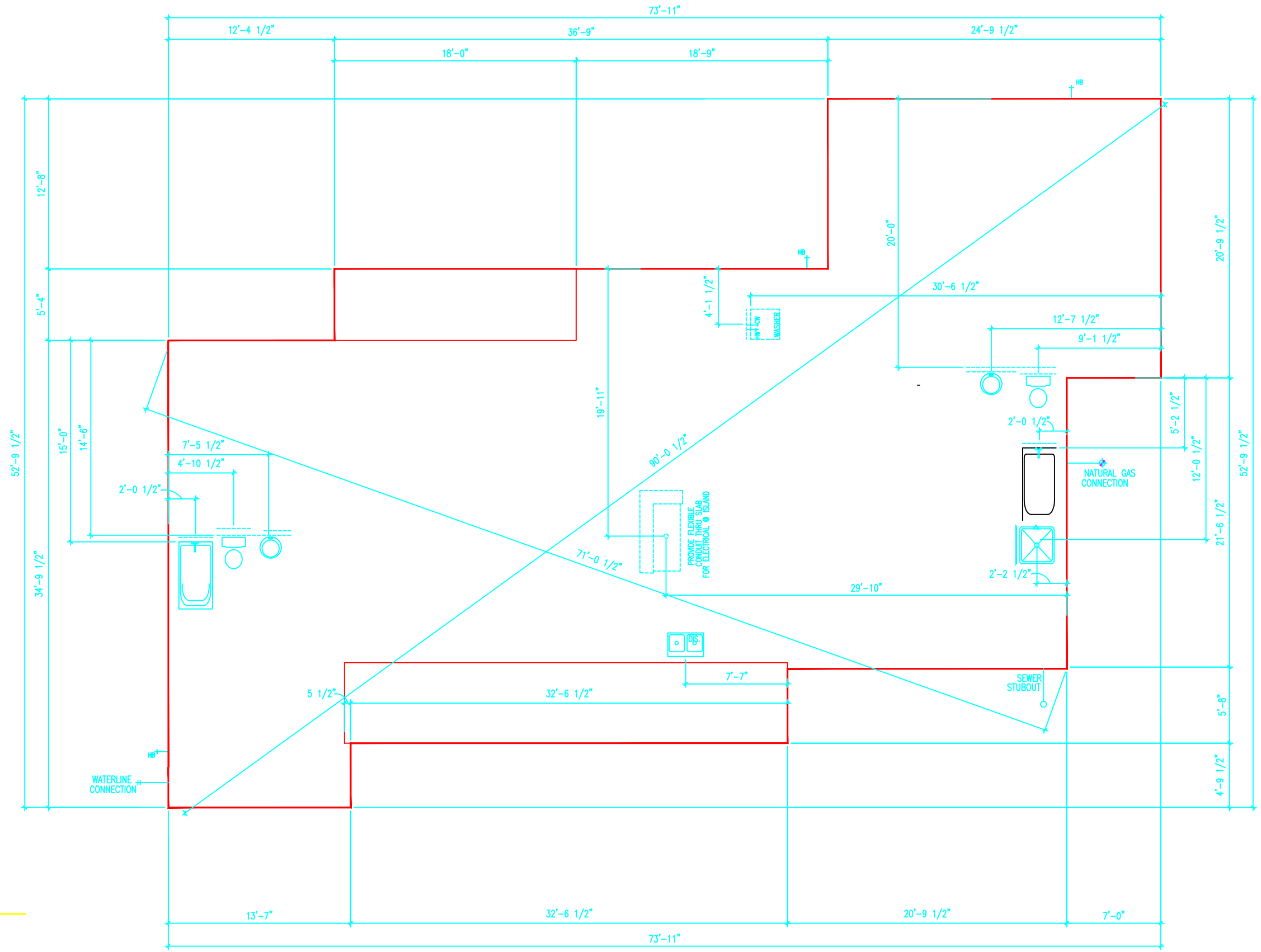
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FORM SET - UTILITY PLAN



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San Antonio
 24170 Highway 281 North
 San Antonio, Texas 78258
 (800) 990-5556
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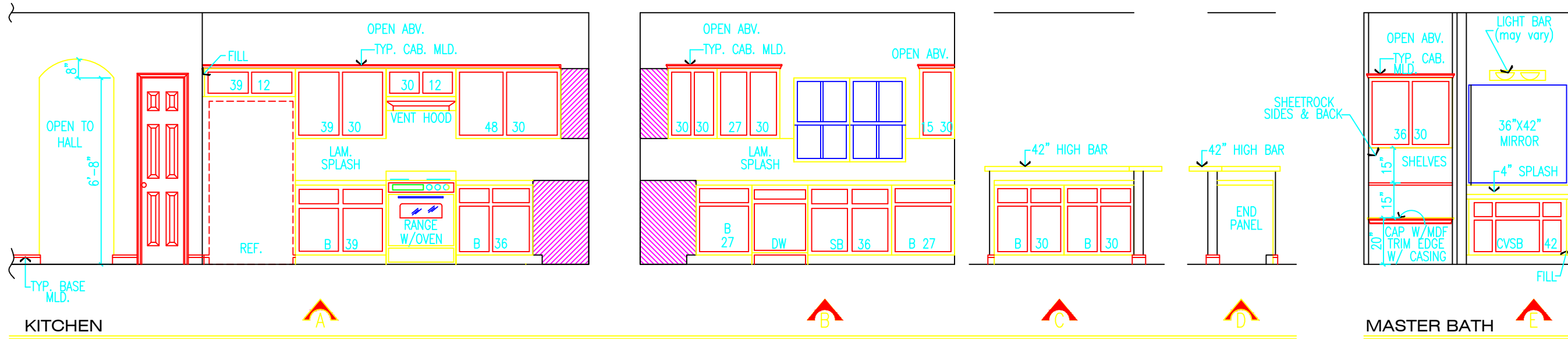
Sheet No.: 9 of 14
 Form Set
 Utility Plan

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 Customer Signature of Approval: Sales Signature of Approval: Scale: 1/8" = 1'-0"
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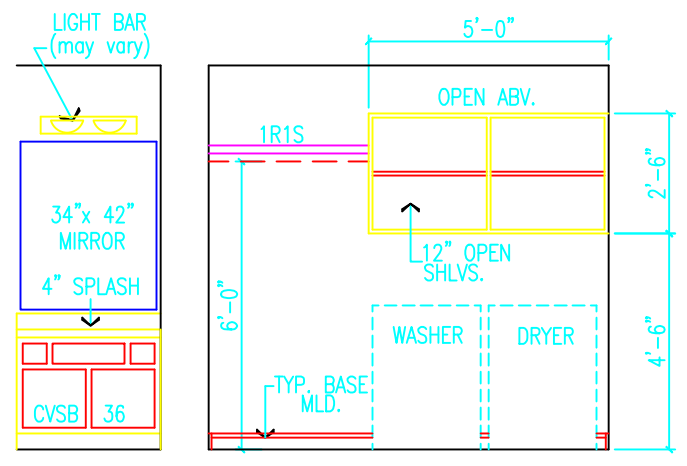
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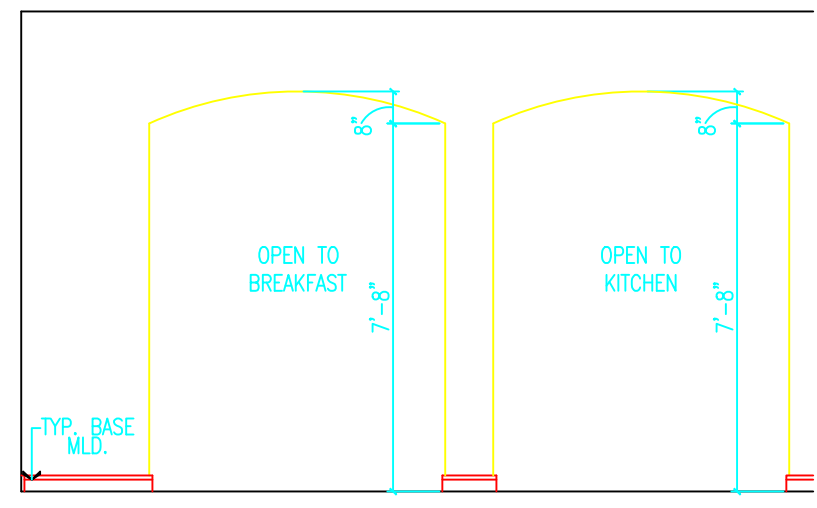
KITCHEN

MASTER BATH

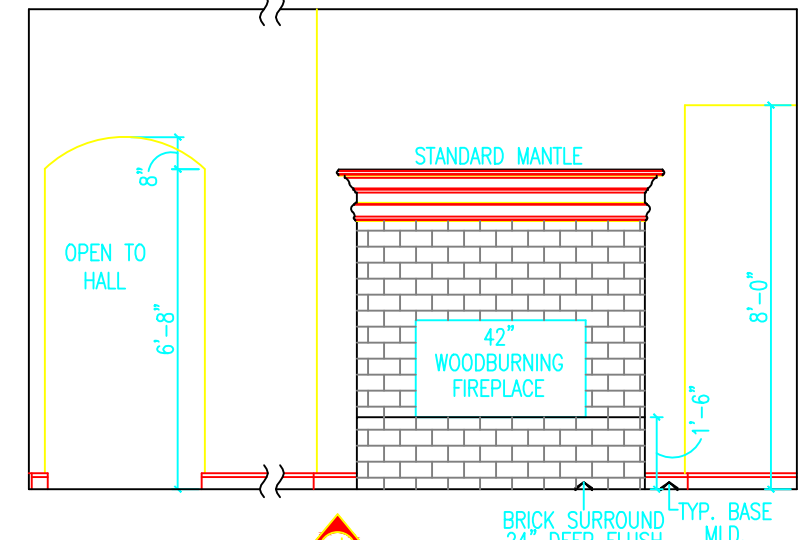


BATH 2

UTILITY



FAMILY ROOM



FAMILY ROOM

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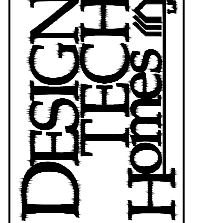
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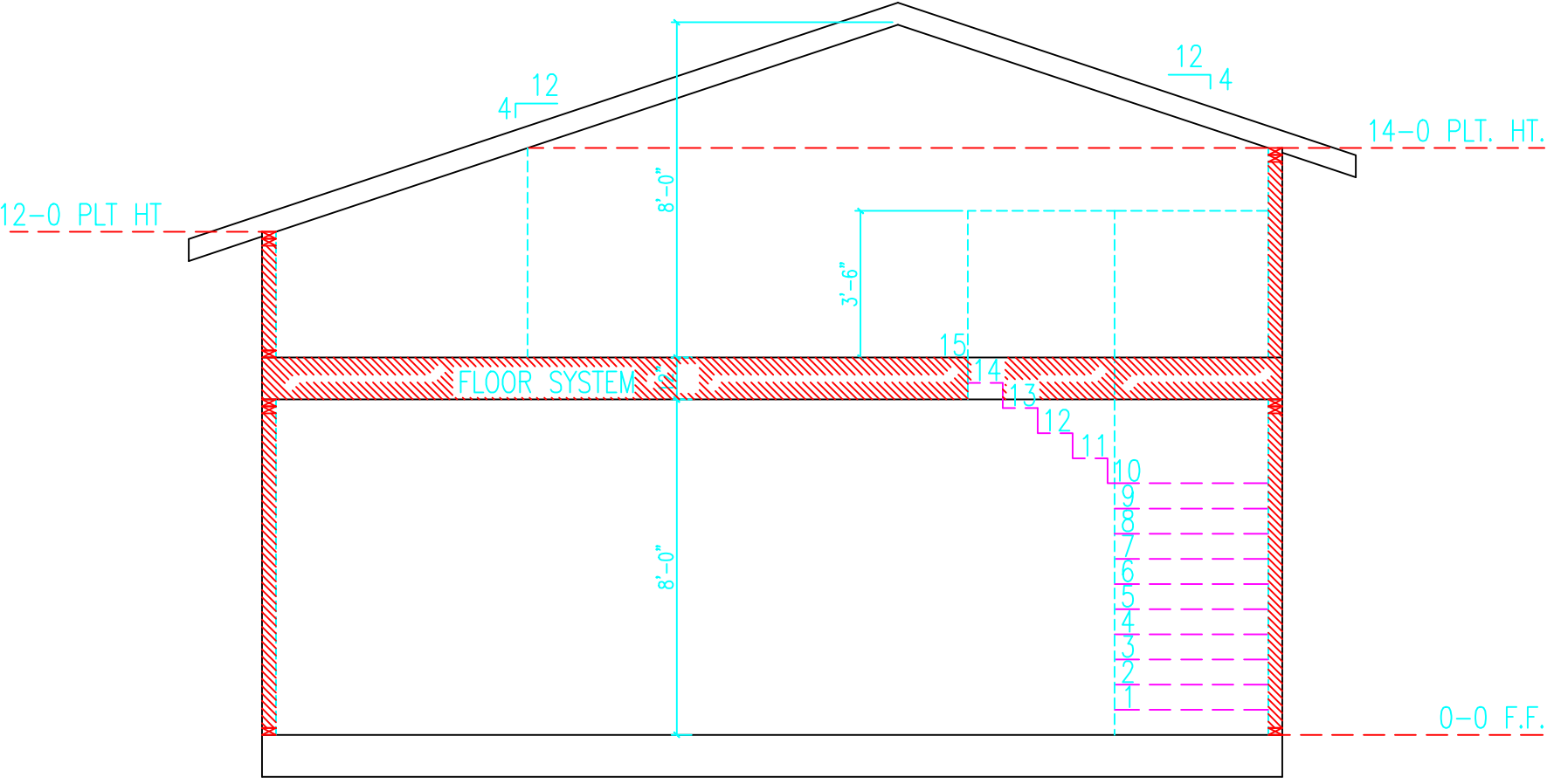
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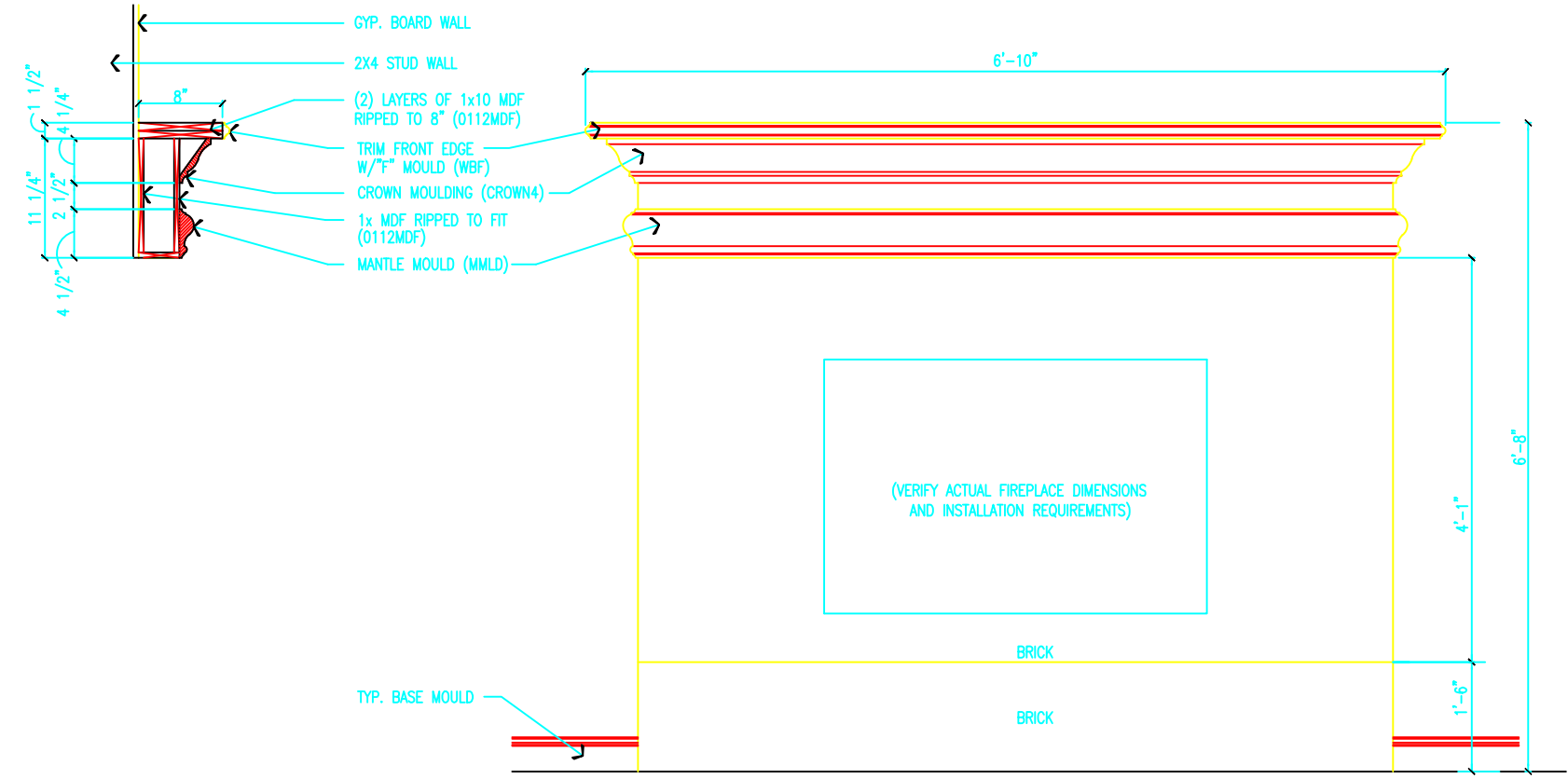
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Interior Elevations

FINAL PLAN



BONUS ROOM OVER GARAGE



FIREPLACE MANTLE DETAIL

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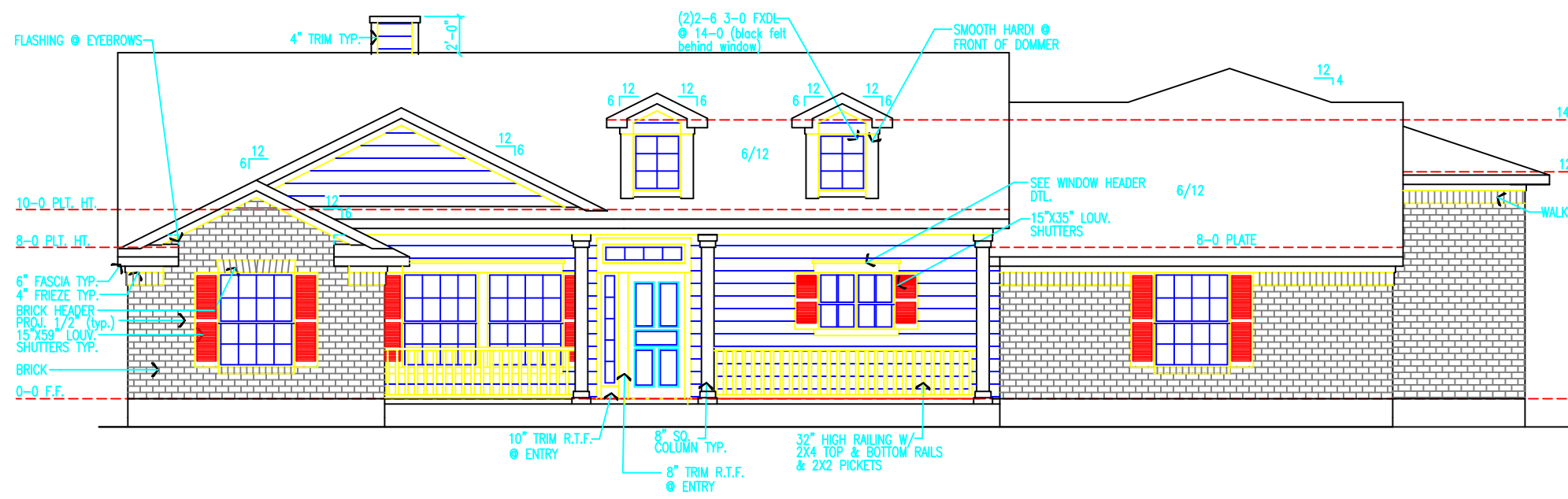
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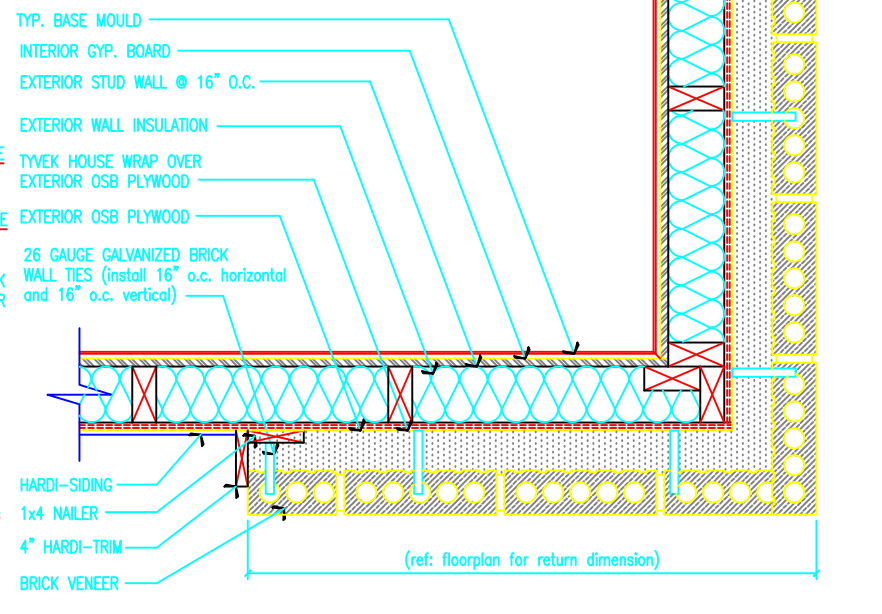
FINAL PLAN

Sheet No.: 11 of 14
 Interior Elevations

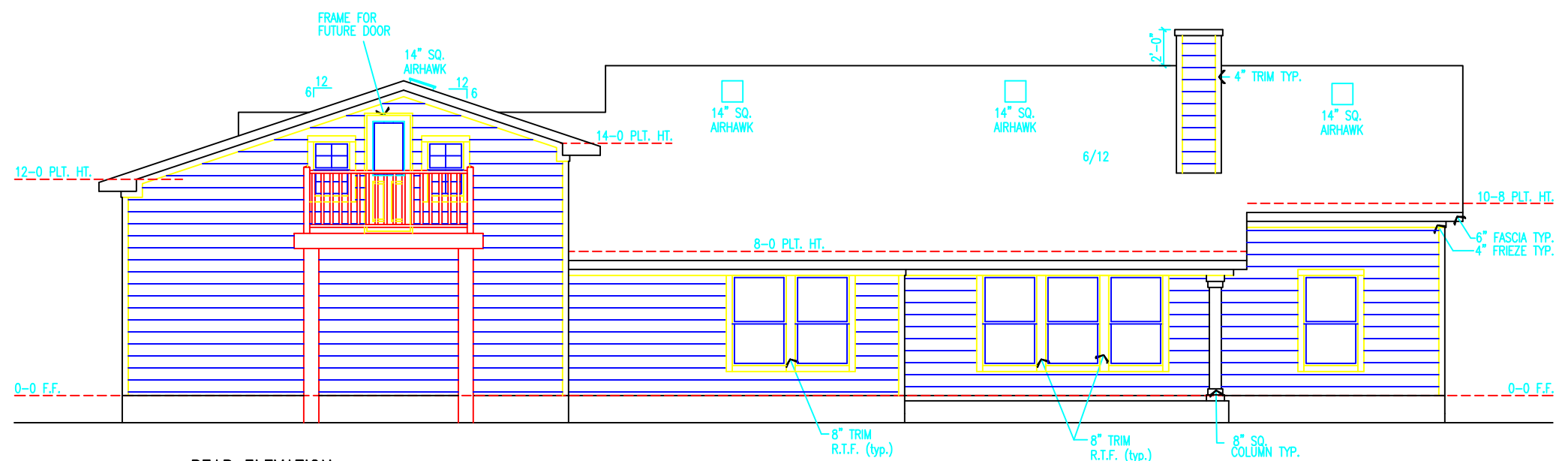
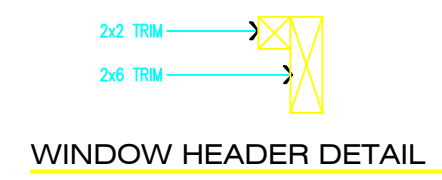
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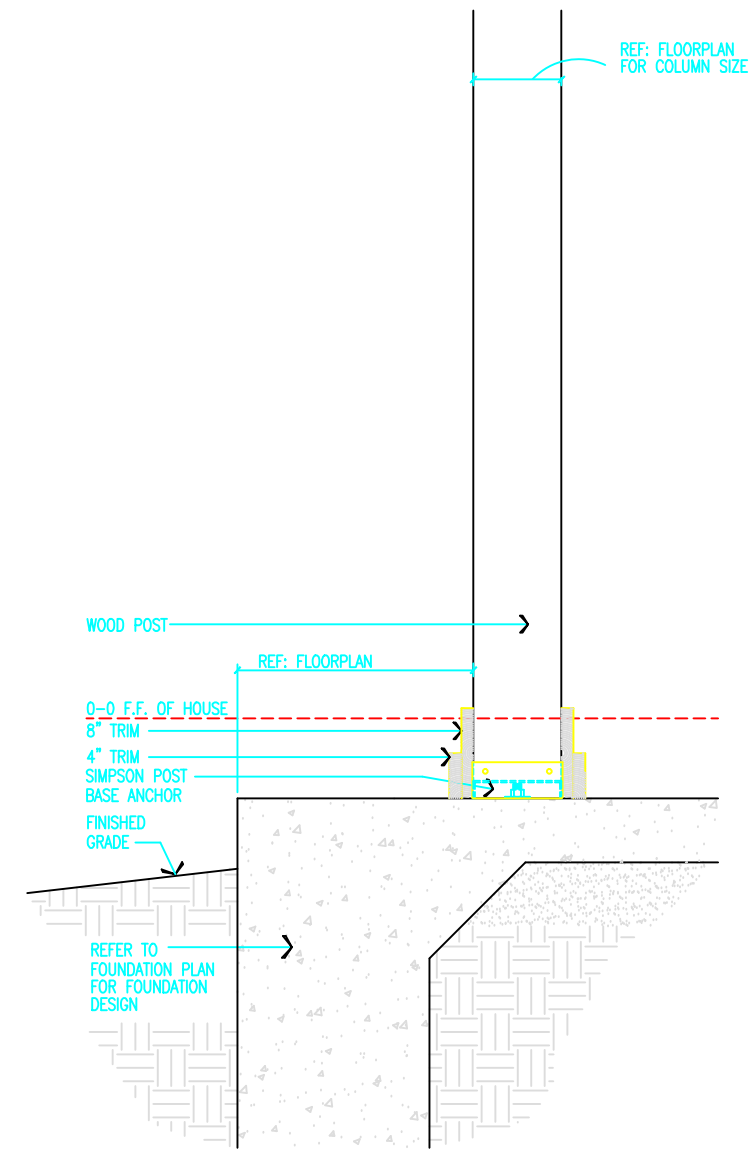
FRONT ELEVATION



TYPICAL BRICK RETURN DETAIL - HARDI TRIM



REAR ELEVATION



TYPICAL SQUARE COLUMN DETAIL

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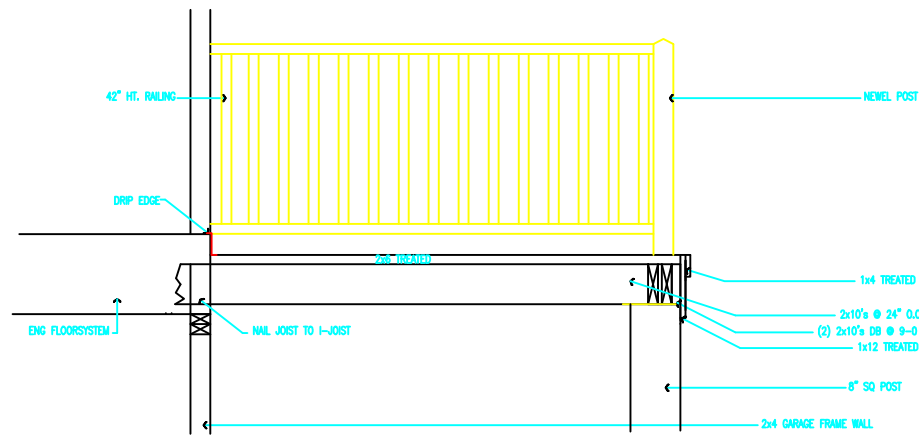
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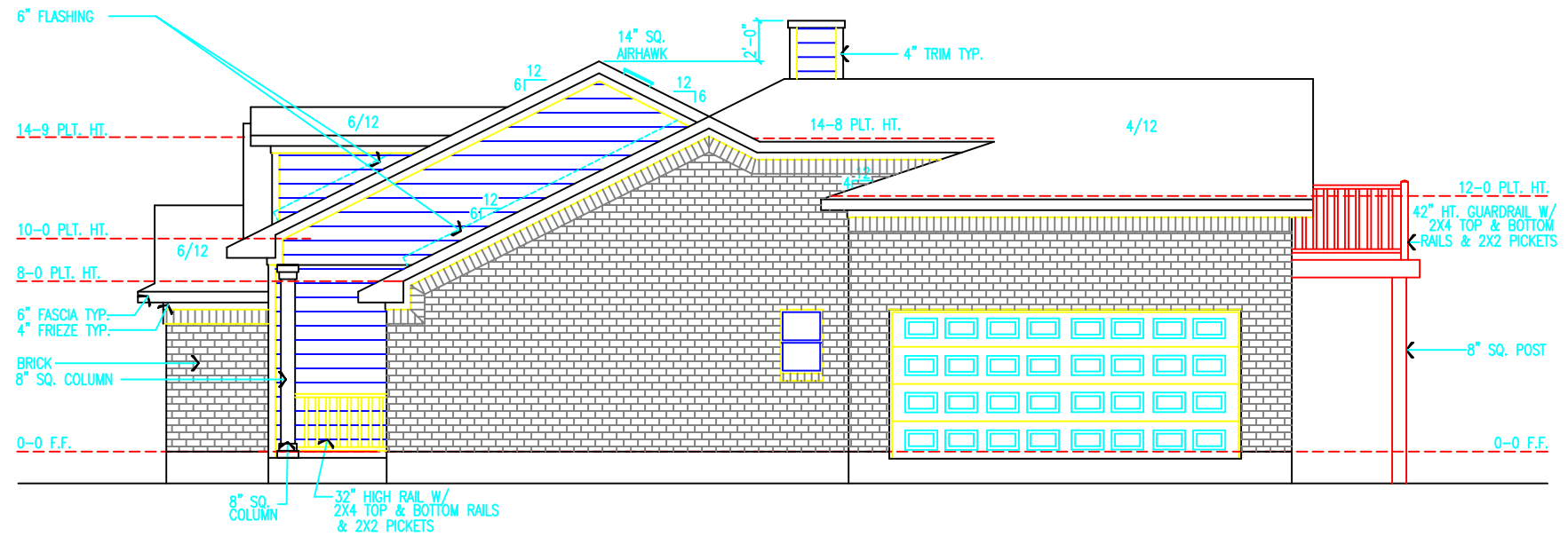
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Sheet No.: 12 of 14
 Elevations

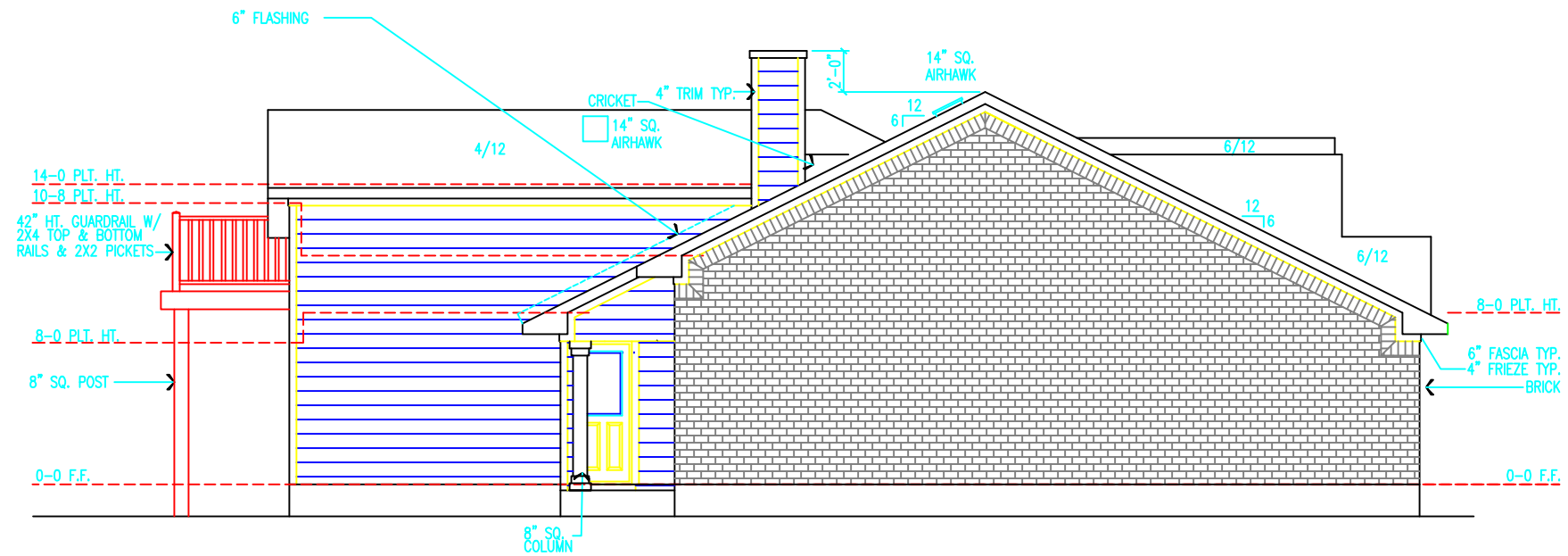
FINAL PLAN



SECTION THROUGH BALCONY
NOT TO SCALE



RIGHT ELEVATION



LEFT ELEVATION

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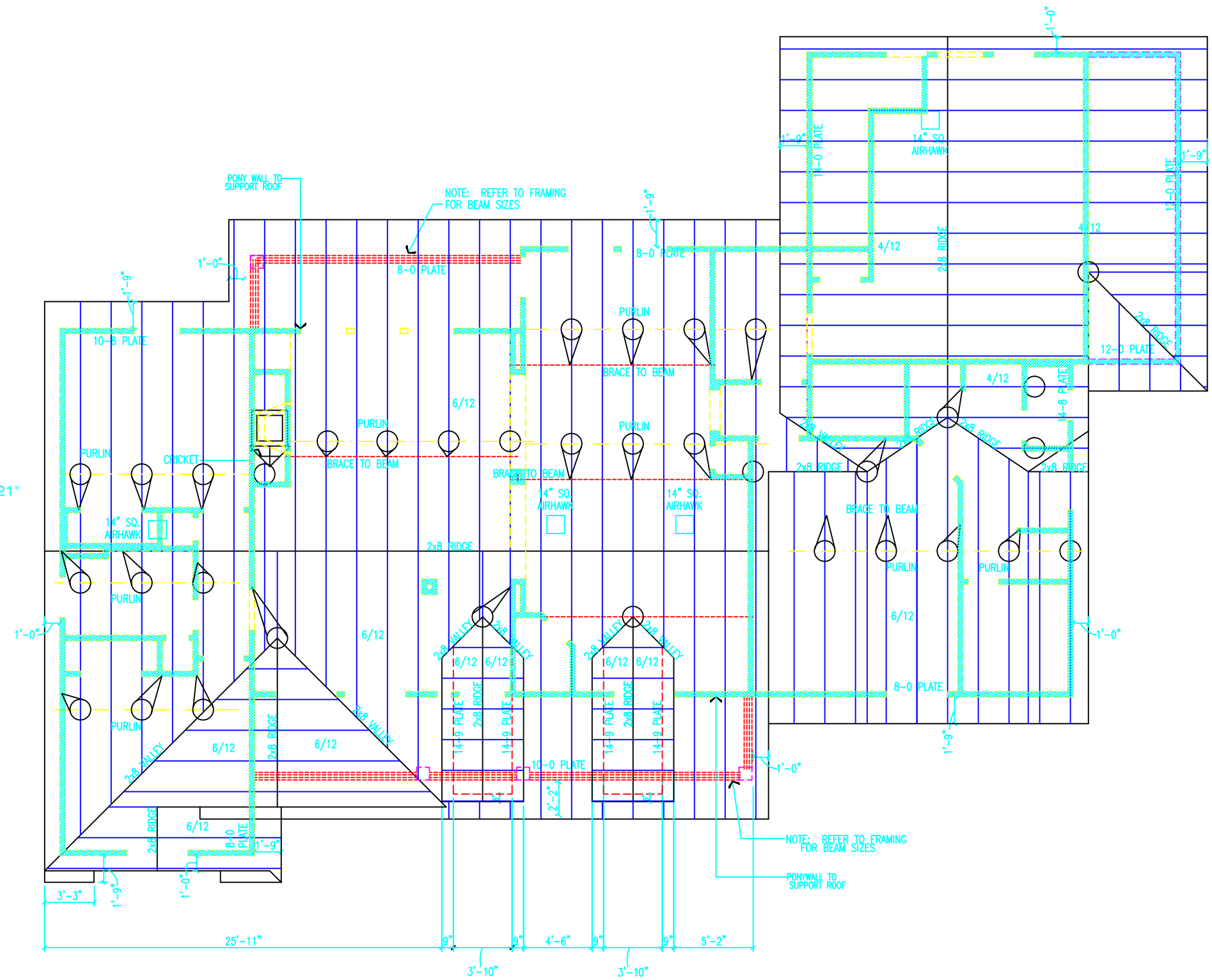
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 Fax: (830) 980-5553

ROOF NOTES:

- ALL MEMBERS TO BE #3 S.Y.P. 2x6's @ 24" O.C. UNLESS OTHERWISE NOTED.
- PURLINS TO BE SUPPORTED BY BRACING NO SMALLER THAN 2x4 TO LOAD BEARING WALLS OR BEAMS W/MIN. 45° ANGLE.
- SPANS BETWEEN PURLINS:
 2x6 @ 24" O.C. 9'-6"
 2x6 @ 16" O.C. 11'-8"
 2x8 @ 24" O.C. 12'-1"
 2x8 @ 16" O.C. 14'-10"
- PURLINS TO BE THE SAME SIZE AS RAFTERS.
- OVERHANGS @ 6/12 PITCH TO BE 21" FROM FRAME ALL OTHERS TO MATCH.
- GABLE END OVERHANGS TO BE 12" FROM FRAME.
- SIZE ALL RIDGES & VALLEY RAFTERS ONE SIZE LARGER THAN THE RAFTER ADJOINING.

ROOF NOTES:

- TODA LA MADERA DEBERA SER DEL #3 S.Y.P. DE 2x6' Y A CADA 24" DE CENTRO A CENTRO A MENOS QUE SEA ESPECIFICADO DE OTRA FORMA
- LOS PURLINS DEBERAN SER REFORZADOS CON CUNAS NO MENORES 2x4 Y DEBERAN SER CON UN ANGULO MINIMO DE 45 GRADOS COLOCADOS SOBRE MUROS DE CARGA O DE VIGAS.
- DISTANCIA ENTRE LOS PURLINS
 2x6 A CADA 24" DE CENTROS. Y NO MAS DE 9'-6" DE DISTANCIA
 2x6 A CADA 16" DE CENTROS. Y NO MAS DE 11'-8" DE DISTANCIA
 2x8 A CADA 24" DE CENTROS. Y NO MAS DE 12'-1" DE DISTANCIA
 2x8 A CADA 16" DE CENTROS. Y NO MAS DE 14'-10" DE DISTANCIA
- LOS PURLINS DEBERAN SER DE LA MISMA MEDIDA DE LAS CABRIAS
- LOS VOLADOS EN TECHOS CON PENDIENTES DE 6 EN 12 SERAN DE 21" DESDE LA PARTE EXTERIOR DE LA ESTRUCTURA TODOS LOS DEMAS TIENEN QUE COINCIDIR
- EL VOLADO PARA LOS GABLES SERA DE 12"
- LAS SECCIONES USADAS PARA LAS CUMBRERAS Y VALLES DEBERAN SER UNA MEDIDA MAS GRANDE DE LAS CABRIAS A USAR.



ROOF PLAN

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ELEVATIONS							

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