

GENERAL NOTES

1. NO FIELD WORK HAS BEEN PERFORMED.
2. THIS PROPERTY IS SUBJECT TO ADDITIONAL EASEMENTS OR RESTRICTIONS OF RECORD.
3. CARTER AND CLARK SURVEYORS IS UNABLE TO WARRANT THE ACCURACY OF BOUNDARY INFORMATION, STRUCTURES, EASEMENTS, AND BUFFERS THAT ARE ILLUSTRATED ON THE SUBDIVISION PLAT.
4. UTILITY EASEMENT HAS NOT BEEN FIELD VERIFIED BY SURVEYOR. CONTACT UTILITY CONTRACTOR FOR LOCATION PRIOR TO CONSTRUCTION. (IF APPLICABLE)
5. THIS PLAT IS FOR EXCLUSIVE USE BY CLIENT. USE BY THIRD PARTIES IS AT THEIR OWN RISK.
6. DIMENSIONS FROM HOUSE TO PROPERTY LINES SHOULD NOT BE USED TO ESTABLISH FENCES.
7. CITY SIDEWALKS, DRIVEWAY APPROACHES, AND OTHER IMPROVEMENTS INSIDE THE CITY'S RIGHT OF WAY ARE PROVIDED FOR DEMONSTRATION PURPOSES ONLY. CONSULT THE DEVELOPMENT PLANS FOR ACTUAL CONSTRUCTION.
8. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 43,107 FEET.

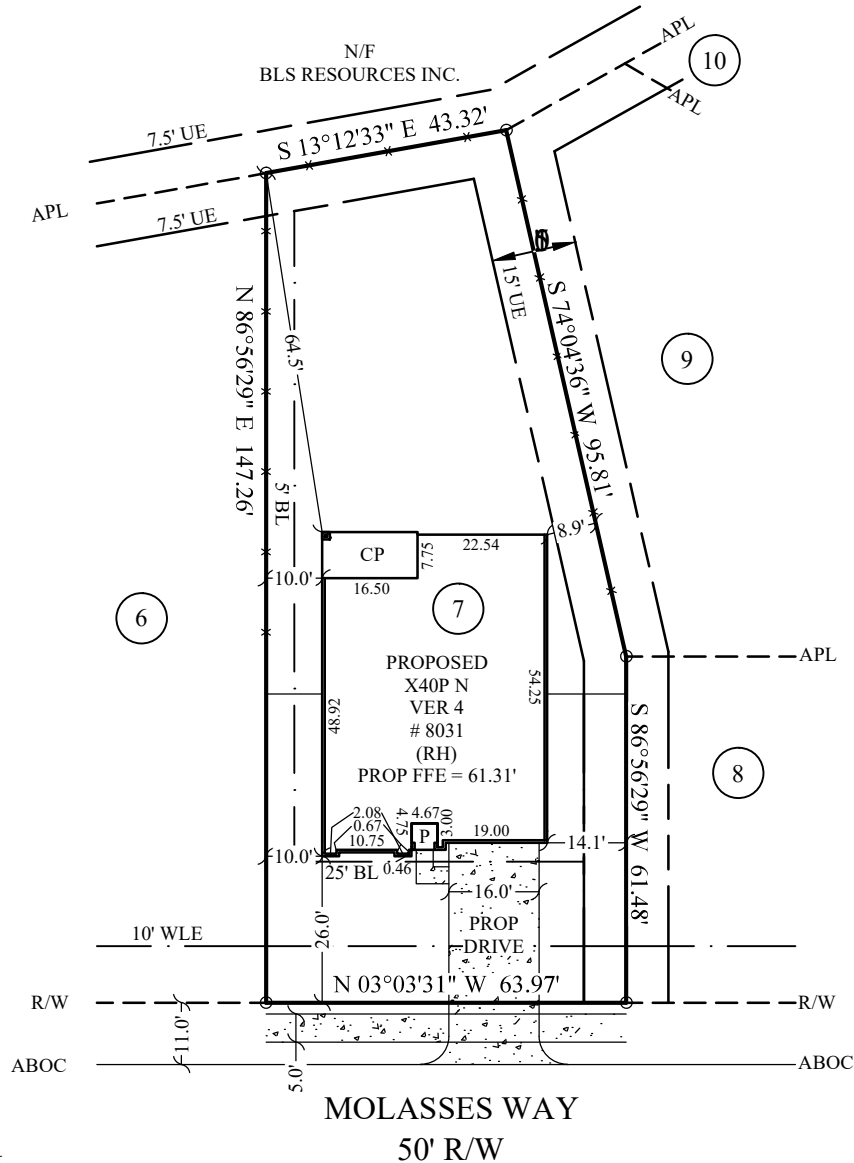
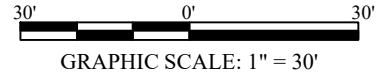
PLOT PLAN PREPARED WITHOUT BENEFIT OF TITLE.

ADDRESS: 8031 MOLASSES WAY

AREA: 8,750 S.F. ~ 0.20 ACRES

PRELIMINARY PLAT

MFE: 61.31'



LEGEND:

- BL- Building Line
- CI- Curb Inlet
- MH- Manhole
- UE- Utility Easement
- R/W- Right of Way
- PROP- Proposed
- P- Porch
- CP- Covered Patio
- LF- Linear Feet
- SF- Square Feet
- SY- Square Yards
- X- Fence
- WLE- Water Line Easement
- N/F- Now or Formerly
- FFE- Finished Floor Elevation
- MFE- Minimum Floor Elevation
- APL- Approximate Property Line
- ABOC- Approximate Back of Curb

FOR:



TOTAL FENCE:	263 LF
FRONT=	24 LF
LEFT=	93 LF
RIGHT=	103 LF
REAR=	43 LF

SLAB=	2,234 SF
LOT AREA=	8,750 SF
LOT COVERAGE=	26 %
INTURN=	187 SF
DRIVEWAY=	455 SF
PUBLIC WALK=	240 SF
PRIVATE WALK=	26 SF
REAR YARD AREA=	456.1 SY
FRONT YARD AREA=	245.3 SY

OPTIONS:	
3 SIDES BRICK	
FRAMING, FOUNDATIONS, & ROOF	
RAFTER DETAIL	

**PLOT PLAN FOR:
DR HORTON**

SUBDIVISION: SOUTHERN COLONY
EXPANSION PHASE 1
LOT: 7 BLOCK: 1 SECTION: 1A

**CARTER & CLARK
LAND SURVEYORS AND PLANNERS**

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