

STATE OF TEXAS  
COUNTY OF POLK


I, AMBER GENTZ, VICE PRESIDENT OF PEOPLES STATE BANK, THE OWNER AND HOLDER OF THE LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, SAID LIEN BEING EVIDENCED BY AN INSTRUMENT RECORDED IN VOLUME 1989, PAGE 484 OF THE REAL PROPERTY RECORDS OF POLK COUNTY, TEXAS, DO HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DEDICATION SAID LIEN, AND I HEREBY CONFIRM THAT WE ARE THE PRESENT OWNERS OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

PEOPLES STATE BANK, N.A.  
BY: [Signature]  
AMBER GENTZ, VICE PRESIDENT

STATE OF TEXAS  
COUNTY OF POLK

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED AMBER GENTZ, VICE PRESIDENT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30th DAY OF August, 2018

[Signature]  
NOTARY PUBLIC IN AND FOR  
THE STATE OF TEXAS  


STATE OF TEXAS  
COUNTY OF POLK

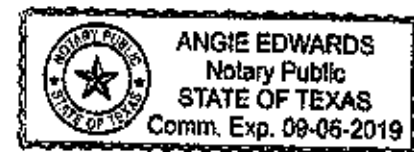
I, JOE PUCKETT, VICE PRESIDENT OF THE FIRST STATE BANK OF LIVINGSTON, TEXAS, THE OWNER AND HOLDER OF THE LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, SAID LIEN BEING EVIDENCED BY AN INSTRUMENT RECORDED IN VOLUME 1989, PAGE 541 OF THE REAL PROPERTY RECORDS OF POLK COUNTY, TEXAS, DO HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DEDICATION SAID LIEN, AND I HEREBY CONFIRM THAT WE ARE THE PRESENT OWNERS OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

THE FIRST STATE BANK OF LIVINGSTON, TEXAS  
BY: [Signature]  
JOE PUCKETT, VICE PRESIDENT

STATE OF TEXAS  
COUNTY OF POLK

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOE PUCKETT, VICE PRESIDENT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 30 DAY OF August, 2018

  
ANGIE EDWARDS  
Notary Public  
STATE OF TEXAS  
Comm. Exp. 09-05-2019

NOTARY PUBLIC IN AND FOR  
THE STATE OF TEXAS

STATE OF TEXAS  
COUNTY OF POLK

I, CHARLES VON SCHMIDT, PRESIDENT OF VACATION HOME BUILDERS, INC., A TEXAS CORPORATION, MEMBER OF WATERFRONT DEVELOPMENT, L.L.C., A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID VACATION HOME BUILDERS, INC. AND WATERFRONT DEVELOPMENT, L.L.C. ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREON SHOWN AND DESIGNATE SAID SUBDIVISION AS THE CHANNEL AT CEDAR POINT, SECTION SEVEN OF CEDAR POINT LOCATED IN THE JOHN BURGESS SURVEY, ABSTRACT 7, POLK COUNTY, TEXAS AND ON BEHALF OF SAID VACATION HOME BUILDERS, INC. AND WATERFRONT DEVELOPMENT, L.L.C.; AND DEDICATE FOREVER TO THE PRIVATE USE OF THE PROPERTY OWNERS OF SAID SUBDIVISION AND ADJOINING SECTIONS ALL OF THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN THEREON. THE STREETS ARE AND SHALL REMAIN PRIVATE AND ACCORDINGLY, AT NO TIME IN THE FUTURE WILL POLK COUNTY EVER BE ASKED TO ACCEPT THE ROADS IN THE CHANNEL AT CEDAR POINT, SECTION SEVEN OF CEDAR POINT, FOR MAINTENANCE. VACATION HOME BUILDERS, INC. AND WATERFRONT DEVELOPMENT, L.L.C. RESERVES TO ITS SUCCESSORS AND ASSIGNS THE RIGHT TO USE THE STREETS AND EASEMENTS SHOWN ON SAID PLAT FOR THE ESTABLISHMENT AND MAINTENANCE OF WATER PIPELINES, ELECTRIC LINES, AND OTHER UTILITY FACILITIES INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE.

THIS IS TO CERTIFY THAT CHARLES VON SCHMIDT, PRESIDENT OF VACATION HOME BUILDERS, INC. AND MEMBER OF WATERFRONT DEVELOPMENT, L.L.C., OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF THE CHANNEL AT CEDAR POINT, SECTION SEVEN OF CEDAR POINT, HAVE COMPLIED OR WILL COMPLY WITH THE REGULATIONS HERETOFORE ON FILE WITH POLK COUNTY.

IN TESTIMONY WHEREOF, WATERFRONT DEVELOPMENT, L.L.C. HAS CAUSED THESE PRESENTS TO BE SIGNED BY CHARLES VON SCHMIDT, PRESIDENT OF VACATION HOME BUILDERS, INC., MEMBER, THEREUNTO AUTHORIZED AND EXECUTED AND MADE EFFECTIVE THIS 31 DAY OF August, 2018.

BY: WATERFRONT DEVELOPMENT, L.L.C.,  
A TEXAS LIMITED LIABILITY COMPANY

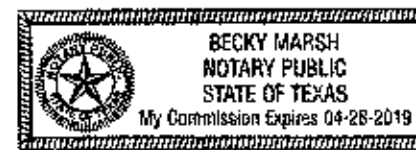
BY: VACATION HOME BUILDERS, INC.,  
A TEXAS CORPORATION  
ITS MEMBER

BY: [Signature]  
CHARLES VON SCHMIDT, PRESIDENT

STATE OF TEXAS  
COUNTY OF POLK

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHARLES VON SCHMIDT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT, AS PRESIDENT OF VACATION HOME BUILDERS, INC., A TEXAS CORPORATION, MEMBER OF WATERFRONT DEVELOPMENT, L.L.C., A TEXAS LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, ON BEHALF OF AND AS A DEED OF SAID CORPORATION AND LIMITED LIABILITY COMPANY.

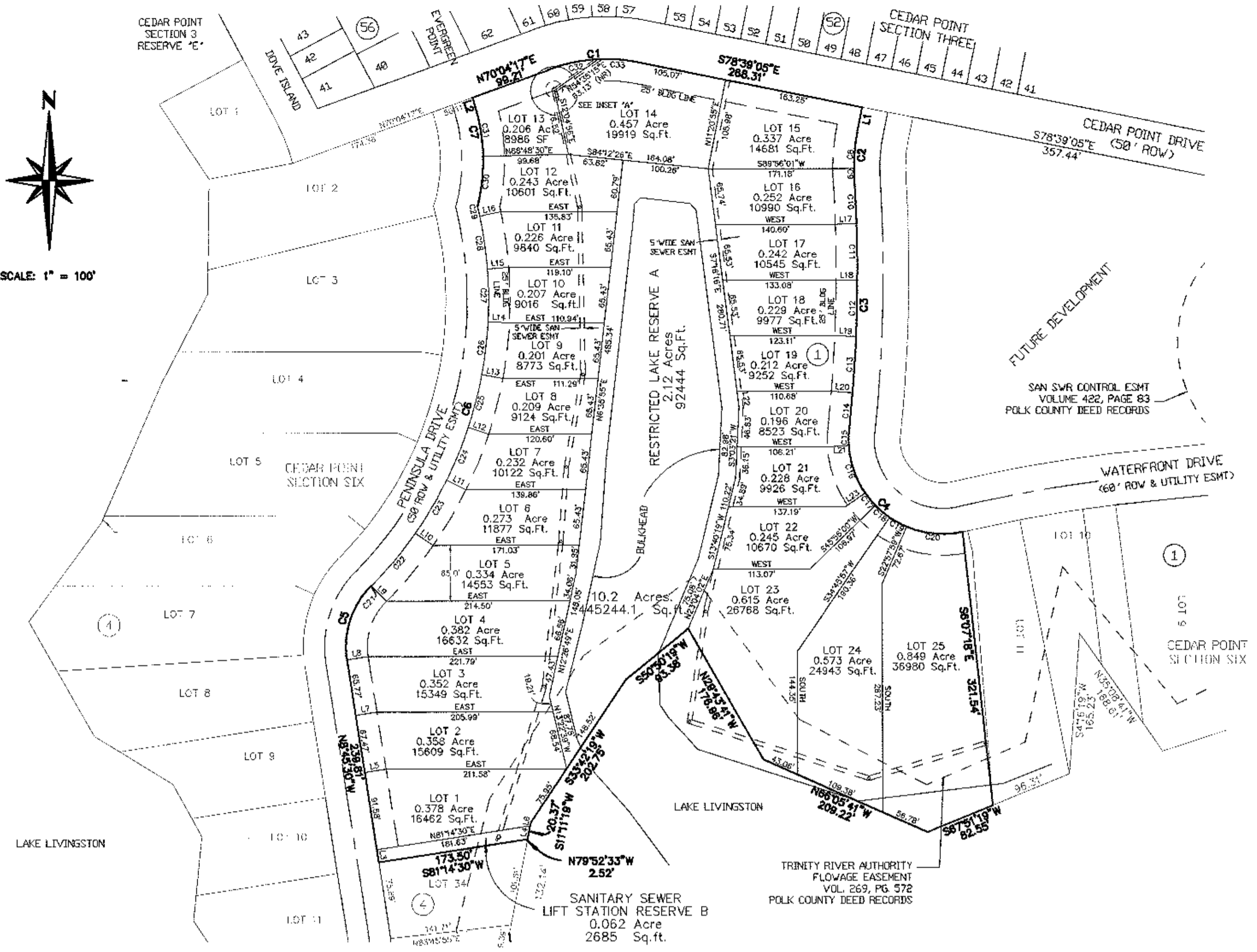
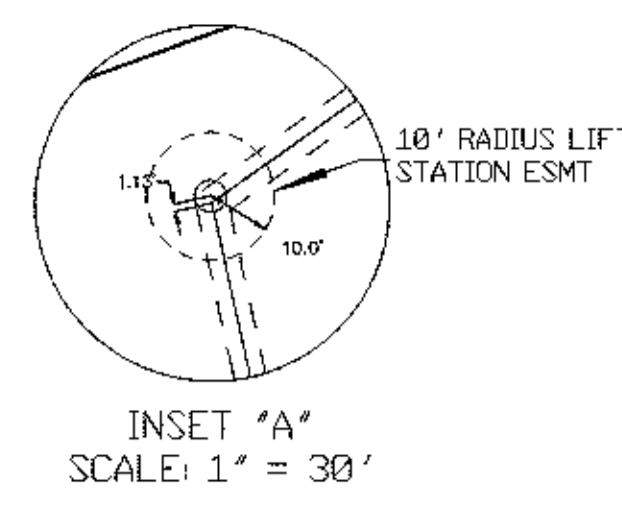
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 31 DAY OF August, 2018

  
BECKY MARSH  
NOTARY PUBLIC  
STATE OF TEXAS  
My Commission Expires 04-28-2019

[Signature]  
NOTARY PUBLIC IN AND FOR  
THE STATE OF TEXAS



SCALE: 1" = 100'



THIS IS TO CERTIFY THAT I, JEFFREY N. HECK, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL BLOCK CORNERS, ANGLE POINTS, AND POINTS OF CURVE ARE PROPERLY MARKED OR REFERENCED WITH 5/8 INCH IRON RODS, 2 FEET IN LENGTH.

JEFFREY N. HECK  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4385  
GIVEM HECK, INC. - FIRM NO. 10138800  
P.O. BOX 78  
HILLISBURG, TX 77624

APPROVED BY THE COMMISSIONER'S COURT OF POLK COUNTY, TEXAS THIS  
5 DAY OF September 2012.

*Bob Willis* BOB WILLIS, COMMISSIONER, PRECINCT 1  
*Rennie Vincent* RENNIE VINCENT, COMMISSIONER, PRECINCT 2  
*Sydney Murphy* SYDNEY MURPHY, COUNTY JUDGE  
*Milt Purvis* MILT PURVIS, COMMISSIONER, PRECINCT 3  
*Tommy Overstreet* TOMMY OVERSTREET, COMMISSIONER, PRECINCT 4

I, SHELANA HOOK, CLERK OF THE COUNTY COURT OF POLK COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON 20 AT O'CLOCK M. AND DULY RECORDED ON 20 AT O'CLOCK M. VOL. PAGE PLAT RECORDS OF POLK COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE AT LIVINGSTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

By: *Shelana Hook*  
SHELANA HOOK, CLERK COUNTY COURT  
POLK COUNTY, TEXAS

- NOTES:
1. THERE IS RESERVED INSIDE ALL LOTS A FIVE (5) FEET WIDE UTILITY EASEMENT, BEING PARALLEL WITH AND ADJACENT TO ALL SIDE LOT LINES.
  2. ALL SIDE LOT LINES ARE EITHER PERPENDICULAR OR RADIAL TO INTERSECTING ROAD RIGHTS-OF-WAY UNLESS NOTED OTHERWISE. (OR = NON-RADIAL)
  3. 5-FOOT WIDE SANITARY SEWER EASEMENTS WITH IN LOTS 1 THROUGH 14 AND LOTS 23 THROUGH 25 ARE CENTERED ON EXISTING SEWER LINE.

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	31°16'37"	100.99'	185.00'	S85°42'36"W	99.74'
C2	14°47'00"	59.34'	230.00'	S3°57'25"W	59.19'
C3	9°35'18"	292.87'	1750.00'	N1°21'31"E	292.53'
C4	108°06'59"	207.57'	110.00'	S47°34'20"E	178.12'
C5	53°41'20"	63.70'	100.00'	S18°05'10"W	90.31'
C6	55°06'54"	481.89'	475.00'	N15°52'16"E	481.49'
C7	14°58'43"	58.85'	225.12'	N8°40'52"W	58.69'
C8	11°24'54"	45.82'	230.00'	S5°38'26"W	45.73'
C9	3°22'06"	13.52'	230.00'	S1°45'02"E	13.52'
C10	1°40'33"	51.19'	1750.00'	N2°35'40"W	51.18'
C11	2°09'33"	65.95'	1750.00'	N0°40'45"W	65.95'
C12	2°09'35"	65.97'	1750.00'	N1°28'49"E	65.96'
C13	2°09'48"	66.08'	1750.00'	N3°38'31"E	66.08'
C14	1°25'45"	43.65'	1750.00'	N5°26'18"E	43.65'
C15	9°25'21"	18.09'	110.00'	S1°26'30"W	18.07'
C16	31°00'47"	59.54'	110.00'	S18°46'35"E	58.82'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C17	9°47'01"	18.78'	110.00'	S39°10'29"E	18.76'
C18	11°10'03"	21.44'	110.00'	S49°39'01"E	21.41'
C19	11°47'58"	22.85'	110.00'	S61°08'02"E	22.61'
C20	34°55'48"	67.06'	110.00'	S84°29'55"E	66.03'
C21	0°05'56"	0.82'	475.00'	N44°52'52"E	0.82'
C22	9°43'49"	80.87'	475.00'	N39°58'05"E	80.57'
C23	8°40'35"	71.93'	475.00'	N30°35'48"E	71.86'
C24	8°03'45"	66.84'	475.00'	N22°23'37"E	66.79'
C25	7°41'50"	63.83'	475.00'	N14°30'45"E	63.79'
C26	7°30'30"	62.25'	475.00'	N6°54'31"E	62.20'
C27	7°27'15"	61.80'	475.00'	N0°34'22"W	61.75'
C28	7°31'42"	62.41'	475.00'	N8°03'50"W	62.37'
C29	1°21'30"	11.28'	475.00'	N23°30'28"W	11.26'
C30	15°07'25"	59.42'	225.12'	N6°22'12"E	59.25'
C31	14°58'44"	58.85'	225.12'	N8°40'52"W	58.89'
C32	17°03'54"	55.10'	185.00'	N78°36'14"E	54.90'
C33	14°12'43"	45.89'	185.00'	S85°45'27"E	45.77'

LINE TABLE

NUM	BEARING	DISTANCE
L1	S11°20'55"W	28.58'
L2	S16°10'14"E	11.24'
L3	N8°45'30"W	15.00'
L4	S11°11'19"W	16.82'
L5	N81°14'30"E	25.00'
L6	S11°11'19"W	3.65'
L7	N81°14'30"E	25.00'
L8	N81°14'30"E	25.00'
L9	S45°10'06"E	25.00'
L10	S54°53'55"E	25.00'
L11	S63°34'30"E	25.00'
L12	S7°38'15"E	25.00'
L13	S79°20'14"E	25.00'
L14	S86°50'44"E	25.00'
L15	N85°42'01"E	25.00'
L16	N78°10'19"E	25.00'
L17	S89°14'28"W	25.00'
L18	N89°35'59"W	25.00'
L19	N87°28'23"W	25.00'
L20	N85°16'35"E	25.00'
L21	S86°43'49"W	25.00'
L22	N7°16'16"W	18.39'
L23	S55°43'02"W	27.94'

## THE CHANNEL AT CEDAR POINT SECTION 7 OF CEDAR POINT

A SUBDIVISION OF 10.2 ACRES IN THE JOHN BURGESS SURVEY ABSTRACT NO. 7, POLK COUNTY, TEXAS AND BEING A REPLAT OF LOT 12 THROUGH LOT 16 IN BLOCK 1, LOT 1 THROUGH LOT 3 IN BLOCK 2, LOT 1 AND LOT 2 IN BLOCK 3, LOT 35 THROUGH LOT 40 IN BLOCK 4 AND RESTRICTED LAKE RESERVE "A" IN CEDAR POINT, SECTION SIX, A SUBDIVISION RECORDED IN VOLUME 12, PAGES 26 AND 27 OF THE PLAT RECORDS OF POLK COUNTY, TEXAS