

**603 Park Knoll Ln
Katy, TX 77450-2505**

Concerning the Property at _____

Underground Lawn Sprinkler	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____ automatic _____ manual areas covered: _____
Septic / On-Site Sewer Facility	<input type="checkbox"/>	<input checked="" type="checkbox"/>	if yes, attach Information About On-Site Sewer Facility (TXR-1407)

Water supply provided by: ___ city ___ well MUD ___ co-op ___ unknown ___ other: _____

Was the Property built before 1978? yes ___ no ___ unknown

(If yes, complete, sign, and attach TXR-1906 concerning lead-based paint hazards).

Roof Type: composition Age: re-done in April 2019 (approximate)

Is there an overlay roof covering on the Property (shingles or roof covering placed over existing shingles or roof covering)? ___ yes no ___ unknown

Are you (Seller) aware of any of the items listed in this Section 1 that are not in working condition, that have defects, or are need of repair? ___ yes no If yes, describe (attach additional sheets if necessary): _____

Section 2. Are you (Seller) aware of any defects or malfunctions in any of the following? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Item	Y	N
Basement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceilings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Driveways	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical Systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Item	Y	N
Floors	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundation / Slab(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lighting Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plumbing Systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Item	Y	N
Sidewalks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Walls / Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Structural Components	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to any of the items in Section 2 is yes, explain (attach additional sheets if necessary): _____

Section 3. Are you (Seller) aware of any of the following conditions? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Condition	Y	N
Aluminum Wiring	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Asbestos Components	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Diseased Trees: <u>oak wilt</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Endangered Species/Habitat on Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fault Lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hazardous or Toxic Waste	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improper Drainage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intermittent or Weather Springs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landfill	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lead-Based Paint or Lead-Based Pt. Hazards	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Encroachments onto the Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improvements encroaching on others' property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Located in Historic District	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Historic Property Designation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Foundation Repairs	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Previous Roof Repairs	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Previous Other Structural Repairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Use of Premises for Manufacture of Methamphetamine	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Condition	Y	N
Radon Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Settling	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Soil Movement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Subsurface Structure or Pits	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Underground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unplatted Easements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unrecorded Easements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Urea-formaldehyde Insulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Damage Not Due to a Flood Event	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetlands on Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wood Rot	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Active infestation of termites or other wood destroying insects (WDI)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous treatment for termites or WDI	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Previous termite or WDI damage repaired	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Previous Fires	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Termite or WDI damage needing repair	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Single Blockable Main Drain in Pool/Hot Tub/Spa*	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Concerning the Property at _____

If the answer to any of the items in Section 3 is yes, explain (attach additional sheets if necessary): The previous owner disclosed that the foundation settled and was repaired by DuraPier in March 2019; and piers were installed from front door to window of dining room. Termites treated in 2003 - only surface - no structural damage. Same termite issue treated in 2010. Termite info is per previous owners.

*A single blockable main drain may cause a suction entrapment hazard for an individual.

Section 4. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair, which has not been previously disclosed in this notice? ___ yes x no If yes, explain (attach additional sheets if necessary): _____

Section 5. Are you (Seller) aware of any of the following conditions?* (Mark Yes (Y) if you are aware and check wholly or partly as applicable. Mark No (N) if you are not aware.)

Y N

- x ___ Present flood insurance coverage (if yes, attach TXR 1414).
- ___ x Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir.
- ___ x Previous flooding due to a natural flood event (if yes, attach TXR 1414).
- ___ x Previous water penetration into a structure on the Property due to a natural flood event (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE AO, AH, VE, or AR) (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded)).
- ___ x Located ___ wholly ___ partly in a floodway (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a flood pool.
- ___ x Located ___ wholly ___ partly in a reservoir.

If the answer to any of the above is yes, explain (attach additional sheets as necessary): As a business owner, I decided to purchase flood insurance due to extra precaution during renovations. However, this property has never flooded.

*For purposes of this notice:

"100-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A99, AE, AO, AH, VE, or AR on the map; (B) has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and (C) may include a regulatory floodway, flood pool, or reservoir.

"500-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and (B) has a two-tenths of one percent annual chance of flooding, which is considered to be a moderate risk of flooding.

"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.

"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 et seq.).

"Floodway" means an area that is identified on the flood insurance rate map as a regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation more than a designated height.

"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.

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Section 6. Have you (Seller) ever filed a claim for flood damage to the Property with any insurance provider, including the National Flood Insurance Program (NFIP)?* yes no If yes, explain (attach additional sheets as necessary): _____

*Homes in high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).

Section 7. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the Property? yes no If yes, explain (attach additional sheets as necessary): _____

Section 8. Are you (Seller) aware of any of the following? (Mark Yes (Y) if you are aware. Mark No (N) if you are not aware.)

Y N

- Room additions, structural modifications, or other alterations or repairs made without necessary permits, with unresolved permits, or not in compliance with building codes in effect at the time.
- Homeowners' associations or maintenance fees or assessments. If yes, complete the following:
 Name of association: Memorial Parkway Community Association
 Manager's name: Unknown Phone: 281-492-2949
 Fees or assessments are: \$ 425 per year and are: mandatory voluntary
 Any unpaid fees or assessment for the Property? yes (\$ _____) no
 If the Property is in more than one association, provide information about the other associations below or attach information to this notice.
- Any common area (facilities such as pools, tennis courts, walkways, or other) co-owned in undivided interest with others. If yes, complete the following:
 Any optional user fees for common facilities charged? yes no If yes, describe: _____
- Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.
- Any lawsuits or other legal proceedings directly or indirectly affecting the Property. (Includes, but is not limited to: divorce, foreclosure, heirship, bankruptcy, and taxes.)
- Any death on the Property except for those deaths caused by: natural causes, suicide, or accident unrelated to the condition of the Property.
- Any condition on the Property which materially affects the health or safety of an individual.
- Any repairs or treatments, other than routine maintenance, made to the Property to remediate environmental hazards such as asbestos, radon, lead-based paint, urea-formaldehyde, or mold.
 If yes, attach any certificates or other documentation identifying the extent of the remediation (for example, certificate of mold remediation or other remediation).
- Any rainwater harvesting system located on the Property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.
- The Property is located in a propane gas system service area owned by a propane distribution system retailer.
- Any portion of the Property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the items in Section 8 is yes, explain (attach additional sheets if necessary): Just the HOA.

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Concerning the Property at _____

ADDITIONAL NOTICES TO BUYER:

- (1) The Texas Department of Public Safety maintains a database that the public may search, at no cost, to determine if registered sex offenders are located in certain zip code areas. To search the database, visit www.txdps.state.tx.us. For information concerning past criminal activity in certain areas or neighborhoods, contact the local police department.
- (2) If the Property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the Property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit may be required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.
- (3) If the Property is located in a seacoast territory of this state designated as a catastrophe area by the Commissioner of the Texas Department of Insurance, the Property may be subject to additional requirements to obtain or continue windstorm and hail insurance. A certificate of compliance may be required for repairs or improvements to the Property. For more information, please review *Information Regarding Windstorm and Hail Insurance for Certain Properties* (TXR 2518) and contact the Texas Department of Insurance or the Texas Windstorm Insurance Association.
- (4) This Property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.
- (5) If you are basing your offers on square footage, measurements, or boundaries, you should have those items independently measured to verify any reported information.
- (6) The following providers currently provide service to the Property:

Electric: _____	phone #: _____
Sewer: _____	phone #: _____
Water: _____	phone #: _____
Cable: _____	phone #: _____
Trash: _____	phone #: _____
Natural Gas: _____	phone #: _____
Phone Company: _____	phone #: _____
Propane: _____	phone #: _____
Internet: _____	phone #: _____

- (7) This Seller's Disclosure Notice was completed by Seller as of the date signed. The brokers have relied on this notice as true and correct and have no reason to believe it to be false or inaccurate. YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY.

The undersigned Buyer acknowledges receipt of the foregoing notice.

_____ Signature of Buyer	_____ Date	_____ Signature of Buyer	_____ Date
_____ Printed Name:	_____ Printed Name:	_____ Printed Name:	_____ Printed Name:



COMPREHENSIVE HOME INSPECTION REPORT

603 Park Knoll Ln
Katy TX 77450

Toni Gee
JUNE 24, 2020



Inspector
Chintan Patel
TREC # 22844
832-495-2945
inspect@keeneyeinspections.net



Agent
Jeff Miller
CB&A Realtors
17135981882
cj32156@yahoo.com



PROPERTY INSPECTION REPORT

Prepared For: Toni Gee

(Name of Client)

Concerning: 603 Park Knoll Ln, Katy TX 77450

(Address or Other Identification of Inspected Property)

By: Chintan Patel - TREC # 22844

(Name and License Number of Inspector)

06/24/2020 9:30 am

(Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Inaccessible or obstructed areas:

Sub flooring - viewed from accessible areas

Floors covered

Walls/Ceilings Covered or Freshly Painted

Behind/Under Furniture and/or Stored Items

Attic Space is Limited - Viewed from Accessible Areas

Crawl Space is Limited - Viewed from Accessible Areas

Plumbing Areas - Only Visible Plumbing Inspected

Siding Over Older Existing Siding

In Attendance: Buyer, Buyer's Agent

Items beyond scope of this inspection:

Mold/Mildew investigations are NOT included with this report; it is beyond the scope of this inspection. Any reference of water intrusion is recommended that a professional investigation be obtained.

If the property has been renovated or remodeled, you should request documentation that should include permits and any warranties or guarantees that might be applicable, latent defects could exist.

If additions have been made to this property, you should request documentation that should include permits and any warranties or guarantees that might be applicable. Latent defects could exist.

Notice to Readers:

THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE EXCLUSIVELY. THIS REPORT IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT AND IS NOT TRANSFERABLE.

The inspection report provided by KeenEye Inspections will contain the good faith opinions of the inspector concerning the observable need, if any, on the day of the inspection, for the repair, replacement, or further evaluation by experts of the items inspected. A home inspection is not an exhausting report of defects. Unless, specifically stated, this report will not include and should not be read to indicated opinions as to the environmental conditions such as the presence of mold, radon or lead base paint, the presence of toxic or hazardous waste or substances, presence of termite or wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions, or the insurability, efficiency, quality, durability, future life, or future performance of any item inspected. This report is good for the day of the inspection only and is not to be used for Real Estate Disclosure Documents, Home Warranties or Insurance Underwriting purposes.

There are many factors which determine the life expectancy of a system or component. It is not possible to determine these factors during a one time visual inspection. Some systems of components may perform beyond their typical life expectancy while others may require repair or replacement sooner.

A Summary Report may be provided at the end of the inspection report document. The summary lists deficiencies discovered at the subject property. The summary is not a replacement for the inspection report. This report is prepared using a computer and infrequently a word or sentence may be accidentally deleted or altered. Should you encounter such a condition, please contact KeenEye Inspections to make the necessary correction and provide you with replacement pages. If you do not understand certain comments or recommendations please call KeenEye Inspections prior to closing on your transaction for clarification. All items to be inspected must be accessible at the time of the inspection. Locked and or inaccessible components will not be inspected. As stated in the inspection agreement, notices sent prior to the inspection and the current Texas Real Estate Commission Texas Standards of Practice, the inspector is to inspect listed items which are visible and accessible at the time of the inspection. A re-inspection fee will apply for return trips to inspect inaccessible items.

Whenever a defect (deficiency) of any kind is noted in a system or aspect of the house, we recommend that a qualified (licensed) technician inspect and service the entire system. Sometimes noted defects are symptoms of other, sometimes more serious, defects. It is also recommended that the buyer walks through the property the day before closing to assure conditions have not changed since inspection. All items listed in the home inspection report are inspected according to today's Texas Standards of Practice and the most current local building standards.

This report contains technical information. You are encouraged to read and understand the entire inspection report. If you do not understand or are unclear about any of the information in the report, please call KeenEye Inspections (832-422-2332) for a verbal consultation and report review.

Occupancy: Vacant

Orientation of the Structure (House):

For purpose of simplicity to explain location of elements within and around the structure/property, the front elevation (main entry) of the structure is assumed to be South, rear elevation (backyard) is assumed to be North, and side yards are assumed to be East and West sides accordingly.

Type of construction: Single Family - Two Story

Weather conditions: Rain

STRUCTURAL SYSTEMS

Foundations

Foundation Type: Slab foundation

STD NOTE: NOTE: Future performance of the structure cannot be predicted or warranted. This inspection is one of first impressions and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions are based on general apparent conditions and not of absolute fact and are only good for the date and time of this inspection. Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region at the time of the inspection. This does not guarantee the future life or failure of the foundation. The inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by a Structural Engineer or your choice. Foundations are inspected according to today's Texas Standards of Practice. SUGGESTED FOUNDATION MAINTENANCE & CARE - Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

1: Areas of the interior floors not level

🔴 Repair Needed

Dining area

Areas of the interior floors did not appear to be level and were an indication of movement. Settlement or other defects in need of repair. The cause of un-level or sloping floors should be determined and repaired as needed.

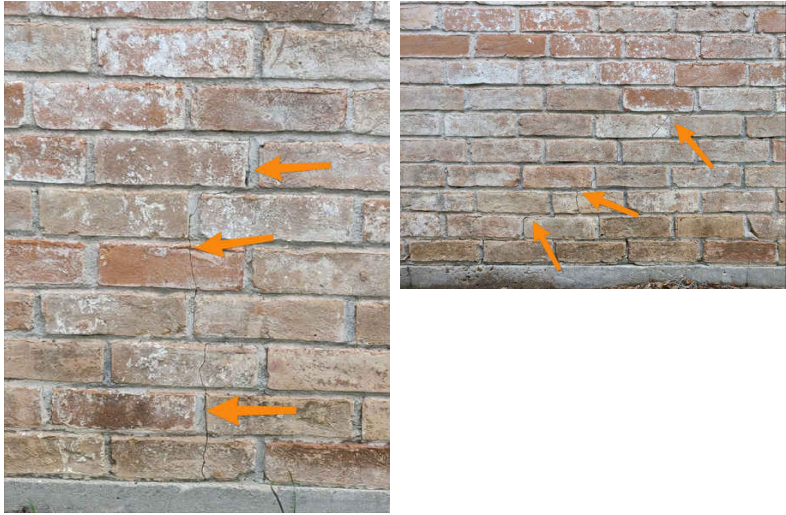


2: Cracks in exterior walls - indication of structural defect

🔴 Repair Needed

Cracks in exterior walls were an indication of movement, settlement or other defects (See Exterior Walls).

I	NI	NP	D
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3: Exposed metal reinforcement

☹ Repair Needed

Exposed or damaged metal foundation reinforcement components were observed which may lead to additional foundation deterioration and adverse foundation performance. This condition should be repaired as needed by a foundation specialist.



East Wall

4: High soil levels

☹ Repair Needed

High soil levels were observed at the foundation/brick line. Four to six inches of the foundation perimeter beam should be visible. High soil levels may block weep holes and prevent proper wall ventilation. High soil levels create conducive conditions for wall cladding deterioration, wood destroying insects and water intrusion. Inadequate grading clearance to exterior wall and foundation surfaces should be corrected. High soil levels prevent the inspector from observing the foundation perimeter beam.

5: Ext brick walls - previous repairs

☹ Repair Needed

Observed previous repairs at exterior brick veneer walls. The repaired cracks appeared to be structural type cracks resulting from foundation settlement or movement. Recommend further evaluation and repair.

I	NI	NP	D
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East Wall

Grading and Drainage

1: Grade slope - away from structure (inadequate)

🔴 Repair Needed

Observed inadequate grade slope away from the structure. The recommended grade slope away from the structure is 6 inches per 10 feet. Improper grade slopes away from the structure create conducive conditions for water intrusion and inadequate foundation performance. Improper grade slope away from the structure is in need of repair.

2: Grading and drainage - further evaluation recommended

🔴 Repair Needed

Observed low point of the backyard along edge of patio and softscape area which may cause ponding of water on the patio area during rain. Recommend further evaluation and repair.



3: Ground coverings

🔴 Repair Needed

Observed lack / lose of ground coverings (grass/sod) at several areas. Recommend maintaining ground covering at all softscape areas to prevent soil erosion and to improve appearance.

4: Gutters - recommended

🔧 Info / Improvement Item

I	NI	NP	D
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Grading and drainage could be improved with the installation of rain gutters. Properly installed rain gutters can prevent erosion and water ponding and help direct water away from the foundation.

5: High soil levels at the foundation / brick line

☹ Repair Needed

Observed high soil levels at the foundation/brick line. 4 to 6 inches of the foundation perimeter beam should be visible. High soil levels may block weep holes and prevent proper wall ventilation. High soil levels create conducive conditions for wood destroying insects and water intrusion. High soil levels prevent the inspector from observing the foundation perimeter beam. Correction of inadequate grading clearance to exterior wall and foundation surfaces is recommended.

Roof Covering Materials

NOTE - Insure-ability of the roof covering:

This is to remind the client that conditions and integrity of the roof covering material usually has an important role in the structure's insurability with many insurance companies. The client is encouraged to consult with their insurance company about any defects/deficiencies identified in this report to ensure that the structure can be insured.

STD NOTE: Life expectancy of the roofing material is not covered by this home inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your insurance company and a roof covering specialist physically inspect the roof prior to closing to fully evaluate the condition and insurability of the roof. Roof covering materials are inspected according to current Texas Real Estate Commission Texas Standards of Practice. NOTE: The inspection of the roof does not preclude the possibility of leakage or water damage. Leakage or water damage can occur at any time and may depend on rain intensity, wind velocity and direction and other environmental factors. The entire underside of the roof sheathing is not visible or accessible and can not be inspected for indications of leaks. NOTE: When D (D= Deficiency) is marked. It is recommended that all of the roofing covering materials and components be fully evaluated by a certified, licensed roofing specialist, prior to closing.

Type(s) of Roof Covering: Asphalt composition shingles noted

Viewed From: Ground with binoculars

1: Annual inspection

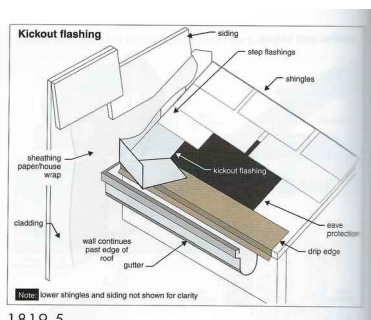
[Info / Improvement Item](#)

The roof covering materials should be professionally inspected annually and after storms as part of a routine maintenance plan.

2: Kick-Out Flashing

☹ Repair Needed

As per current requirement, a kick-out flashing is required at edge of the roof terminating against wall. Kick-out flashing helps divert rain water away from the wall. Recommend incorporating kick-out flashing to prevent or reduce damage. Observed some previous repairs done to the damaged caused by lack of kick-out flashing. Observed water damage at exterior wall, fascia and soffit due to lack of kick out flashing.



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Typ Kick-Out Flashing Detail

3: Roof flashings lifting

☹ Repair Needed

Front above dining area

Roof covering flashings were observed to be lifting. Damaged or improperly installed and were in need of repair or replacement. Lifting, damaged or improperly installed flashings may allow water penetration. You are encouraged to have your insurance company and a certified, licensed roofing contractor to physically inspect the roof prior to closing, to fully evaluate the insurability and condition of the roofing materials.

4: Possible leak from plumbing jack

☹ Repair Needed

Observed evidence of previous leak from plumbing jack penetration. The area was not observed to be wet at the time of inspection despite of rain during the inspection. The observed area appears to be water damaged from a previous leak which maybe repaired by now. Recommend further evaluation and repair.



Roof Structure and Attics

Average Depth of Insulation:: Insulation is 3 inches deep

Description of Roof Structure:: Rafter Assembly

Insulation Type:: Loose fill

Roof Structure and Attic Viewed From:: Attic

1: Lack of baffles at soffit vents

☹ Repair Needed

The soffit vents lack baffles in the attic to prevent insulation or other materials from blocking the soffit vents.

2: Lack of insulation on attic access doors

☹ Repair Needed

Access doors from conditioned spaces to unconditioned spaces such as attics should be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces. A wood framed or equivalent baffle or retainer should be installed when loose fill insulation is installed to assist in maintaining a consistent R-value.

Walls (Interior and Exterior)

Exterior cladding/siding material:: Brick, Cement Board

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1: Algae growth at exterior walls

[Info / Improvement Item](#)

2: Cement board siding - deficient

🔴 Repair Needed

Observed several cement board siding panels with uneven gaps, and observed siding boards coming loose from fasteners which is an indication that structural movement has occurred. Recommend further evaluation and repair as needed.



East Wall

3: Contraction cracks in exterior walls

🔴 Repair Needed

Expansion and contraction cracks (thermal cracks) in the exterior brick/stone veneer masonry walls were observed. Observed several of those cracks previously repaired, but reopened or not properly sealed. Expansion and contraction cracks in the exterior brick/stone veneer masonry walls should be repaired and closely monitored for indications of structural movement. If concerns about the current or future foundation performance exist, the inspector recommends further evaluation by a certified, licensed foundation specialist.



4: Cosmetic blemishes should be corrected

🔴 Repair Needed

See picture.

5: Cosmetic damages to interior wall coverings

🔴 Repair Needed

Drywall, texture and paint were observed to be in need of repair.



6: Discoloration at brick veneer

🔴 Repair Needed

Observed discoloration at brick veneer which appears to be due to prolonged presence of moisture causing growth of algae or other deterioration. Recommend further evaluation and repair.



7: Exterior sealants (caulking) deteriorated

🔴 Repair Needed

Door openings, window openings

Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration. Recommended locations are: around window openings, door openings, wall penetrations, between brick and siding/trim, between stone and siding/trim.



8: Exterior siding and roof covering - inadequate clearance

🔴 Repair Needed

Inadequate clearance between the exterior siding and roof covering materials was observed. A space of about 1 to 2 inches is recommended between the siding and roof covering. Space between the roof covering and siding provides proper ventilation and prevents water intrusion and water damage to the siding.

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9: Multiple cracks in the exterior walls

🔴 Repair Needed

West wall, East wall

Multiple cracks in the exterior brick / stone veneer masonry walls were observed. These cracks in the exterior brick/stone veneer wall cladding were an indication that greater than normal movement or settlement has occurred. Further evaluation of the foundation and structure by a certified, licensed foundation and structural specialist is recommended prior to closing.

Observed previously repaired cracks at brick veneer which appeared to be structural type cracks. Refer to Foundations section for more details and photos.

10: Wall and ceiling - drywall tape pulling

🔴 Repair Needed

Interior drywall corner tape was observed to be pulling and twisting where walls and or ceilings intersect. This condition is related to adverse foundation or structural performance and should be further evaluated by a foundation or structural specialist and repaired as necessary.



Entry foyer

11: Weep holes - sealed

🔴 Repair Needed

Side walls

Weep holes were sealed (not open) at the lower brick/stone of the exterior walls and/or above window headers. Weep holes should always be open for adequate drainage and ventilation.



Ceilings and Floors

Ceiling & Floor Material: Ceiling: Textured drywall finish, Floors: carpet, Floors: Tiles, Floors: Laminate

1: Areas of the interior floors not level

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🔴 Repair Needed

1st Floor breakfast area

Areas of the interior floors did not appear to be level and were an indication of movement, settlement or other defects. The cause of un-level floors should be further evaluated by a structural specialist and repaired as needed.

2: Cosmetic damages to ceiling drywall

🔴 Repair Needed

Texture and paint should be repaired.

3: Damaged or unfinished ceiling drywall in garage

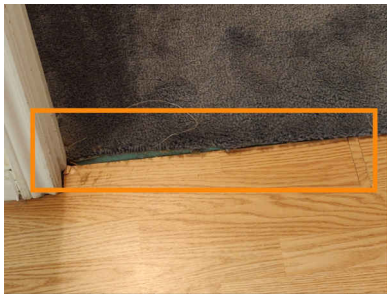
🔴 Repair Needed

Penetrations in ceilings or walls between vehicle storage areas, attic spaces and living areas are considered a SAFETY HAZARD and should be repaired prior to closing.

4: Missing, loose, damaged transition strips

🔴 Repair Needed

Missing, loose or damaged floor covering transition strips should be repaired to avoid additional damage and trip hazards.



5: Previous repairs observed

🔧 Info / Improvement Item

Observed several previous repairs done at ceiling at garage and interior space. The observed repairs appear to be due to structural cracks at drywall ceiling as well as plumbing repair or replacement. Recommend further evaluation and repair.



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6: Water stain at ceiling

☹ Repair Needed

Water stains or water damage was observed at the ceiling drywall, texture and paint. The cause of the water staining or water damage should be determined and repaired as needed.



Doors (Interior and Exterior)

1: Cosmetic damage to exterior doors should be repaired

☹ Repair Needed

2: Cosmetic damage to interior doors should be repaired

☹ Repair Needed

3: Damaged exterior door weather stripping

☹ Repair Needed

Garage entry door

Damaged or missing exterior door weather stripping should be replaced. Missing or damaged exterior door weather stripping creates conducive conditions for moisture intrusion and conditioned air loss.

4: Deficient hardware was observed at interior doors and should be repaired or replaced

☹ Repair Needed

2nd Floor Bathroom

5: Door stops missing - deficient

☹ Repair Needed

Observed lack of door stops at several doors.

All doors should have door stops installed to prevent damage to adjacent interior wall coverings

6: Exterior door - missing weather stripping

☹ Repair Needed

Garage vehicle doors

Observed weather stripping missing at exterior door.

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7: Exterior doors missing door stops

🔴 Repair Needed

All exterior doors should have door stops installed to prevent damage to adjacent interior wall coverings.

8: Garage entry doors should have installed self closing hinges according to today's Texas Standards of Practice

🔴 Repair Needed

This may be an as-built condition and was an accepted building practice at the time this home was constructed. Per Texas Standards of Practice we are required to report this condition as a deficiency because it is no longer an excepted building standard.

9: Garage vehicle door - cosmetic deficiencies

🔴 Repair Needed

Observed cosmetic (paint) deficiencies at garage vehicle door.

Windows

Window Types: Vinyl frame with insulated glazing

1: Bedroom windowsill height exceeds 44" egress and is a SAFETY HAZARD

🔴 Repair Needed

2nd Floor Bedrooms

Window sill heights greater than 44 from the floor may not be accessible to all persons in the event of an emergency. Children, the elderly, the disabled and others may not be physically capable of egress at windows with a sill height above 44. Repair, replacement or other safety amendments should be addressed prior to occupancy.

Stairways (Interior and Exterior)

1: Stairway and railing spindles too wide

⚠️ Safety Hazard

The stairway guard balusters and/or spindles were installed to far apart and were observed to be a SAFETY HAZARD. Under current building standards, stairway guard balusters or spindles should not allow passage of any object greater than 4" diameter. This condition should be repaired prior to closing for reasons of safety.

Fireplaces and Chimneys

Fireplace Locations: Fireplace is located in the family room

Fireplace Type: Wood and gas burning fireplace

Porches, Balconies, Decks, and Carports

1: Cracks in poured concrete

🔴 Repair Needed

Observed cracks in poured concrete at garage floor and driveway. Recommend further evaluation and repair as needed.



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Other - Fencing
Other Materials: {6'} wood stockade fence noted

1: Wood fence - end of life cycle
☹ **Repair Needed**

The wood fence appeared to have reached its serviceable life expectancy.

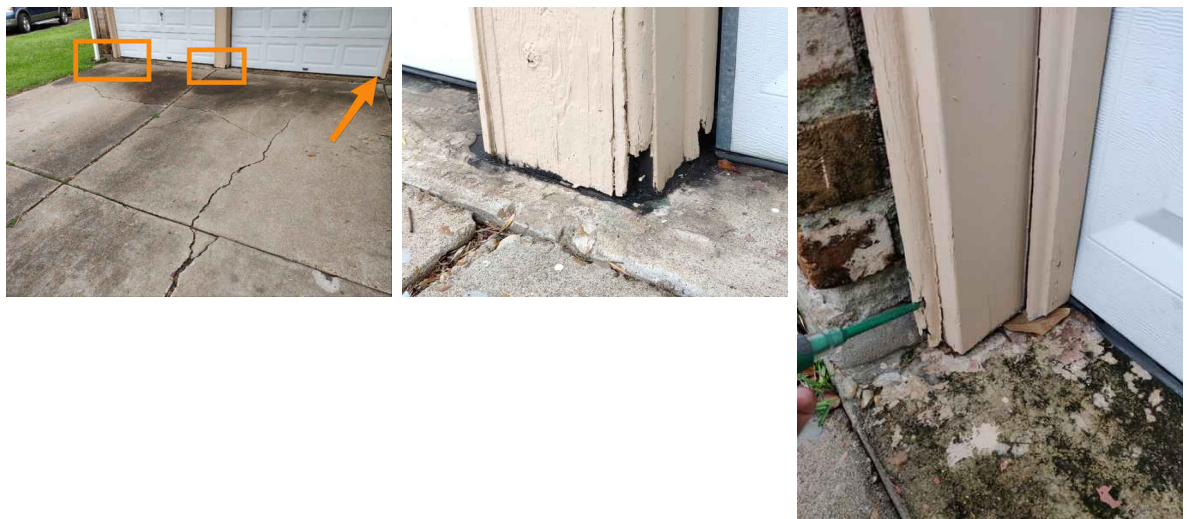
Other - Cabinets

Other

1: Wood rot / WDI damage
☹ **Repair Needed**

This report does not include WDI inspection, and does not replace any findings, opinions or conclusions which may have been made by a licensed WDI inspector. Following information is for the client's knowledge only.

Observed wood rot at several wood trim materials, e.g. garage vehicle door trims.



ELECTRICAL SYSTEMS

Service Entrance and Panels
Main Panel and Subpanel Locations: Electrical panel is located on the east side of the building

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Type of Electrical Conductors: Unknown
Wiring Type and Amp Ratings of Fuses: 125 amp

1: Arc-Fault Protection (AFCI)

▲ Safety Hazard

The electrical system components did not appear to meet current arc-fault circuit-interrupter (AFCI) standards. This may be an as-built condition, but according to today's local building standards, lack of AFCI protection is considered a deficiency. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I.

Convenience outlet circuits that are not protected by an Arc Fault Circuit Interrupter (AFCI) are deficient. AFCIs are electrical breakers specially designed to protect against fires caused by arcing faults in the home's wiring created by damaged, improperly installed, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors. AFCIs are required on all convenience outlet circuits in newly constructed homes since 2008 and on bedroom circuits since 2002. Dual function breakers that provide both AFCI and GFCI protection are now available and became a National Electric Code (NEC) building standard in 2014.

Older homes with aging and deteriorating wiring systems can especially benefit from the added protection of AFCIs. Although no requirement exists to do so, it is recommended that the client consider having a qualified electrician evaluate and upgrade branch circuits to include AFCI protection for enhanced safety.

It is recommended the client test these AFCI devices once per year by pressing the Test Button on the device, ensuring the breaker does trip, then resetting the breaker by moving it to the Off position then back to the On position.

It is not uncommon for AFCIs to be warm or even hot. Because of reports of overheating, many installers consider it a "best practice" to install no more than four AFCIs in a row without a space or other device to allow for cooling.

2: Service panel - dead front screws

🔧 Info / Improvement Item

The electric service panel cabinet cover plate or dead-front screws were observed to be too tight and could not be removed for inspection.

Branch Circuits, Connected Devices, and Fixtures

NOTE - Recommend changing smoke alarm batteries: It is recommended to replace smoke and fire alarm batteries with each change of ownership and once annually for reasons of safety. Replacement of smoke and fire alarms older than 10 years is recommended.

Wiring Types:: Copper

Concealed connections of copper and aluminum wires/fixtures:

Concealed connections of copper and aluminum wires and electrical fixtures may be present, but were not inspected due to lack of access.

Concealed electrical components:

Electrical components concealed behind finished surfaces or under insulation are not inspected. The inspection does not include remote control devices, alarm systems, low voltage wiring, ancillary wiring or intercoms.

1: AFCI

▲ Safety Hazard

Arc-Fault Protection (AFCI): Dual function breakers that provide both AFCI and GFCI protection are now available and became a National Electric Code (NEC) building standard in 2014. Under current electrical standards, AFCI protection is now required in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, recreation rooms, closets, hallways, kitchens and laundry

rooms. Lack of AFCI protection in required locations is a SAFETY HAZARD.

2: Extension cords used as permanent electrical conductors

⚠ Safety Hazard

Garage

Extension cords used as permanent electrical conductors were observed to be a SAFETY HAZARD. Extension cords are not intended to be used as permanent electrical conductors and should be replaced by a certified, licensed electrician with the appropriate electrical conductor.

3: GFCI (Ground Fault Circuit Interruption) Protection

⚠ Safety Hazard

Exterior, garage, 2nd floor bathrooms

As per current requirements, GFCI protected electrical receptacles are required at all of following locations: all bathrooms, garages and accessory buildings, all outdoor areas, all unfinished areas and crawl spaces at or below grade, kitchen countertop and island, wet bar, within 6 ft of all sinks, tubs and showers, laundry areas, outlet serving dishwashers and hydro-massage equipment. Lack of GFCI protected receptacles in required areas is a SAFETY HAZARD and should be corrected. At time of inspection, following areas were observed to lack GFCI protected receptacles: see location details

4: Missing or burnt out light bulbs

🔧 Info / Improvement Item

Observed missing or burnt out light bulbs.



5: Receptacles - inoperative

🔧 Repair Needed

Exterior, garage

The cause of inoperative electrical receptacles should be further evaluated and repaired or replaced as needed by a certified, licensed electrical specialist.

6: Receptacles - within five feet of the floor

⚠ Safety Hazard

Electrical receptacles within five feet of the floor should be tamper resistant safety receptacles according to current building standards. This may be an as-built condition and was an accepted building practice at the time this home was constructed. Lack of tamper resistant electrical receptacles is no longer an excepted building standard according to current National Electric Code (NEC).

7: Wall mounted exterior light fixtures - lack of sealant

⚠ Safety Hazard

Lack of sealant at wall mounted exterior light fixtures. Exterior light fixtures should be sealed at the wall to prevent water intrusion for reasons of SAFETY.

8: Ceiling light fixture deficient

🔧 Repair Needed

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Observed ceiling light fixture deficient and in need of repair.



9: Receptacle loose at wall

🔴 Repair Needed

Observed receptacle loose at wall. Recommend repair.



HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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Heating Equipment

See Electrical Systems: Electrical Bonding:

See Plumbing: Gas Supply System:

Type of Heating Equipment:: Central - Gas

Below grade element deficiencies :

SPECIFIC LIMITATIONS: Gas leaks below the finished grade (underground) or between the walls or ceilings or any concealed area cannot be detected and are not inspected.

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Cooling Equipment

Cooling Equipment Type:: Central

Pressure tests:

NOTE: Pressure tests of the cooling system are outside the scope of a home inspection. No guarantee is made regarding coolant charge or line integrity. The condition of the evaporator coil in the plenum is outside the scope of a home inspection. No guarantee can be made regarding evaporator coils, cooling lines or component life expectancy. Normal service and maintenance of the cooling equipment is recommended quarterly by a qualified cooling equipment specialist.

1: Cooling equipment - AGE

[🔧 Info / Improvement Item](#)

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The equipment are:
Unit 1: made in year 2015, thus approx 5 years old.

Average life expectancy of condensing units in this region are approx 12 to 14 years.

2: Temp. Differential Readings

[Info / Improvement Item](#)

Unit 1:

Supply Air Temp: 51 F; Return Air Temp: 72 F; Temp. Differential: 21 F

The normal acceptable range is considered to be approximately between 14 to 23 degrees F. total difference between the return air and conditioned air.

3: One thermostat for two floors

[Info / Improvement Item](#)

Observed one thermostat controller for whole house system between two floors. This may lead to potential temp difference between one floor and another.

Duct Systems, Chases and Vents

1: Duct cleaning recommended

[Repair Needed](#)

Recommend duct cleaning annually to ensure adequate indoor air quality.

PLUMBING SYSTEM

Plumbing Supply, Distribution Systems and Fixtures

Location of Main Water Valve:: At the water meter, Inside of garage

Location of Water Meter:: Within 5 ft of front curb

See Electrical Systems: Electrical Bonding:

Static Water Pressure:: 50 to 60 psi

Below grade defects due to settlement or movement:

Structural movement, settlement or previous foundation repairs can lead to latent plumbing defects that may not be revealed during a home inspection. If any plumbing defects, structural movement, settlement or previous foundation repairs have been reported, the buyer is encouraged to have the plumbing systems further evaluated and a hydrostatic water pressure test performed by a certified, licensed plumbing specialist.

GAS SUPPLY - SPECIAL LIMITATION:

The Inspector is not required to inspect sacrificial anode bonding or for its existence. The Inspector does not perform a pressure test on the gas lines. The Inspector cannot detect gas leaks below the finished grade (underground) or between the wall or behind fireplace hearths or any concealed area. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and or deficiencies, we recommend that the buyer, seller or agent have the gas system further evaluated by a local controlling gas supplier and or a certified, licensed master plumber.

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Limitation of visual inspection of embedded elements:

Slab construction prevents visual inspection of plumbing located in or below concrete slabs. Plumbing concealed in foundations, below grade, under flatwork, under decks, inside walls, in attics, between ceilings, insulated, in crawl spaces or concealed by other finishes are outside the scope of a home inspection.

1: Bathtub - surface damage

🔴 Repair Needed

Surface damage to one or more bathtubs was observed.

2: Exterior hose bibs - lack insulation

🔴 Repair Needed

Exterior water supply hose bibs should be protected from freezing during cold weather.

3: Exterior hose bibs - missing anti-siphon

🔴 Repair Needed

Exterior water supply faucets were missing an anti-siphon device to prevent contaminants from entering the water supply. Lack of anti-siphon devices at exterior water supply faucets is a SAFETY HAZARD. Current building standards require non-removable vacuum breakers on all hose faucets.

4: Exterior supply lines - Insulation deficient

🔗 Info / Improvement Item

Observed insulation on exterior water supply lines deteriorated and in need of replacement.

5: Galvanized water supply piping

🔴 Repair Needed

Observed whole house water supply lines to be built with galvanized piping although some of it appears to be replaced over period of time. Galvanized piping was widely used during the time when this house was built. Galvanized piping are no longer used for water supply lines due to defects such as corrosion, leaks, lack of adequate water flow and discolored water. Observed some past repairs/replacement of galvanized piping visible from attic. Recommend replacing all galvanized piping in near future.

6: Lack of insulation on water supply lines (attic)

🔴 Repair Needed

Attic

Water supply lines in the attic were observed to lack adequate insulation. Lack of insulation or inadequate insulation at water supply lines in the crawl space should be corrected to prevent water damage.

7: Lavatory - Missing hot/cold indicators

🔴 Repair Needed

The temperature indicators are missing at the lavatory water supply fixture. Missing water temperature indicators is considered a SAFETY HAZARD.

Drains, Wastes and Vents

Below grade defects due to settlement or movement:

Structural movement, settlement or previous foundation repairs can lead to latent waste drain defects

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that may not be revealed during a home inspection. If any waste drain defects, structural movement, settlement or previous foundation repairs have been reported, the buyer is encouraged to have the waste drain plumbing further evaluated by a certified, licensed plumbing specialist.

Buried, concealed elements:

Buried or concealed sewer and waste drain components are not inspected. Water and waste drain leaks cannot be detected below grade or in concealed locations.

1: Drain stops - inoperative

🔴 Repair Needed

Bath tubs

Inoperative / damaged mechanical drain stops at the sinks/tubs should be repaired.

Water Heating Equipment

Capacity:: 50 gallons

Energy Source:: Gas

Heated Water Temperature (F)::

Location of Water Heater: Garage

See Electrical Systems: Electrical Bonding:

1: TPRV inspected not tested

🔗 Info / Improvement Item

The water heating equipment TPR valve was inspected and verified, but was not tested. It is common for TPR Drain valves to fail under testing and leak water.

2: WH - Age of Equipment

🔴 Repair Needed

The water heating equipment is 8 years old (manufactured in 2012), and is past its expected lifespan. Future life expectancy cannot be determined.

The Average lifespan of a water heater is 8-12 years depending on usage and other factors. Yearly maintenance and close monitoring for rust, leaks or other defects is recommended. You may continue to use and service the water heating equipment until replacement is necessary.

3: Insulation at water lines to/from WH

🔴 Repair Needed

Observed lack of insulation at water lines to and from water heater. Recommend repair.

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Hydro-Massage Therapy Equipment

Other

Equipment not inspected:

If present, water softeners, instant water heaters and water treatment appliances are outside the scope of a home inspection and are not inspected. Further evaluation of these water supply components is recommended.

Fire suppression system:

If a fire suppression system is installed, fire suppression systems are outside the permitted license of inspection for a home inspector. Fire suppression systems, inspection, repair and evaluation should be performed by a certified, licensed Texas Fire Marshall or Texas certified, licensed fire suppression system specialist.

APPLIANCES

Dishwashers

1: Older appliance

🔴 **Repair Needed**

Kitchen

It is the opinion of this Inspector, the dishwasher is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

2: Long wash cycle

🔴 **Repair Needed**

Observed normal wash cycle lasting for over 2 hours. Recommend further evaluation and repair.

Food Waster Disposers

1: Unit hardwired to electrical connection

⚠️ **Safety Hazard**

The food waste disposer was hardwired to an electrical connection. Current building standards are that the food waste disposer should be connected by a cord and plug to a GFCI protected electrical

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receptacle.



Range Hood and Exhaust Systems

Ranges, Cooktops, and Ovens
Cooktop Energy Source: : Gas
Oven Energy Source:: Electric

Microwave Ovens

Mechanical Exhaust Vents and Bathroom Heaters

Garage Door Operators

Dryer Exhaust Systems

1: Sealant needed at exterior wall

🔴 **Repair Needed**

The dryer vent cover needs sealant at the exterior wall to prevent moisture, insect and wildlife intrusion.

2: Vent cover damaged and missing flapper

🔴 **Repair Needed**

The dryer exterior wall vent cover was loose, damaged or missing and was in need of repair or replacement. Loose, damaged or missing exterior dryer vent wall covers may allow moisture, insect and unwanted wildlife intrusion.



Other

OPTIONAL SYSTEMS

Landscape Irrigation (Sprinkler) Systems

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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- Swimming Pools, Spas, Hot Tubs and Equipment**
- Outbuildings**
- Private Water Wells (A coliform analysis is recommended)**
- Private Sewage Disposal (Septic) Systems**
- Other**

TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

603 Park Knoll Lane

Inspected Address

KATY

City

77450

Zip Code

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment; has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). The warranty should specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

1A. Bug Police Name of Inspection Company 1B. 641528 SPCS Business License Number

1C. P.O. Box 2283 Address of Inspection Company SPRING City TX State 77383 Zip 281-681-1212 Telephone No.

1D. KEVIN FREY Name of Inspector (Please Print) 1E. Certified Applicator Technician (Check One)

1F. 6-24-20 Inspection Date 2. Toni Gee Name of Person Purchasing Inspection Seller Agent Buyer Management Co. Other

3. UNKNOWN Owner / Seller 4. REPORT FORWARDED TO: Title Company or Mortgagee Purchaser of Service Seller Agent Buyer

(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

603 Park Knoll Lane
Inspected Address

KATY
City

77450
Zip Code

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Department of Agriculture Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. Residence
List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:
Foundation: Slab Pier & Beam Pier Type: _____ Basement Other: _____
Siding: Wood Hardie Plank Brick Stone Stucco Other: _____
Roof: Composition Wood Shingle Metal Tile Other: _____

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A
If treating for subterranean termites, the treatment was: Partial Spot Bait Other
If treating for drywood termites or related insects, the treatment was: Full Limited

6B. N/A Date of Treatment by Inspecting Company N/A Common Name of Insect N/A Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:
Yes No List Insects: _____
If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase or sale of this property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this real estate transaction.

Signatures:
7A. [Signature] KEVIN FREY CA 559266
Inspector (Technician or Certified Applicator Name and License Number)

Others Present:
7B: _____
Apprentices, Technicians, or Certified Applicators Name(s) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:
8A: Electric Breaker Box 8B: Date Posted: 6-24-20
Water Heater Closet
Beneath the Kitchen Sink

9A. Were any areas of the property obstructed or inaccessible? Yes No
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:
Attic Insulated Area Of Attic Plumbing Areas Planter Box Abutting Structure
Deck Sub Floors Slab Joints Crawl Space
Soil Grade Too High Heavy Foliage Eaves Weepholes
Other Specify: _____

10A. Conditions conducive to wood destroying insect infestation: Yes No
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:
Wood To Ground Contact (G) Formboards Left In Place (I) Excessive Moisture (J)
Debris Under Or Around Structure (K) Footing Too Low Or Soil Line Too High (L) Wood Rot (M) Heavy Foliage (N)
Planter Box Abutting Structure (O) Wood Pile In Contact With Structure (Q) Wooden Fence Contact With The Structure (R)
Insufficient Ventilation (T) Other (C) Specify: _____

11. Inspection Reveals Visible Evidence in or on the structure:	Active Infestation	Previous Infestation	Previous Treatment
11A. Subterranean Termites	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
11B. Drywood Termites	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
11C. Formosan Termites	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
11D. Carpenter Ants	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
11E. Other Wood Destroying Insects	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:
Sticker under kitchen sink indicates subterranean termite treatment in 11/29/10; 5/25/12

11G. Visible evidence of N/A has been observed in the following areas: N/A

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed in the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

603 Park Knoll Lane

Inspected Address

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City

77450

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12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 11. (Refer to Part G, H, and I, Scope of Inspection) Yes No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows: Yes No

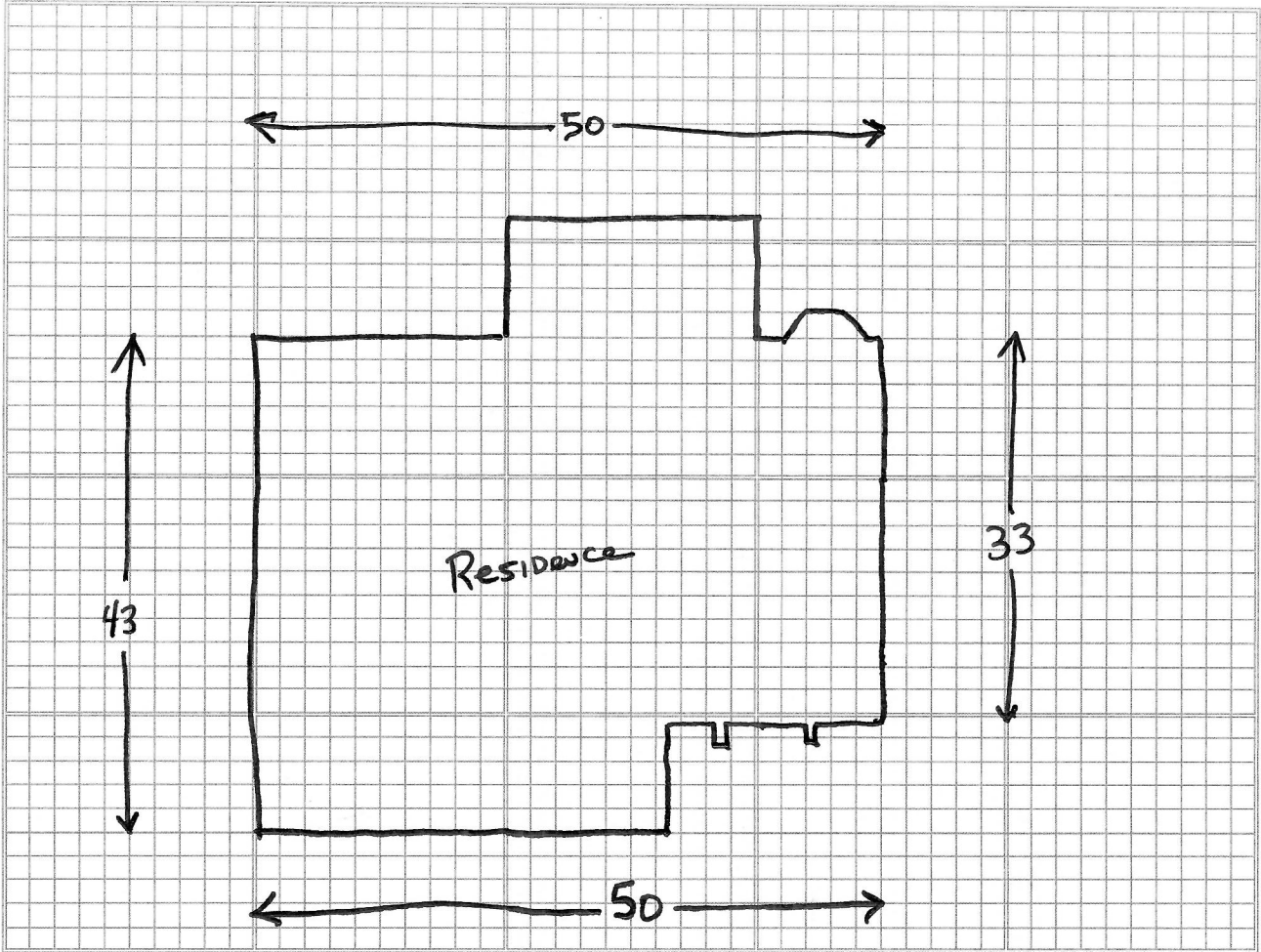
Specify reason:

Refer to Scope of Inspection Part J

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of Infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants;

Other(s) - Specify



Additional Comments: It is recommended to ASK FOR ANY TERMITE TREATMENT DOCUMENTS FROM THE SELLER

Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: _____

Signature of Purchaser of Property or their Designee _____

Date 6-24-20

Customer or Designee Not Present

Buyer's Initials _____

LIFETIME TRANSFERABLE WARRANTY

This certifies that the Property Owner(s)
Timothy & Michelle Mitchell

At the following address
603 Park Knoll, Katy TX 77450

have underpinned the building/structure using the Dura Lock Piling System.

If any adjustment is necessary within the lifetime of the structure, due to settling of the Dura Lock Pilings installed, contractor will readjust the Dura Lock Pilings without cost to the owner, except for removal and/or replacement of floor or ground covering, and tunnels. All terms of the original contract apply to any warranty work. Heaving, load bearing changes, unnatural or catastrophic events, or damages to Dura Lock Pilings caused by the actions of 3rd parties are not covered by our warranty.

It is understood and agreed that if a building/structure is partially underpinned, additional settlement may occur in other areas, immediately, or over time. These areas include the remainder of the perimeter, and/or the interior of the building/structure. Therefore, these other areas mentioned above are not covered by our warranty. Dura Pier only warranties the re-adjustment of Dura Lock Pilings previously installed by Dura Pier, and only if they have not been altered or tampered with by others.

This warranty is completely transferable to any and all future owners of this property, provided no major structural load bearing changes have occurred.

Carte Dan

Dura Pier Foundation Repair

3-19-2019

Date