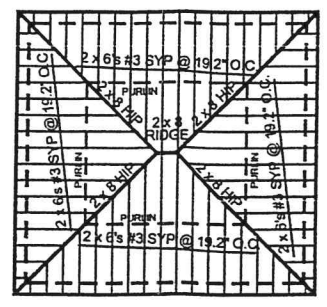
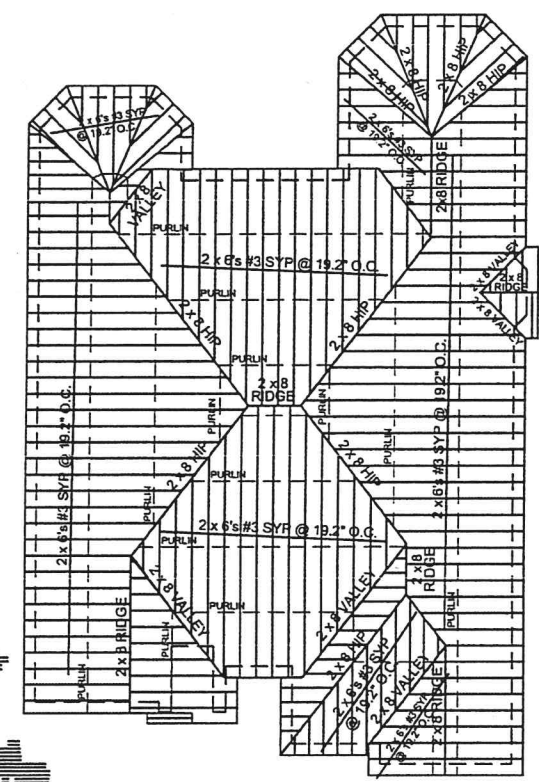


DATE  
10.27.04  
REVISION:  
11.19.04  
12.10.04  
12.21.04  
08.01.05

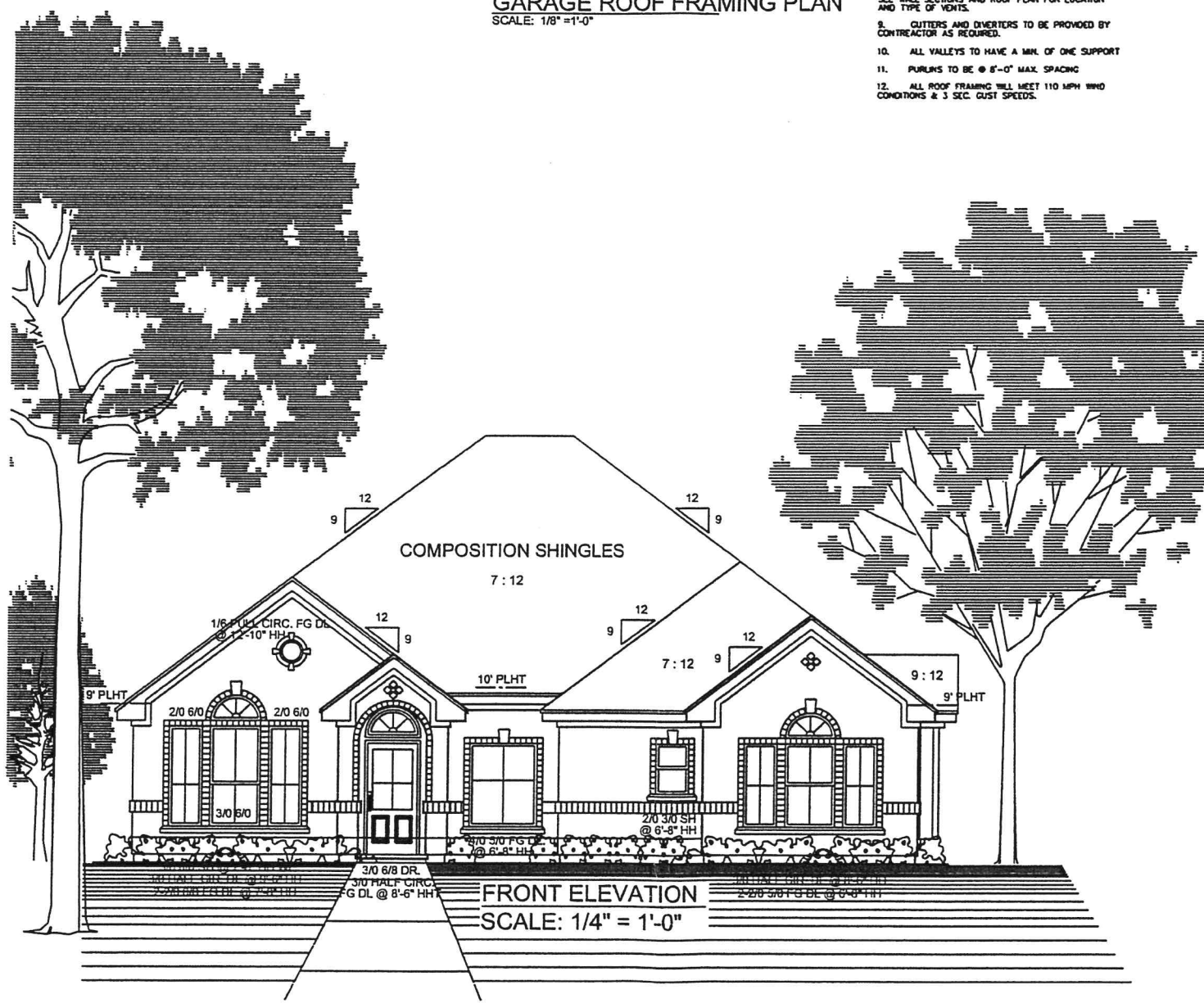


**GARAGE ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

- ROOF NOTES:**
1. ALL SLOPES FROM FRONT TO BACK ELEVATIONS ARE 7/12 PITCH AND SHALL HAVE 18" OVERHANG FROM FRAME WALL, UNLESS SHOWN OTHERWISE.
  2. ALL SLOPES FROM SIDE TO SIDE ELEVATIONS ARE 9/12 PITCH AND SHALL HAVE 18" OVERHANG FROM FRAME WALL, UNLESS SHOWN OTHERWISE.
  3. ALL RAKE OVERHANGS SHALL BE 6" FROM FINISH WALL, UNLESS SHOWN OTHERWISE.
  4. ALL ROOF TRUSSES SHALL BE DESIGNED AND ENGINEERED BY OTHERS.
  5. ALL RAFTERS SHALL BE 2 x 6 @ 19.2" O.C. #3 GRADE OR BETTER, UNLESS SHOWN OTHERWISE.
  6. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTER-FLASHING A MINIMUM OF 2" ABOVE ROOF SHEATHING. CHIMNEYS TO BE PROVIDED AS SHOWN.
  7. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS WITH VERTICAL SURFACES.
  8. CONTRACTOR SHALL PROVIDE ADEQUATE ATIC VENTILATION PER BUILDING CODES THROUGH CONTINUOUS SOFT VENTS TO RIDGE OR TURTLE VENTS. SEE WALL SECTIONS AND ROOF PLAN FOR LOCATION AND TYPE OF VENTS.
  9. GUTTERS AND DRAINERS TO BE PROVIDED BY CONTRACTOR AS REQUIRED.
  10. ALL VALLEYS TO HAVE A MIN. OF ONE SUPPORT.
  11. PURLINS TO BE @ 6'-0" MAX. SPACING.
  12. ALL ROOF FRAMING WILL MEET 110 MPH WIND CONDITIONS & 3 SEC. CUST SPEEDS.



**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

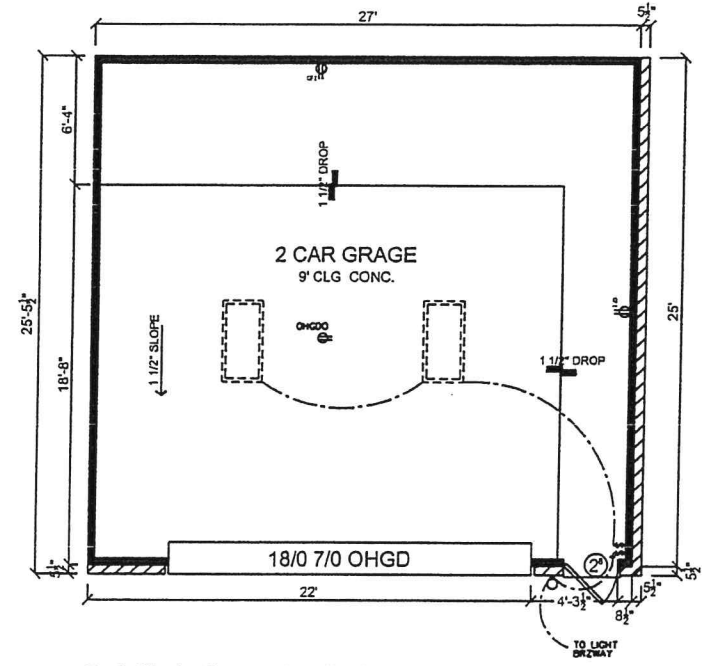
**WICKENS RES.**

© COPYRIGHT 2004  
 ALL RIGHTS RESERVED. ALL DETAILS, DIMENSIONS, FINISHES AND SPECIFICATIONS ARE THE PROPERTY OF BUNKER HILL DESIGN COMPANY. DESIGN FINISHES, MATERIALS AND CONDITIONS ARE CONDITIONAL AND LIMITED TO ONE TIME USE ONLY. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM BUNKER HILL DESIGN COMPANY.

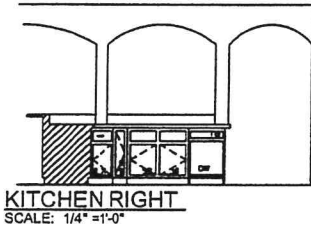
**BUNKER HILL DESIGN CO.**  
1318 CAMPBELL RD. SUITE 107 HOUSTON, TX 77055  
PHONE: 713.462.0488 FAX: 713.462.0483

DRAWN BY:  
MES  
PLAN  
2819

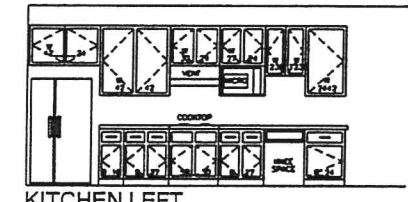
SCALE:  
1/4" = 1'-0"  
SHEET  
1 OF 5



**GARAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**KITCHEN RIGHT**  
SCALE: 1/4" = 1'-0"



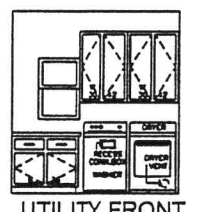
**KITCHEN LEFT**  
SCALE: 1/4" = 1'-0"



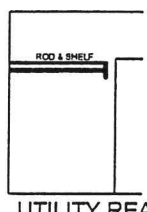
**KITCHEN REAR**  
SCALE: 1/4" = 1'-0"



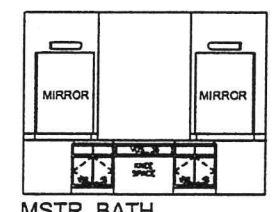
**KITCHEN REAR**  
SCALE: 1/4" = 1'-0"



**UTILITY FRONT**  
SCALE: 1/4" = 1'-0"



**UTILITY REAR**  
SCALE: 1/4" = 1'-0"



**MSTR. BATH**  
SCALE: 1/4" = 1'-0"

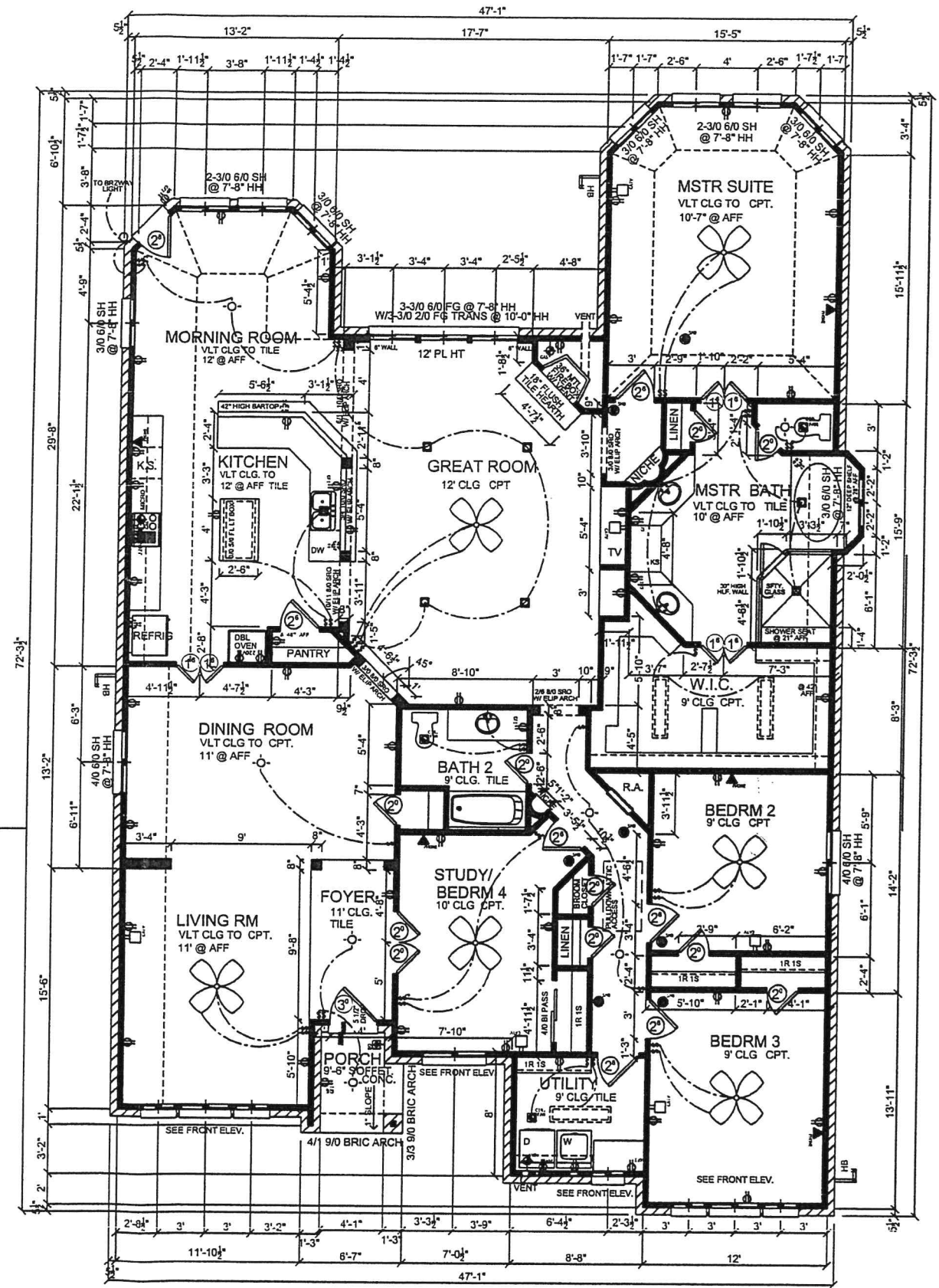


**BATH 2**  
SCALE: 1/4" = 1'-0"

ELECTRIC LEGEND	
[Symbol]	SINGLE POLE SWITCH
[Symbol]	THREE-WAY SWITCH
[Symbol]	110V DUPLEX RECEPTACLE
[Symbol]	SURFACE MOUNTED LIGHT
[Symbol]	CIRCULATION FAN
[Symbol]	CABLE TV OUTLET
[Symbol]	SMOKE DETECTOR
[Symbol]	TELEPHONE RECEPTACLE
[Symbol]	DOOR BELL CHIMES
[Symbol]	DOOR BELL
[Symbol]	GAS OUTLET
[Symbol]	220V OUTLET
[Symbol]	WALL MOUNT FIXTURE
[Symbol]	RECESSED LIGHT FIXTURE
[Symbol]	EYEBALL FIXTURE
[Symbol]	WEATHER PROOF
[Symbol]	GROUND FAULT INTERFACE
[Symbol]	CEILING FAN W/ LIGHT
[Symbol]	CEILING FAN W/O LIGHT

**ELECTRICAL NOTES:**

1. ELECTRICAL INSTALLATION TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, NFPA-70
2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ELECTRICAL PERMITS AND INSPECTION.
3. CONVENIENCE RECEPTACLE - MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE.
4. MICROWAVE-OVEN TO HAVE SEPARATE 20AMP SINGLE RECEPTACLE AT 78" A.F.F.
5. BATHROOM RECEPTACLE - GFI MOUNT 40" A.F.F.
6. RECEPTACLES IN THE GARAGE TO BE GFI UNLESS NOTED OTHERWISE.
7. EXTERIOR RECEPTACLES TO BE GFI AND WEATHER PROTECTED.
8. WASHER - DRYER TO HAVE SEPARATE 20AMP DUPLEX RECEPTACLE AT 44" A.F.F.
9. TELEPHONE OUTLETS - PROVIDE BOX (MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE). COVER PLATE 4/0 WIRE. TERMINATE NEAR PANEL.
10. KITCHEN COUNTER AND REFRIGERATOR RECEPTACLES AND APPLIANCE SWITCHES MOUNT AT 44" A.F.F.
11. SWITCHED - MOUNT AT 54" A.F.F.
12. ATTIC LIGHT SWITCH MOUNT AT 84" A.F.F.
13. SMOKE DETECTORS ARE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACK-UP.



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FOOTAGE CALCULATIONS:**

TOTAL LIVING	2819 SQ.FT.
GARAGE	700 SQ.FT.
PORCHES	32 SQ.FT.
TOTAL COVERAGE	3551 SQ.FT.

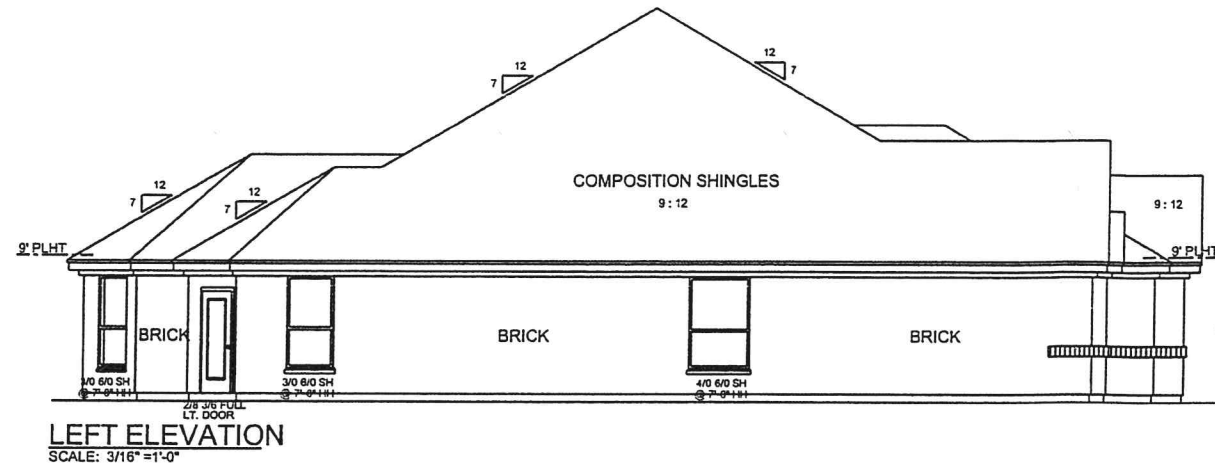
**BUNKER HILL DESIGN CO.**  
1319 CAMPBELL RD. SUITE 107  
MORRISVILLE, NC 27560  
PHONE: 919.487.0288 FAX: 919.487.0283

DRAWN BY:  
MES  
PLAN  
2819

SCALE:  
1/4" = 1'-0"  
SHEET  
2 OF 5

WICKENS RES.

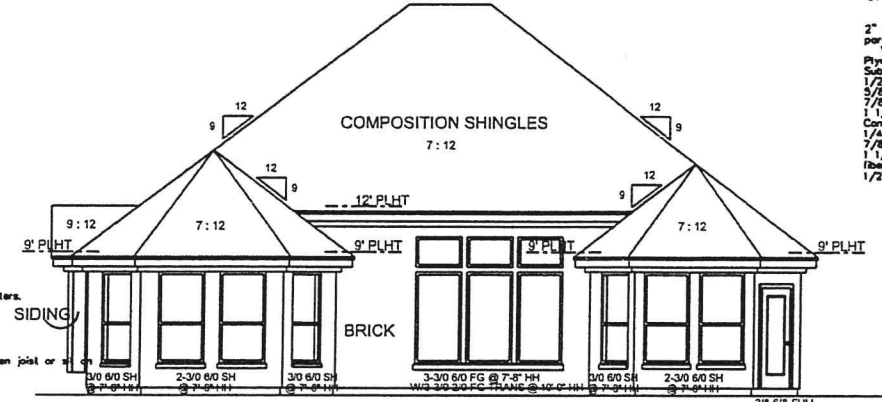
© COPYRIGHT 2005  
ALL RIGHTS RESERVED. ALL IDEAS, DESIGN, DRAWINGS, PLAN AND SPECIFICATIONS ARE THE PROPERTY OF BUNKER HILL DESIGN COMPANY. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.



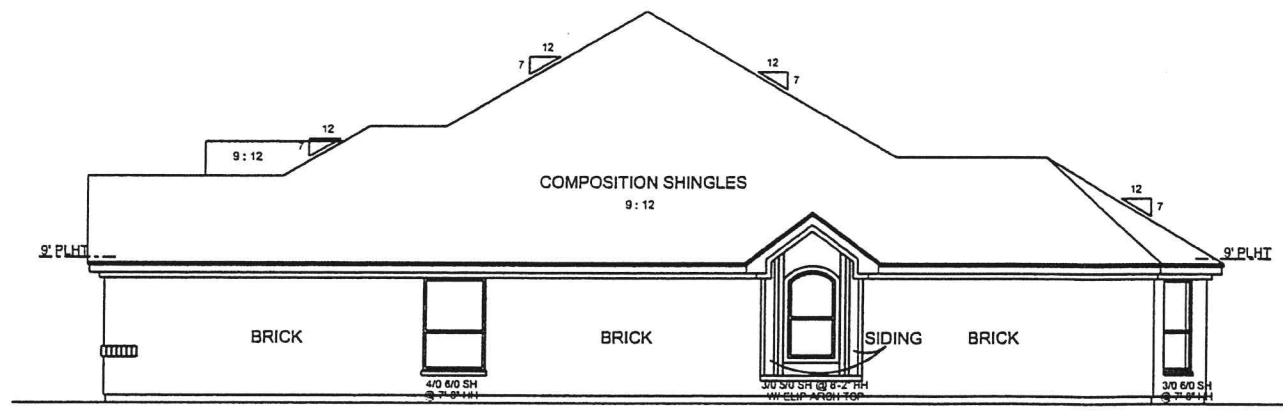
LEFT ELEVATION  
SCALE: 3/16" = 1'-0"

**Framing Notes:**

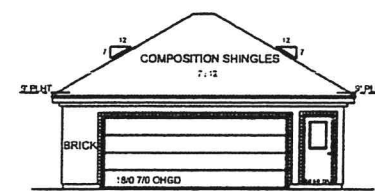
1. Framing material (unless noted otherwise).
  - a. Floor joists, ceiling joists, roof rafters, door and window headers.
    - F7s 1" = 2500 psi
    - F7s 1" = 85 psi
    - F = 1,500,000 psi
    - (Southern Yellow Pine No. 3rd)
  - b. All beams
    - F7s 1" = 1300 psi
    - F7s 1" = 85 psi
    - F = 1,600,000 psi
    - (Southern Yellow Pine No. 2nd)
  - c. Window and door headers 6" and under can be fir.
    - F7s 1" = 1300 psi
    - F7s 1" = 85 psi
    - F = 1,600,000 psi
    - (Southern Yellow Pine No. 2nd)
2. Walls
  - a. Studs supporting roof and ceiling only to be 24" o.c.
  - b. Studs supporting roof, ceiling, and floor to be 16" o.c.
3. Roof framing
  - a. All rafters to be 2x6 @ 19.2" o.c., unless noted otherwise.
  - b. Maximum unsupported length to be 7'-11", unless noted otherwise.
  - c. Ridges and hips not to be cut from lumber with a depth less than the cut of the rafters.
4. Ceiling framing
  - a. Joists to be 2x6 @ 19.2" o.c., unless noted otherwise.
5. Second floor framing
  - a. Joists to be 2x10 @ 16" o.c., unless noted otherwise.
  - b. Joists to have solid or diagonal bridging at intervals not exceeding 10'.
  - c. Second floor walls running parallel to floor joists to have blocking @ 24" o.c. between joist or stud.
6. Conventional light framing in high wind areas are to conform to 2000 IRC Code.



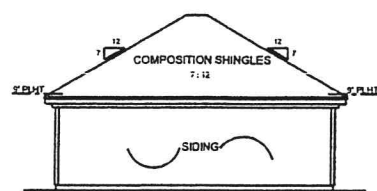
REAR ELEVATION  
SCALE: 3/16" = 1'-0"



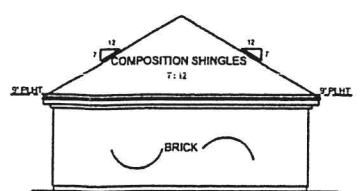
RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



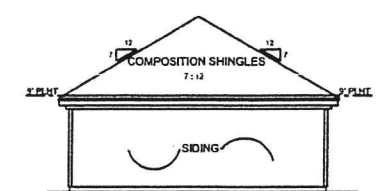
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

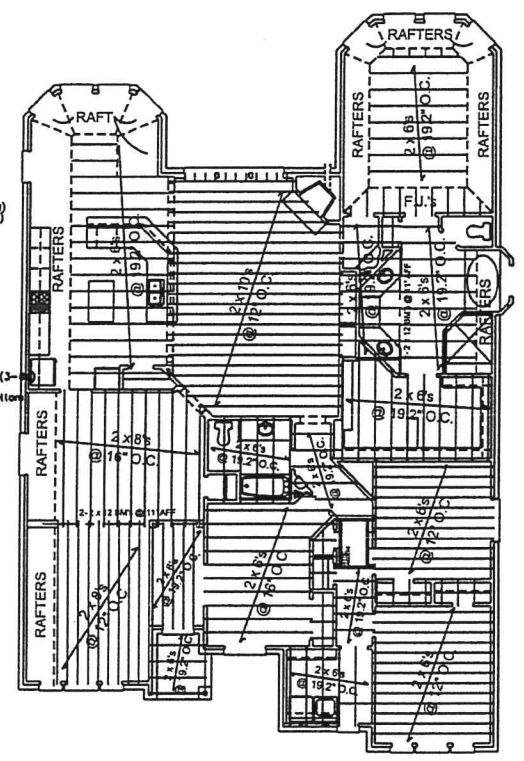


RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

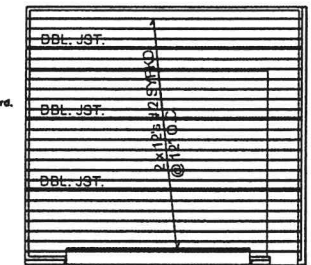
- Nailing Schedule:**
- Joist to sill or girder toe nail (3-6d)
  - Bridging to joist, toe nail each end (2-8d)
  - 2x6 subfloor or less to each joist, face nail (2-8d)
  - Stair than 1x6 subfloor to each joist, face nail (2-8d)
  - 2" subfloor to joist or girder, blind and face nail (2-16d)
  - Sole plate to joist or blocking, face nail (16d @ 16" o.c.)
  - Top plate to stud, end nail (2-16d)
  - Double studs, face nail (16d @ 24" o.c.)
  - Double top plates, face nail (16d @ 16" o.c.)
  - Top plates, laps and intersections, face nail (2-16d)
  - Continuous header, two pieces (16d @ 16" o.c.)
  - along each edge
  - Ceiling joist to plate, toe nail (3-6d)
  - Continuous header to stud, toe nail (4-6d)
  - Ceiling joist, laps over partitions, face nail (3-16d)
  - Ceiling joist to parallel rafters, face nail (3-16d)
  - Rafter to plate, toe nail (3-6d)
  - 1" brace to each stud and plate, face nail (2-8d)
  - 1" x 8" sheathing to each bearing, face nail (2-5d)
  - Wider than 1" x 8" sheathing to each bearing, face nail
  - Built-up corner studs (16d @ 24" o.c.)
  - Built-up girder and beams (20d @ 32" o.c. at top & bottom and staggered 2-od at ends and
  - at each splice
  - 2" planks (2-16d @ each bearing)
  - particulateboard
  - Wall sheathing (to frame) (8d)
  - Plywood:
    - Subfloor, roof and wall sheathing (to framing):
      - 1/2" and less (8d)
      - 3/8" - 3/4" (8d common or 5d)
      - 7/8" - 1" (16d)
      - 1 1/8" - 1 1/4" (10d or 8d)
    - Combine subfloor - underlayment (to framing):
      - 1/4" and less (8d)
      - 7/8" and less (8d)
      - 1 1/8" - 1 1/4" (10d or 8d)
    - Roofboard sheathing: (No. 11gp)
      - 1/2" (8d)
      - (No. 16gp)
      - (No. 11gp)
      - (8d)
      - (No. 16gp)



JOIST FRAMING PLAN  
SCALE: 1/8" = 1'-0"

**General Notes:**

1. Construction shall conform with all applicable codes and ordinances.
2. Pass thru and bar laps are 42" s.l.l., unless noted otherwise.
3. Provide wood blocking behind ceiling fans.
4. Closets to have 1 rod and 1 shelf where shown, unless noted otherwise.
5. Linen closets and pantries to have 3-18 inch deep shelves, unless noted otherwise.
6. Ceiling and walls of the garage in common with the living space to have 5/8" gypsum board.
7. Door into the house from the garage to be solid core & self closing.
8. Window header height to be 81" o.c., unless noted otherwise.
9. Provide 3/8" water pipe to the raft.
10. Gas water heater in the garage to be on 18" high platform, unless noted otherwise.
11. Water heater in the attic to have drip pan.



GARAGE JOIST FRAMING PLAN  
SCALE: 1/8" = 1'-0"

WICKENS RES.

**BUNKER HILL DESIGN CO.**  
1318 CAMPBELL RD. SUITE 107 HOUSTON, TX 77055  
PHONE: 713.462.0447 FAX: 713.462.0443

DRAWN BY:  
MES  
PLAN  
2819

SCALE:  
1/4" = 1'-0"  
SHEET  
3 OF 5