

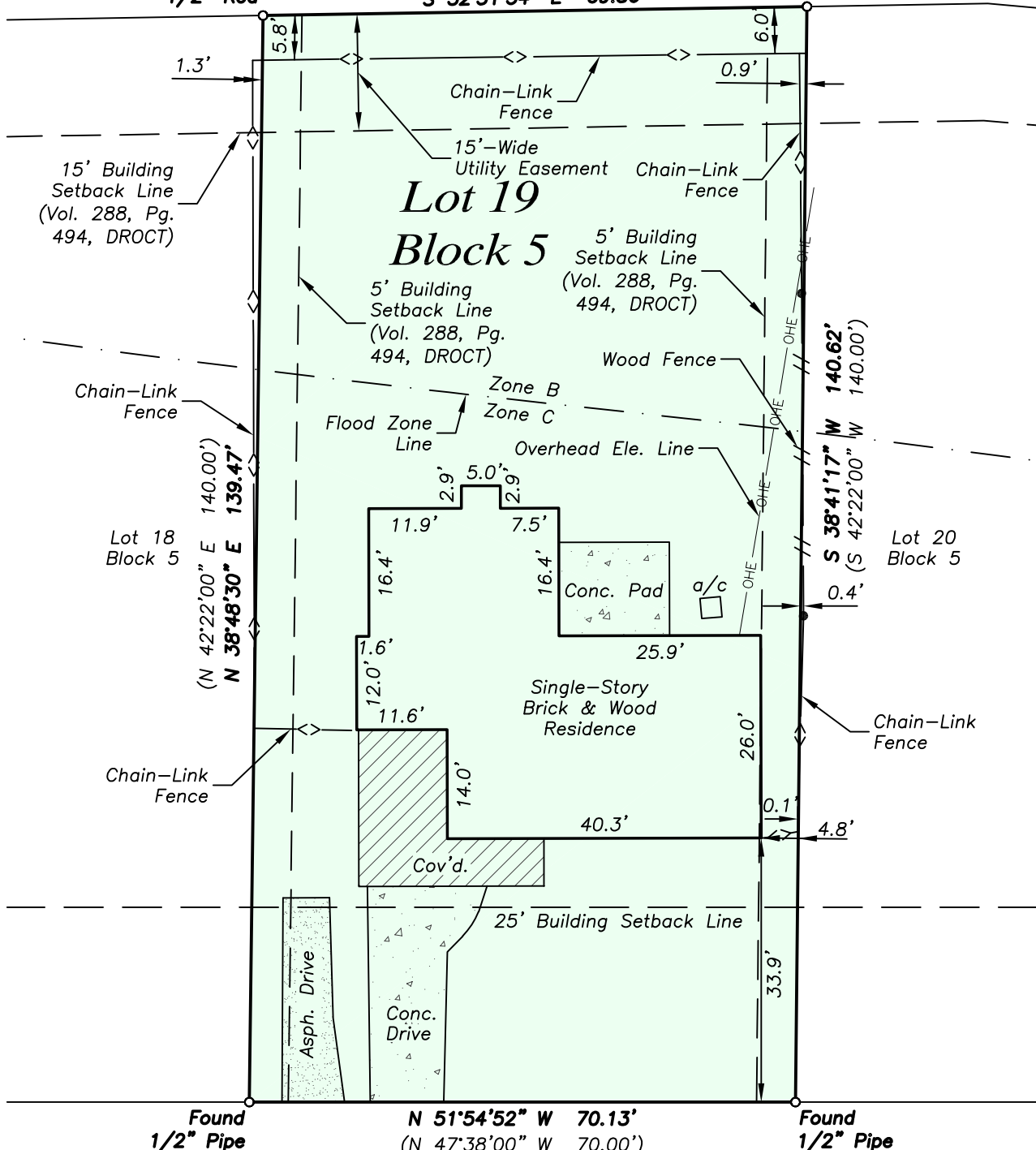
(60'-Wide)

# Drainage Easement

Found  
1" Pipe from  
which a Found  
1/2" Rod bears  
S 72°17'38" W  
1.02'

Found  
1/2" Rod

(S 47°38'00" E 70.00')  
S 52°51'34" E 69.86'



## Crestview Drive

(60' R.O.W.)

### Surveyor's Notes:

1. This survey was completed to reflect the title commitment issued by Westcor Land Title Insurance Company with an effective date of August 12, 2020, bearing GF No. 20-01-7033.
2. All bearings and coordinates are grid, based on the Texas Coordinate System of 1983 (NAD83), Central Zone. All distances and areas are based on surface measurements.
3. According to FEMA's Flood Insurance Rate Map No. 480514 0005 B, Dated January 6, 1983, the subject property is located in Flood Zones "B" and "C".
4. Notes pertaining to survey-related Schedule B Items accompany this plat and are a part hereof.

SCALE: 1" = 20'

PREPARED EXCLUSIVELY FOR: **Nitya Housing PropCo(1), LLC**

I, Scott N. Brackin, Texas Registered Professional Land Surveyor No. 6650, do hereby certify that I have made a survey on the ground of the property shown hereon, and that the survey is true and correct to the best of my knowledge and belief. **Survey Dated: September 2, 2020** **Plat Dated: September 10, 2020**

The subject tract being located at: **1260 Crestview Drive, Vidor, Texas 77662**  
and being described as: **Lot 19, Block 5, Green Forest Addition Unit 4**  
recorded in Volume: **7** Page: **39** of the **Map Records of Orange County, Texas**

**Access**  
Surveyors, LLC  
Commercial - Industrial - Residential  
11025 Old Voth Road - Beaumont, Texas 77713  
Telephone (409) 838-6322 Facsimile 838-6122  
www.access-surveyors.com § rpls5163@aol.com  
File: 2020662 Firm No. 10136400 Technician: BDS



**Scott N. Brackin**  
Registered Professional Land Surveyor No. 6650