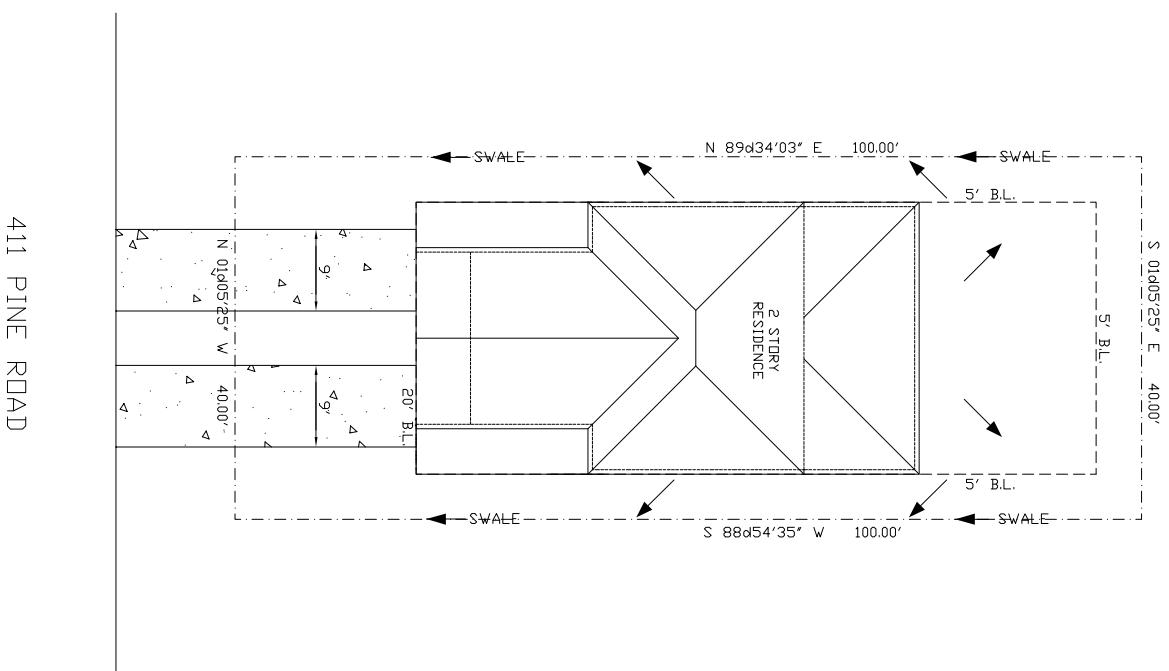


DRAINAGE NOTES:
 -NO MORE THAN 1-FEET OF FILL WILL BE PLACED ON THE LOT
 -PRIMARY USE OF FILL WILL BE YARD LEVELING
 -EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED
 -DRAINAGE SHALL BE INSTALLED PARALLEL TO THE FRONT AND REAR PROPERTY LINES
 -DRAINAGE SHALL BE INSTALLED AT 1% GRADE
 -DRAINAGE SHALL BE INSTALLED AT 1% GRADE
 -DRAINAGE SHALL BE INSTALLED AT 1% GRADE



GUTTERS SHALL BE INSTALLED
 AROUND PERIMETER OF ROOF
 ALL DOWN SPOUTS SHALL BE
 TIED INTO NON-PERFORATED
 UNDERGROUND PVC PIPE WITH
 DISCHARGE LOCATED AT DITCH
 LINE IN FRONT OF PROPERTY
 MINIMUM OF TWO TREES PER
 CITY ORDINANCE SHALL BE
 INSTALLED IN FRONT YARD
 MINIMUM 3" DIA. AND SPECIES
 PER CITY ORDINANCE

411 PINE ROAD
 LOT 1, BLOCK 1
 CLEAR LAKE SHORES, TEXAS

INDEX OF DRAWINGS

- COVER SHEET/SITE PLAN
- FOUNDATION / GROUND FLOOR PLAN
- 1ST FLOOR PLAN / CEILING JOIST PLAN
- 2ND FLOOR PLAN / CEILING JOIST PLAN
- FRONT & REAR ELEVATIONS / ROOF PLAN
- LEFT & RIGHT ELEVATIONS / ROOF PLAN
- ELECTRICAL PLAN
- TYPICAL DETAILS

TOTAL LIVING:	2,471 SQ. FT.
GROUND FLOOR:	177 SQ. FT.
FIRST FLOOR:	1,362 SQ. FT.
SECOND FLOOR:	932 SQ. FT.
COVERED PORCH:	346 SQ. FT.

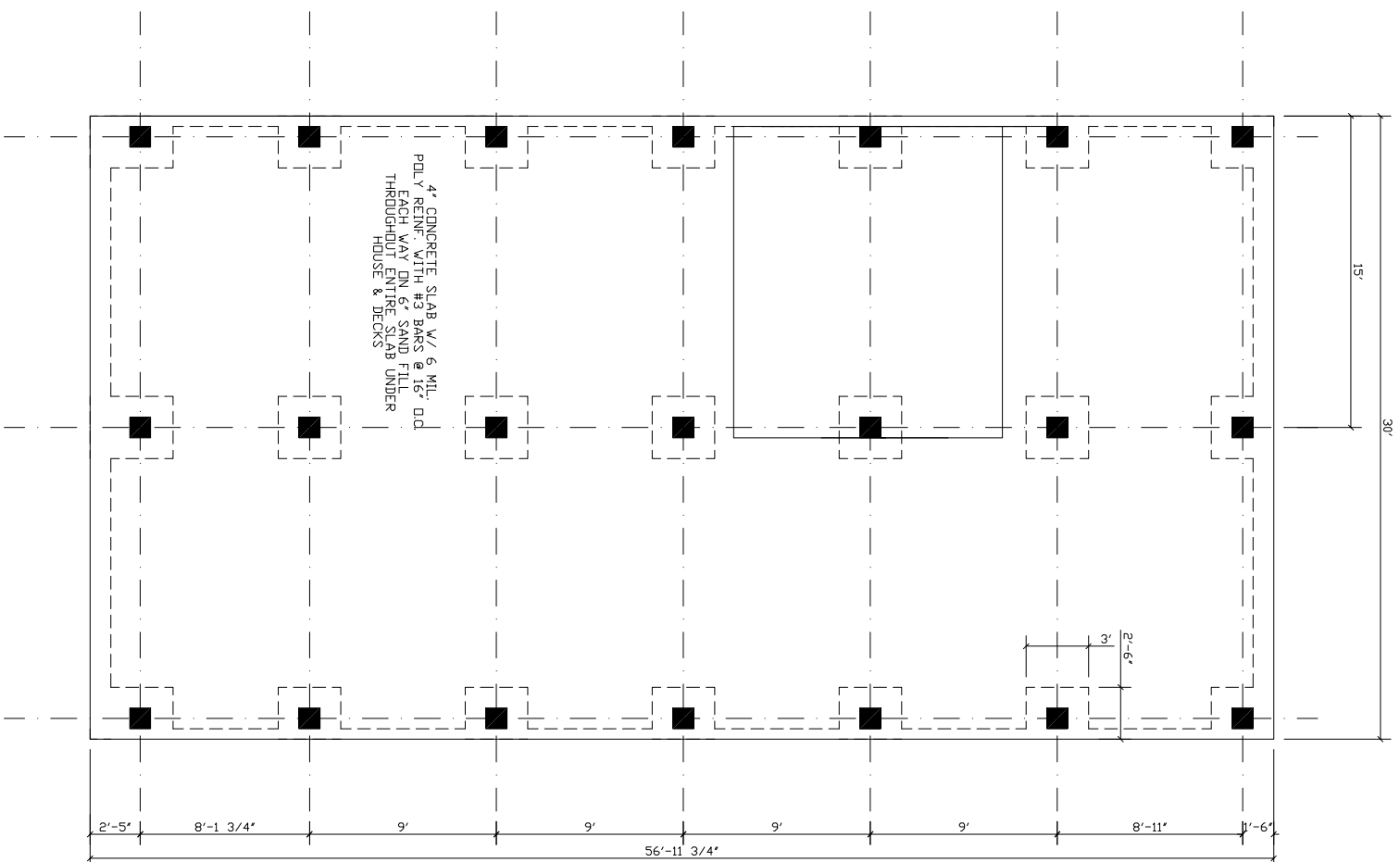


ALL WORK SHALL BE IN STRICT COMPLIANCE
 WITH ALL APPLICABLE WINDSTORM CODES
 LOCAL BUILDING CODES & ORDINANCES

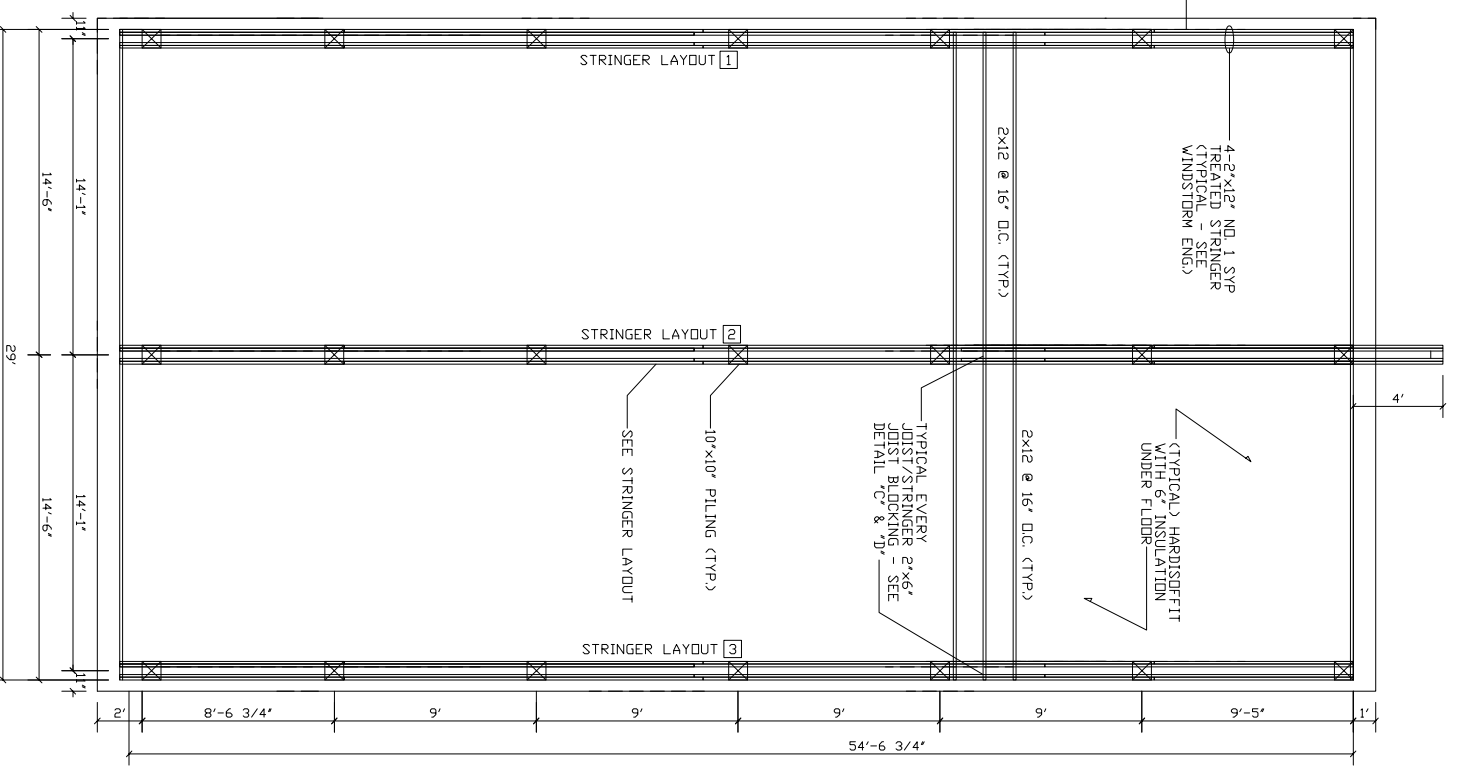
NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS	411 PINE ROAD LOT 1, BLK 1 CLEAR LAKE SHORES TEXAS
SHEET NAME	COVER SHEET SITE PLAN DRAINAGE PLAN
DATE:	JULY 23, 2018

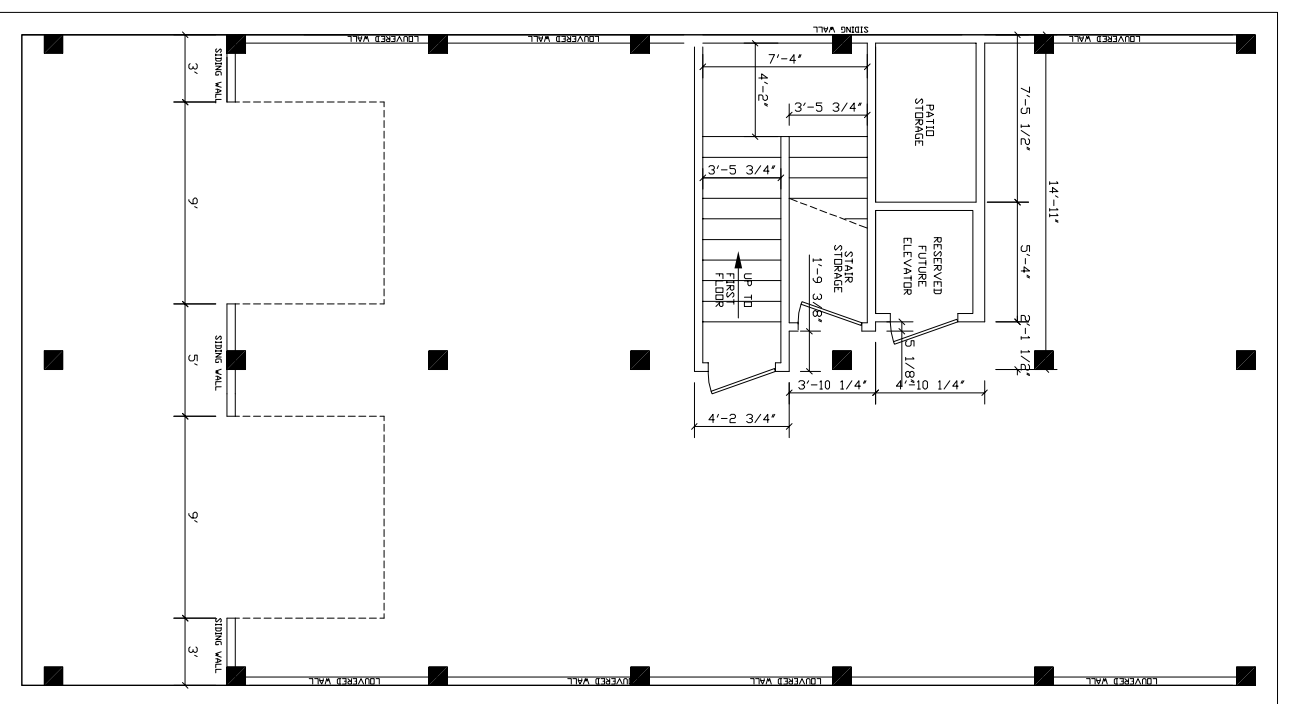
SHEET 1 OF 8



CONCRETE FOUNDATION PLAN
SCALE: 1/4" = 1'-0" - SEE STRUCTURAL PLAN



PILING & STRINGER LAYOUT
SCALE: 1/4" = 1'-0" - SEE STRUCTURAL PLAN



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0" - SEE STRUCTURAL PLAN

- NOTES:
1. 10" x 10" PILING LENGTH AND DEPTH OF EMBEDMENT TO BE DETERMINED BY ENGINEER.
 2. THE PILING NOT MORE THAN ONE HALF THE THICKNESS OF THE PILING MAY BE NOTCHED.
 3. BEAMS OR STRINGERS SHALL BE BOLTED TO PILING WITH FOUR 3/4" BOLTS.
 4. FOUR 3/4" BOLTS WASHERS SHALL BE STAINLESS STEEL ONLY.
 5. EACH BEAM END SHALL BE FASTENED TO PILING WITH FOUR 3/4" BOLTS.
 6. BEAMS AND STRINGERS SHALL BE FRAMED INTO THE TOPS OF PILING.
 7. BEAMS AND STRINGERS SHALL BE TREATED WITH WOOD PRESERVATIVE.
 8. WHERE FLOOR JOIST ARE SET ON THE TOP OF BEAMS OR STRINGERS FRAMING FLOOR JOIST SHALL BE ATTACHED TO BEAM WITH APPROVED A JOIST HANGER OR LEDGE STRIP SHALL BE PROVIDED. FLOOR JOIST SHALL BE ANCHORED AGAINST UPLIFT.
 9. IF FLOOR JOIST ARE NOT CONTINUOUS, THE JOINT SHALL OCCUR OVER STAIRS OR HANGER END THERE.
 10. FLOOR JOIST SHALL HAVE MAXIMUM SPACING OF 16" O.C.
 11. FLOOR JOIST SHALL BE DOUBLED BENEATH LOAD BEARING WALLS.
 12. VENTS AT GROUND FLOOR TO BE SIZED ACCORDING TO THE SQUARE FOOTAGE OF THE ENCLOSED AREA OF THE GROUND.
 13. VENTS AT GROUND FLOOR TO BE SIZED ACCORDING TO THE SQUARE FOOTAGE OF THE ENCLOSED AREA OF THE GROUND.
 14. PERMANENT CONTACT WITH UNDER SIDE OF SUB-FLOOR.
 15. PERMANENT CONTACT WITH UNDER SIDE OF SUB-FLOOR.

CONTRACTOR SHALL VERIFY DIMENSIONS TO INSTALLED PILING ON SITE

ALL WORK SHALL BE IN STRICT COMPLIANCE WITH ALL APPLICABLE WINDSTORM CODES LOCAL BUILDING CODES & ORDINANCES

NO.	REVISION / ISSUE	DATE

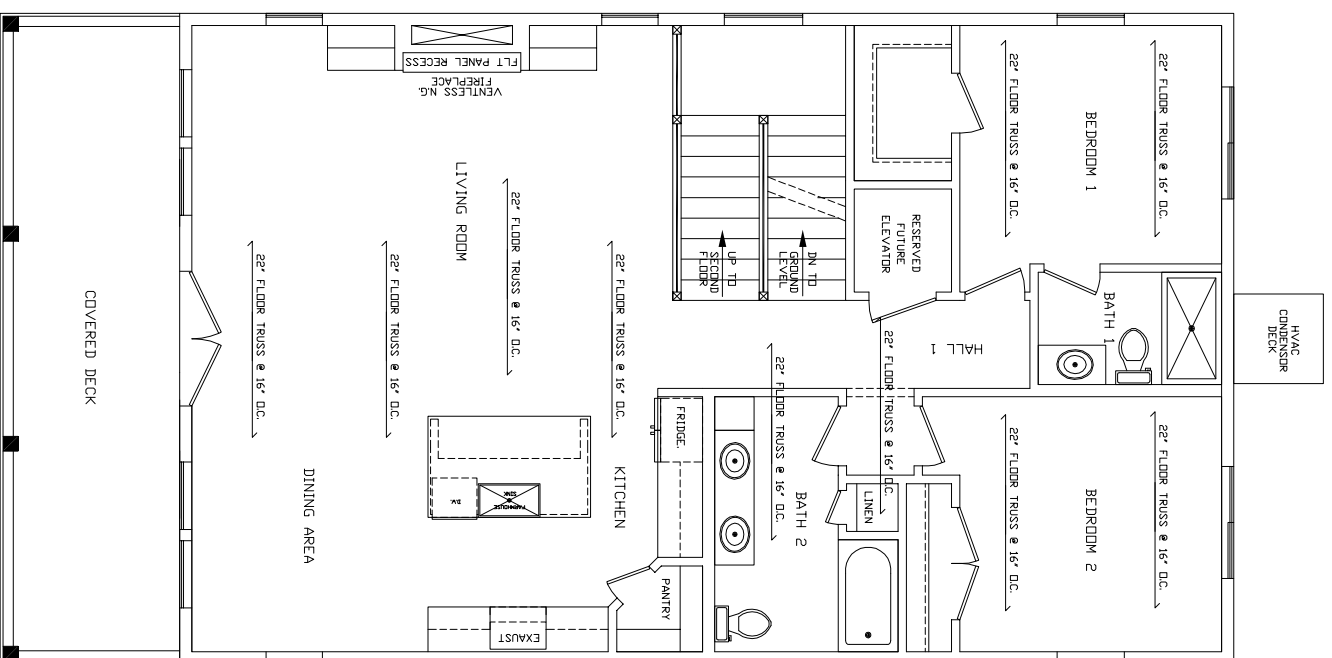
PROJECT NAME & ADDRESS
411 PINE ROAD
LOT 1, BLK 1
CLEAR LAKE SHORES
TEXAS

SHEET NAME
FOUNDATION / GROUND
FLOOR PLAN

DATE: JULY 23, 2008

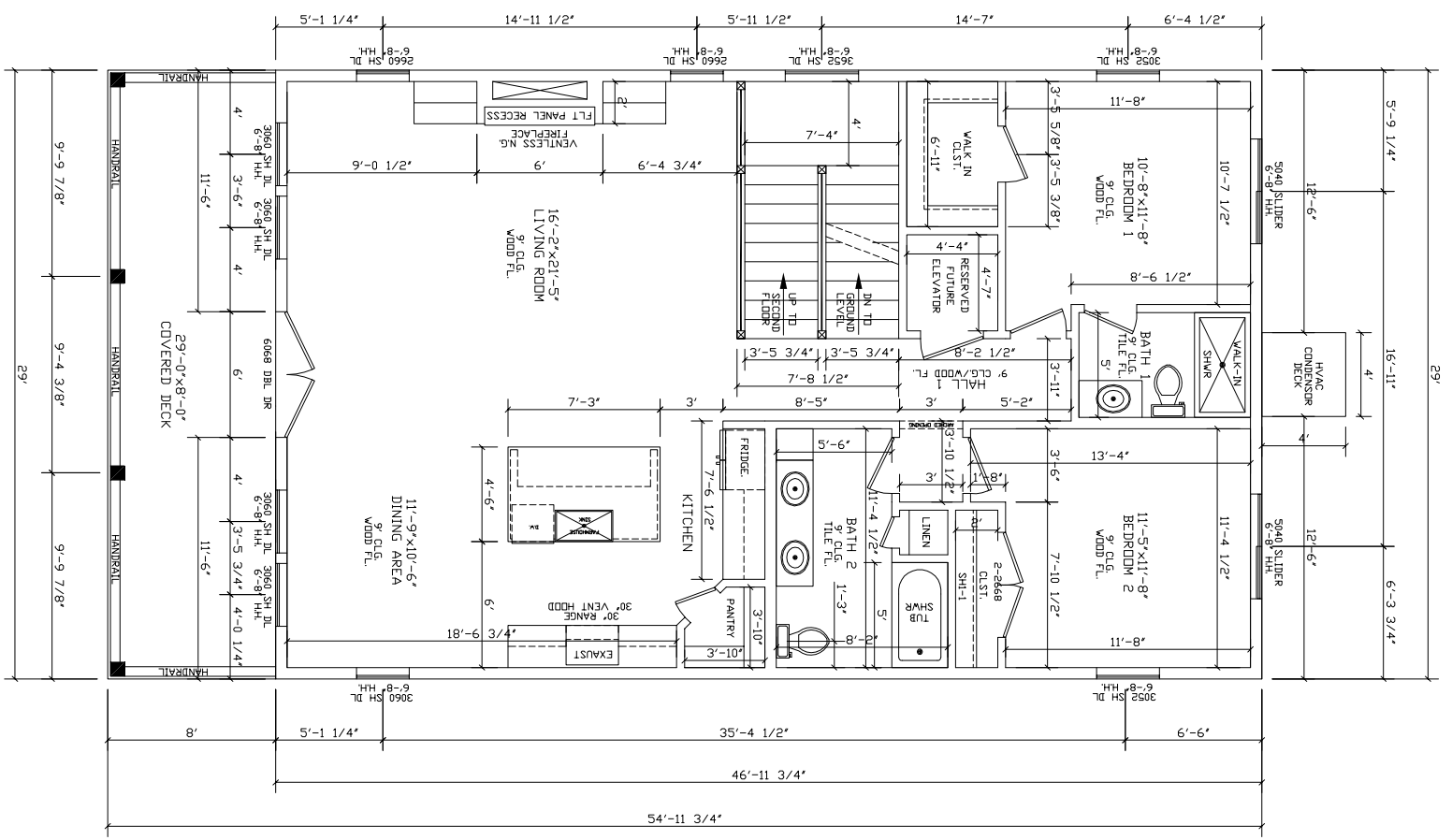
ALL WORK SHALL BE IN STRICT COMPLIANCE WITH ALL APPLICABLE WINDSTORM CODES LOCAL BUILDING CODES & ORDINANCES

SHEET 2 OF 8



1ST FLOOR CEILING JOIST PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. MAIN FLOOR - 9' CEILINGS UNLESS NOTED OTHERWISE
 2. CEILING JOIST #2 Y.P. 16' D.C. (2x6 MIN)
 3. STRONG-BACK ALL SPANS OVER 10'
 4. LAMINATED SUPPORT BEAMS TO BE USE FOR LARGE SPANS (GLUE AND NAIL 1/2" PLY BETWEEN EXIST)
 5. EXTERIOR WALL STUDS 2x4 @ 16" D.C.
 6. IN CORNERS FOR 4'
 7. STUDS #2 GRADE YELLOW PINE
 8. WINDOWS AND DOORS APPROVED BY TDI FOR 130 MPH WIND AND PER 2012 IRC EACH CORNER PER ENGINEER
 9. HOLD DOWN ANCHORS AT EACH CORNER PER ENGINEER
 10. EXISTING INSULATION TO REMAIN UNLESS NOTED OTHERWISE
 11. INSULATION R-19 COLD FLOOR; R-19 WALLS; R-30 ATTIC

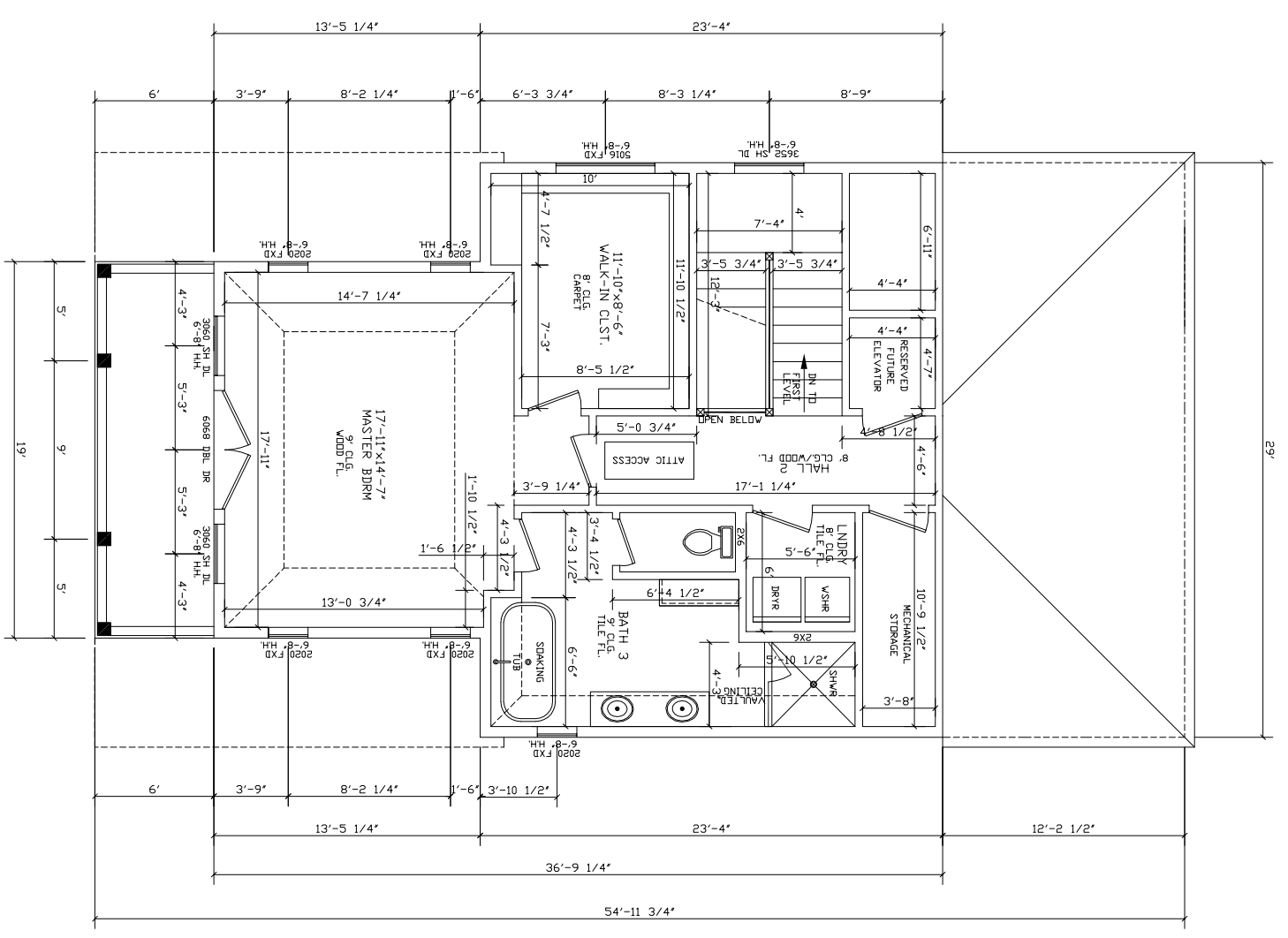
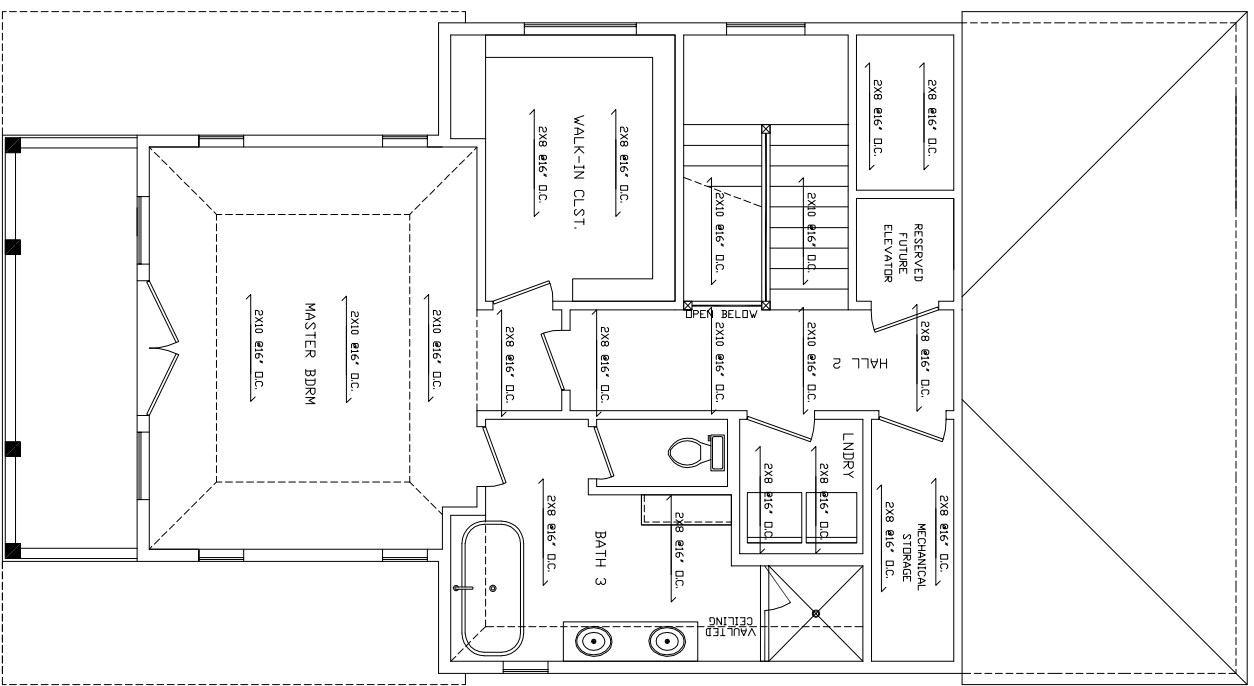


1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS:	411 PINE ROAD LOT 1, BLK 1 CLEAR LAKE SHORES TEXAS
SHEET NAME:	FIRST FLOOR PLAN
DATE:	JULY 23, 2018



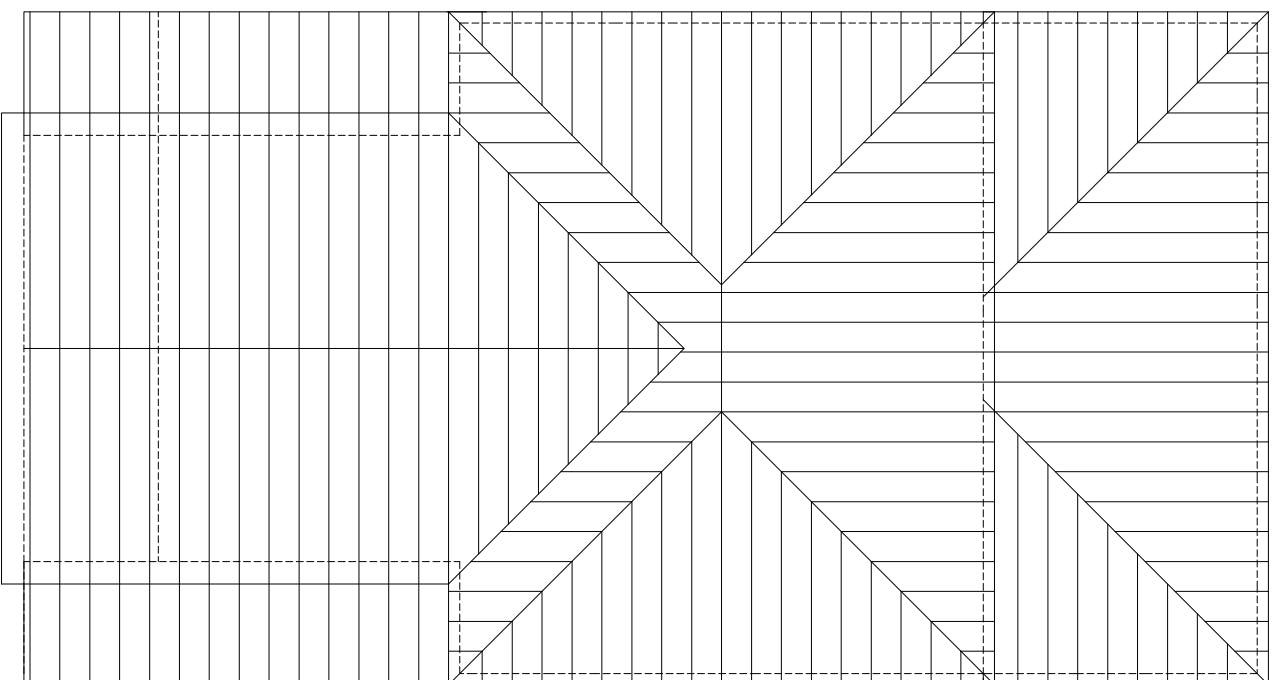
NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS:
 411 PINE ROAD
 LOT 1, BLK 1
 CLEAR LAKE SHORES
 TEXAS

SHEET NAME:
 SECOND FLOOR
 PLAN

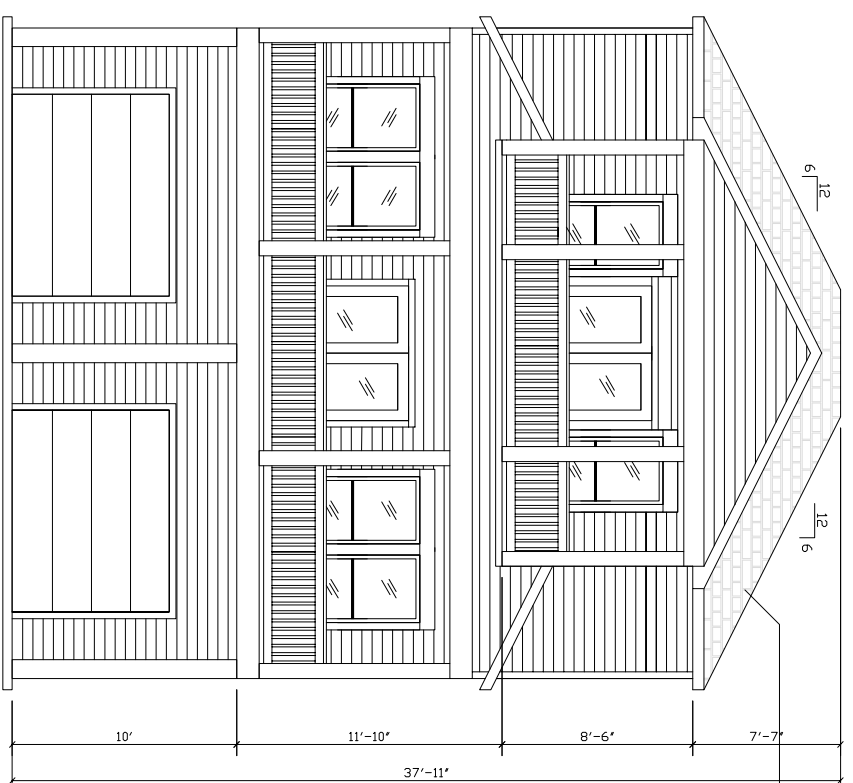
DATE: JULY 23, 2018

SHEET 4 OF 8



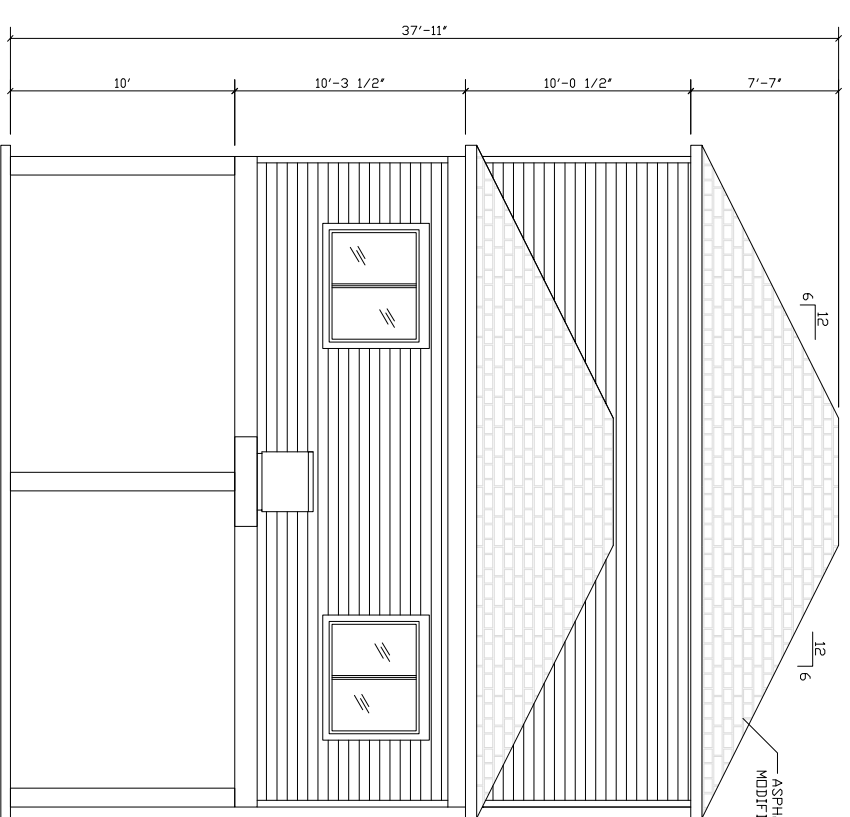
ROOF PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. RIDGES, HIP AND VALLEY RAFTERS - 2X8 (MUST BE AT LEAST AS LONG AS UNKNOTTED RAFTER JOINT)
 2. CHANGING RAFTER JOINTS (2X6 MIN WITH 11'-2" MAX SPAN)
 3. PURLINS AND SAME SIZE AS SUPPORTED RAFTERS
 4. BRACES - 2X4-3P" DC, 2-2X4" 1" BRACE IS OVER 8' LONG
 5. COLLAR TIES - 2X6" - EVERY RAFTER & INSTALLED ON UPPER 1/3 OF MATTING RAFTERS @ 16" OC
 6. LUMBER LISTED ABOVE SHALL BE VP #2 OR BETTER
 7. LUMBER LISTED ABOVE SHALL BE VP #1
 8. HURRICANE STRAPS ACROSS RIDGES, HIPs, AND VALLEYS (SIMPSON H.L.S.TA)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES ASTM D3161
MODIFIED FOR 120 MPH (TYPICAL)



REAR ELEVATION
SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES ASTM D3161
MODIFIED FOR 120 MPH (TYPICAL)

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LOCAL BUILDING CODES & ORDINANCES

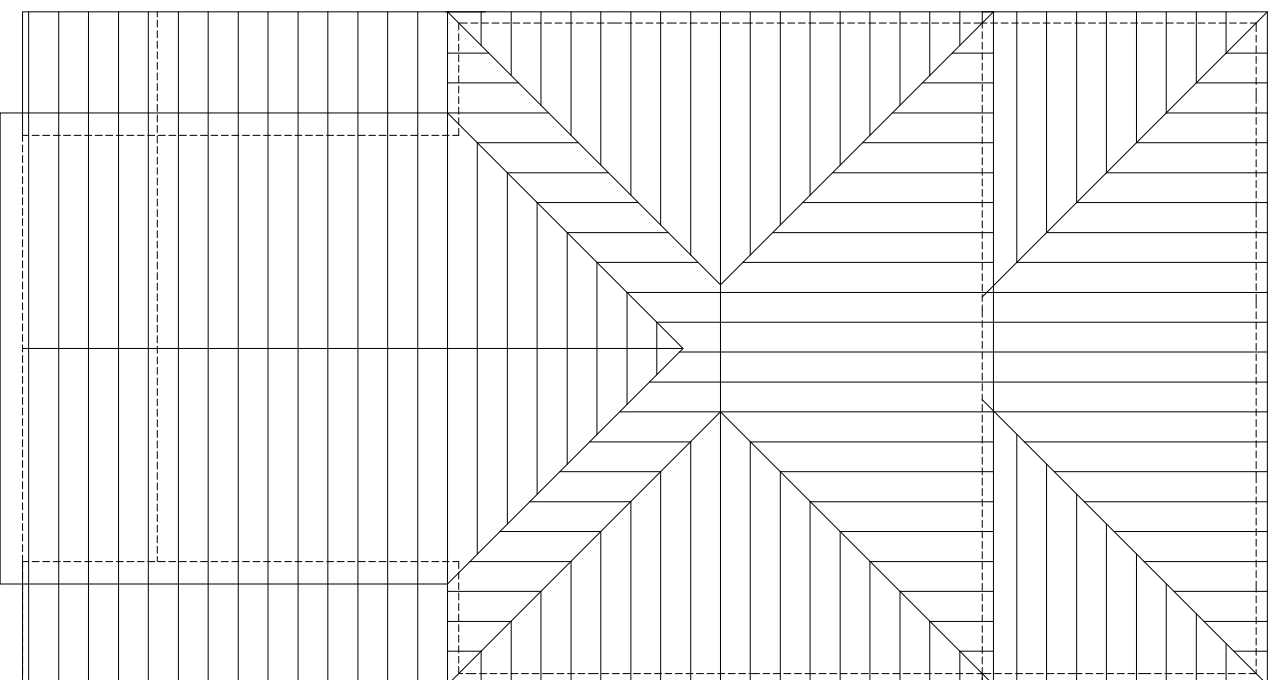
NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS
411 PINE ROAD
LOT 1, BLK 1
CLEAR LAKE SHORES
TEXAS

SHEET NAME
FRONT & REAR
ELEVATIONS / ROOF
PLAN

DATE: JULY 23, 2008

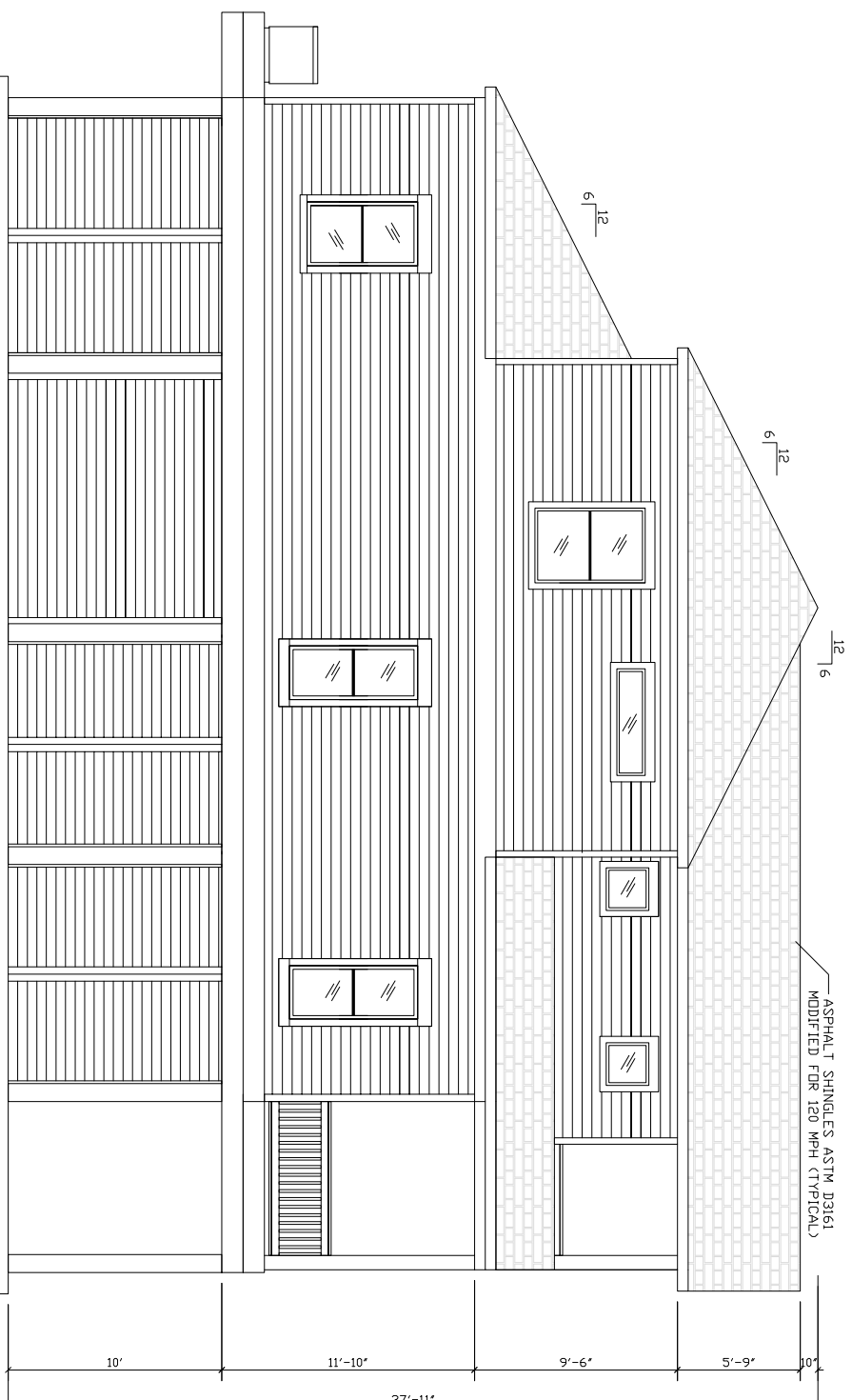
SHEET 5 OF 8



ROOF PLAN

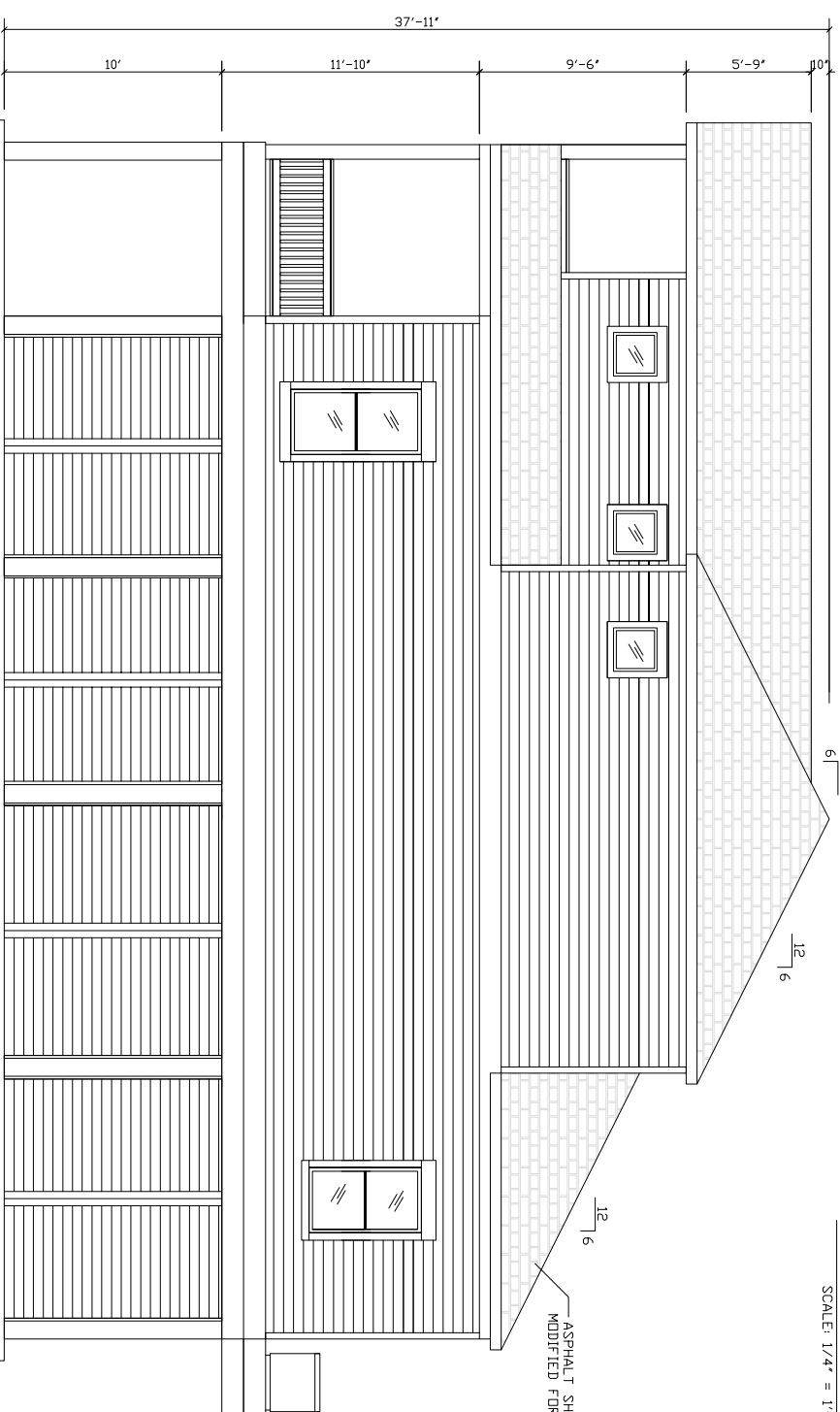
SCALE: 1/4" = 1'-0"

- NOTES:
1. RIDGES, HIP, AND VALLEY RAFTERS - 2X8 (MUST BE AT LEAST AS LARGE AS CONNECTING RAFTER CUTS)
 2. COMMON AND JACK RAFTERS - 16" D.C. (2X6 MIN WITH 11'-2" MAX SPAN)
 3. BRACINGS - SAME SIZE AS JACK RAFTERS OVER 8' LONG
 4. COLLAR TIES - 2X6" C, EVERY RAFTER & INSTALLED ON UPPER 1/3 OF MATING RAFTERS @ 16" D.C.
 5. LUMBER LISTED ABOVE SHALL BE #2KD SYP
 6. ATTIC VENTING - SOFFIT VENTS & RIDGE VENTS
 7. HURRICANE STRAPS ACROSS RIDGES, HIPs, AND VALLEYS (SIMPSON #LSTA)



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

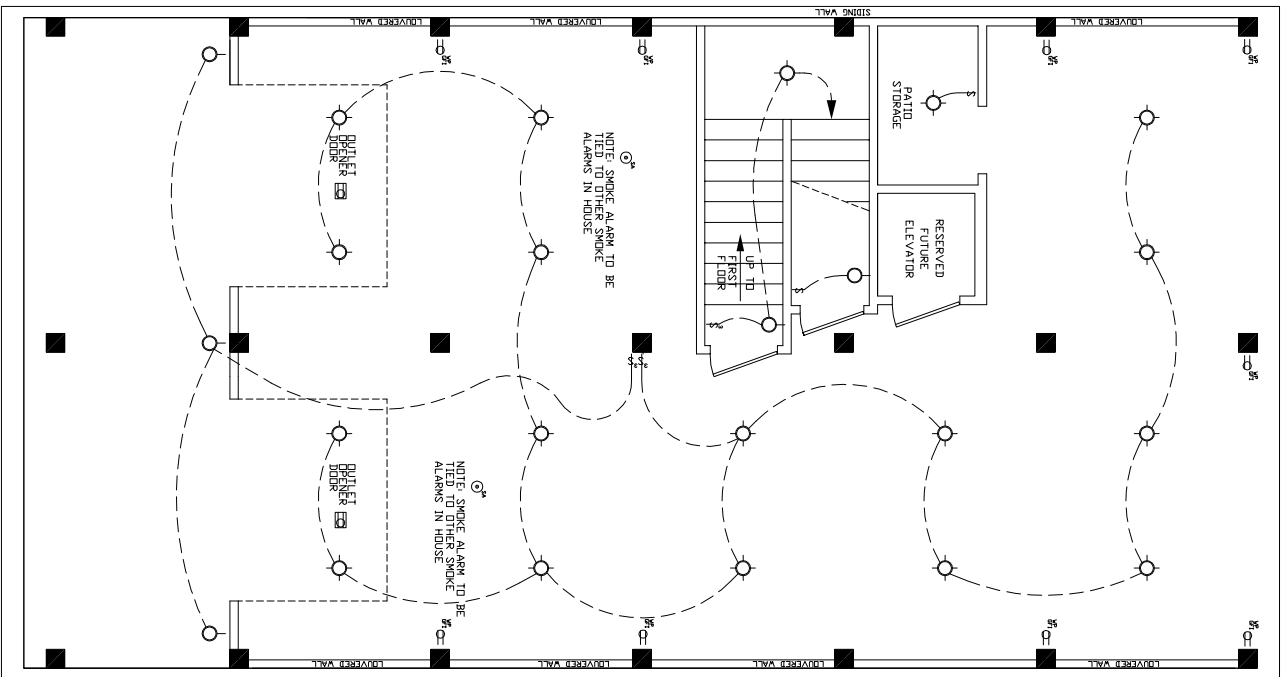
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NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS
 411 PINE ROAD
 LOT 1, BLK 1
 CLEAR LAKE SHORES
 TEXAS

SHEET NAME
 LEFT & RIGHT
 ELEVATIONS / ROOF
 PLAN

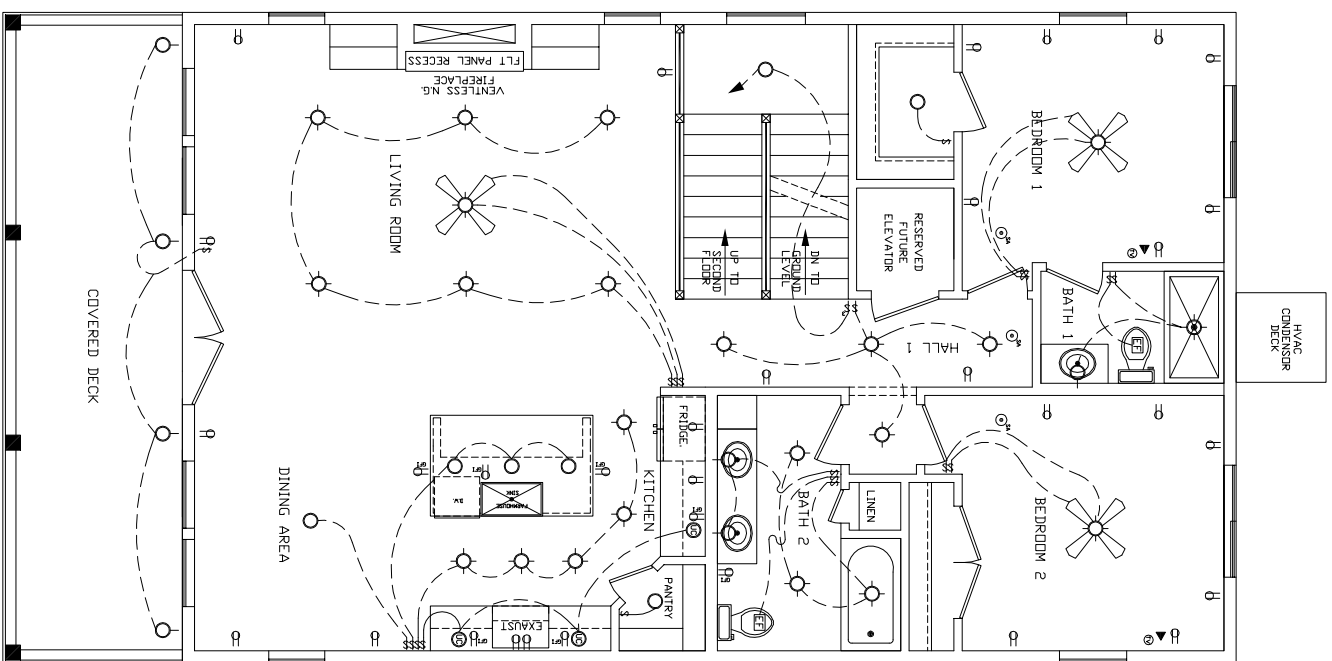
DATE: JULY 23, 2018



GRND. FL. ELECTRICAL PLAN

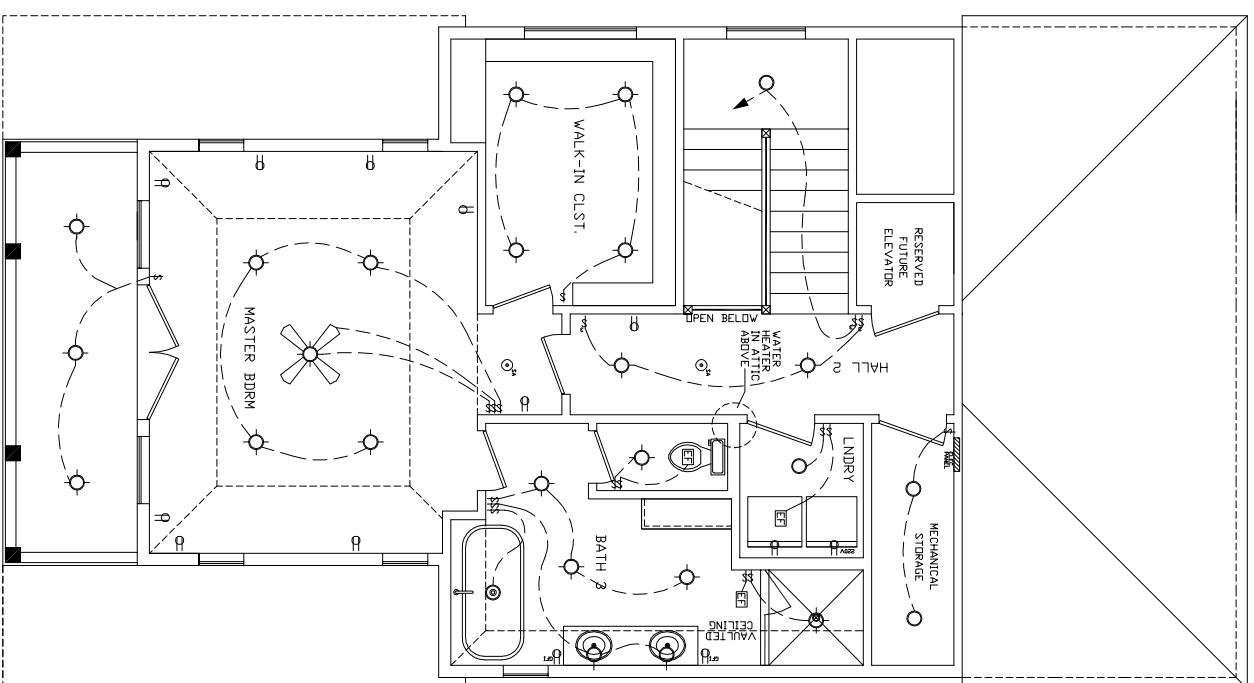
SCALE: 1/4" = 1'-0"

NOTE: ALL ELECTRICAL SHALL BE MOUNTED ABOVE BASE FLOOD ELEV.



FIRST FL. ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



SECOND FL. ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- ⊕ GROUND FAULT INTERRUPT DUPLEX OUTLET
- ⊕ WATER PROOF DUPLEX OUTLET
- ⊕ DUPLEX OUTLET
- ⊕ 3-WAY LIGHT SWITCH
- ⊕ LIGHT SWITCH
- ⊕ CEILING MOUNTED DUPLEX OUTLET
- ⊕ SMOKE ALARM
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ CEILING MOUNT LIGHT FIXTURE
- ⊕ ELECTRICAL PANEL

NO.	REVISION / ISSUE	DATE

PROJECT NAME & ADDRESS

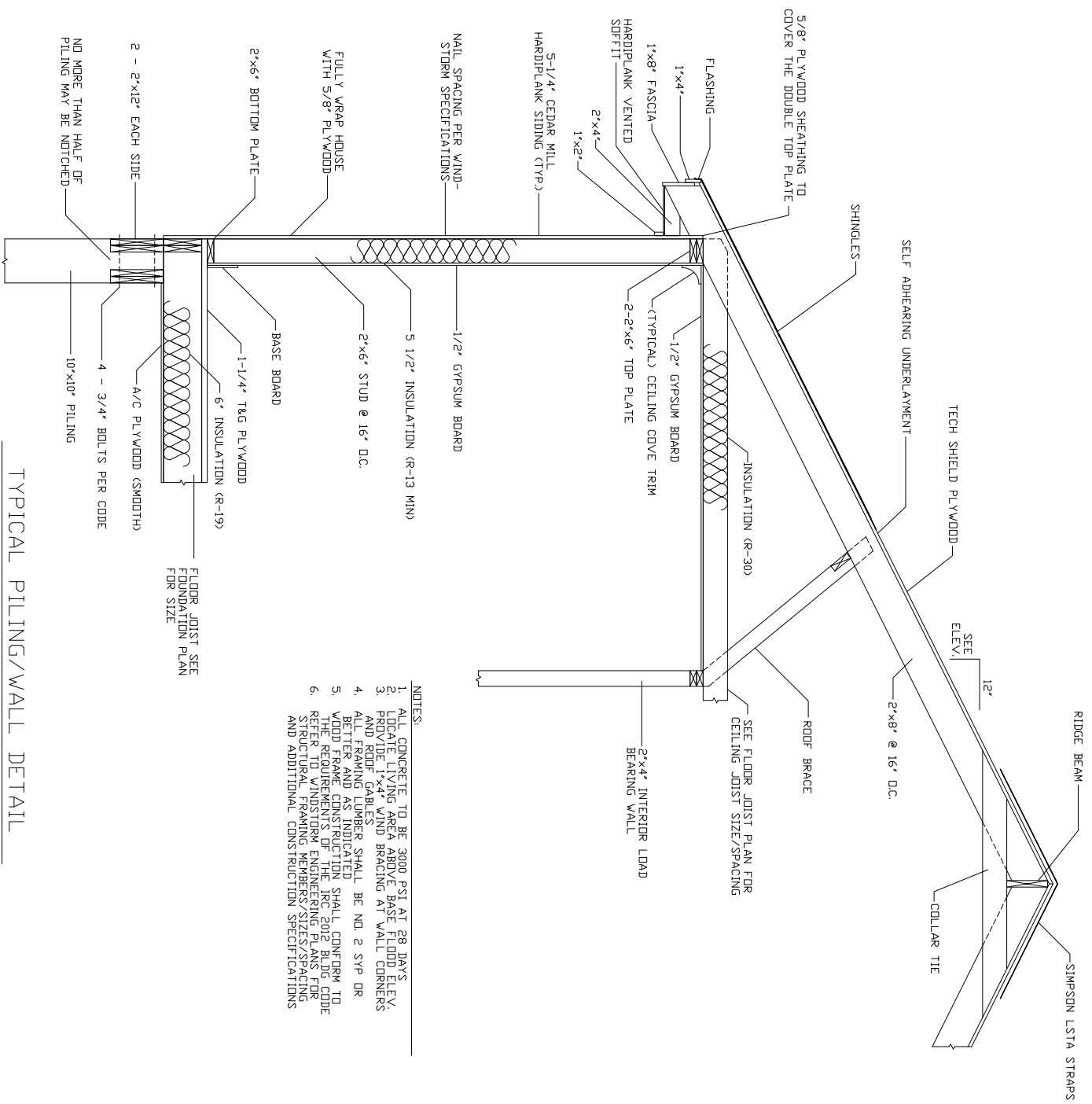
411 PINE ROAD
LOT 1, BLK 1
CLEAR LAKE SHORES
TEXAS

SHEET NAME

ELECTRICAL PLAN

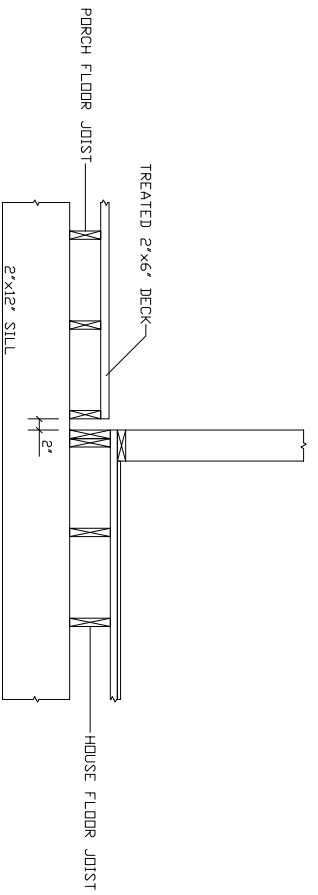
DATE: JULY 23, 2018

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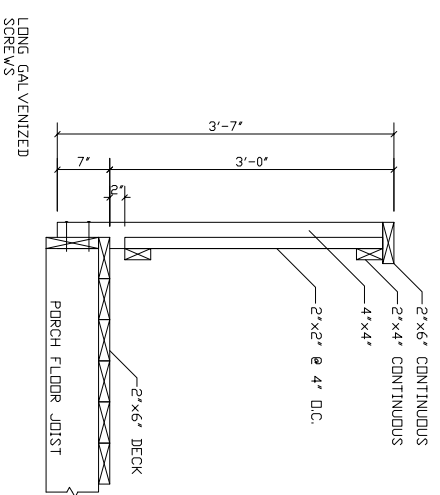


- NOTES:
1. ALL CONCRETE TO BE 3000 PSI AT 28 DAYS
 2. POORLY LYING AREA ABOVE BASE FLOOR ELEV. AND ROOF GABLES
 3. ALL FRAMING LUMBER SHALL BE ND 2 SYP OR BETTER AND AS INDICATED
 4. WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE IBC, 2006, AND REFER TO STRUCTURAL FRAMING MEMBERS/SIZES/SPACING AND ADDITIONAL CONSTRUCTION SPECIFICATIONS

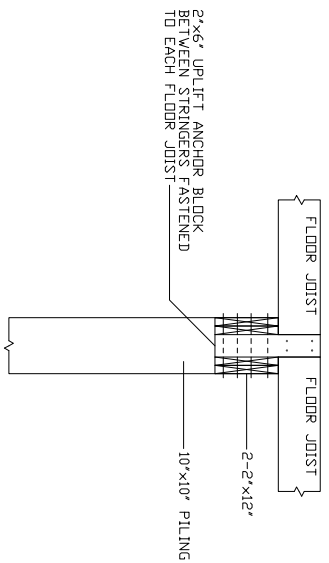
TYPICAL PILING/WALL DETAIL
SCALE: 3/4" = 1'-0"



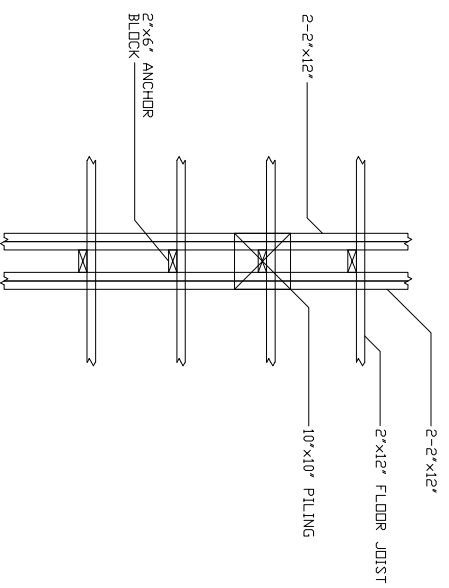
TYPICAL HOUSE TO PORCH SECTION
SCALE: 3/4" = 1'-0"



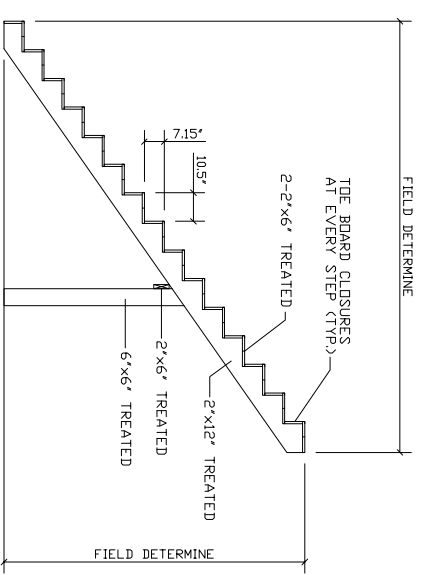
TYPICAL RAILING DETAIL
SCALE: 1" = 1'-0"



DETAIL "C"
SCALE: 3/4" = 1'-0"



DETAIL "D"
SCALE: 3/4" = 1'-0"



TYPICAL STAIR DETAIL
SCALE: 1/2" = 1'-0"

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PROJECT NAME & ADDRESS		
411 PINE ROAD LOT 1, BLK 1 CLEAR LAKE SHORES TEXAS		
SHEET NAME		
TYPICAL DETAILS		
NO.	REVISION / ISSUE	DATE
DATE: JULY 23, 2008		
SHEET	8	OF 8