



**North Star Inspections, Inc.**

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**443 Oak Chase Dr. Conroe Tx 77304**

**Oakchase8520A**

**Wednesday, August 5, 2020**

**Prepared Exclusively For:**

**Malcolm & Evelyn Thomas**



**PROPERTY INSPECTION REPORT**

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**Prepared For:** Malcolm & Evelyn Thomas  
(Name of Client)

**Concerning:** 443 Oak Chase Dr., Conroe, TX, 77304  
(Address or Other Identification of Inspected Property)

**By:** Jerald Dale Brown TREC #8978 8/5/2020  
(Name and License Number of Inspector) (Date)

XXX  
(Name, License Number and Signature of Sponsoring Inspector, if required)

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**PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES**

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules (“Rules”) of the Texas Real Estate Commission (“TREC”), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer’s installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller’s disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector’s responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client’s responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.**

**Report Identification:** Malcolm & Evelyn Thomas 443 Oak Chase Dr., Conroe, TX, 77304

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Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

**TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding, and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

Report Identification: Malcolm & Evelyn Thomas 443 Oak Chase Dr., Conroe, TX, 77304

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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Present at Inspection:  Buyer  Buyer's Agent  Seller /Owner  Listing Agent  Builder

Building Status:  Vacant  Occupied

Weather Conditions:  Fair  Cloudy  Rain                      Temperature: 70 to 90

Utilities On:  Yes  No  No Water  No Electricity  No Gas

For directional purposes of this report the home faces: **The front of the home faces northwest**

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**INACCESSIBLE OR OBSTRUCTED AREAS**

- |   |  |
|---|--|
| <input type="checkbox"/> Sub Flooring   | <input type="checkbox"/> Attic Space is Limited - Viewed from Accessable Areas |
| <input type="checkbox"/> Floors Covered   | <input type="checkbox"/> Plumbing Areas - Only Visible Plumbing Inspected      |
| <input type="checkbox"/> Walls/Ceiling Covered or Freshly Painted   | <input type="checkbox"/> Siding Over Older/Existing Siding                     |
| <input type="checkbox"/> Behind/Under Furniture and/or Stored Items   | <input type="checkbox"/> Crawl Space is limited - Viewed From Accessible Areas |
| <input checked="" type="checkbox"/> Mold/ Mildew investigations are NOT included with this report; it is beyond the scope of this inspection at the present time. |  |

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add comments

add comments

add comments

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

**A. Foundations**

Type of Foundations: Slab on Grade w/Post - Tension cable      The front of the home faces

Comments:      Observation :      The foundation is performing as intended

The foundation is performing as intended. No significant problems were observed.  
Performed an electronic foundation level survey.  
This home has a differential of less than .700 (Good condition)  
Foundation corner cracks are typical in warmer environments and many time occur before the form boards are removed and are not considered a structural defect .

**B. Grading and Drainage**

Comments:

The grading and drainage aspects of the property appear Good at the time of the Inspection.

There is a low spot on the right and left side of the driveway by the garage that needs to be filled in .  
There is some washout around the AC condenser on the left side of the house that needs to be filled in .  
The grading and drainage aspects of the property appear Good at the time of the Inspection.

**C. Roof Covering Materials**

Type(s) of Roof Covering: 20 year shingle

Viewed From: Walk The Roof

Comments:

D -Mildew was noted on the roof. A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container) .  
D - The exposed shingle fasteners need to be covered with roofing cement to prevent leaks  
The roof is in good overall condition .

**D. Roof Structure and Attic**

Viewed From: Walk The Attic

Approximate Average Depth of Insulation: 15 inch. R 38

Comments:

Pull down stairs in the hall  
Soffit vents to ridge vents

Tech shield was added to the home as part of the decking, Tech shield help block radiant heat from entering your attic. The attic equipment and roofing material can also last longer and not have to work as hard. With proper insulation tech shield can reduce this homes energy consumption by as much as 30% .  
The attic structure is in good condition .

**E. Walls (Interior and Exterior) - Comments:**

Comments:

Description of Structure's Exterior:

Brick & Cement board.

Wall Structure:

Wood stud framing

Trim Material:

Cement board

The exterior walls are in good overall condition .  
The interior walls have been repainted throughout .

**F. Ceiling and Floors**

Comments:

Description of Structure's Ceiling & Floor Coverings:

Ceiling Covering: Sheet rock

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**I   NI   NP   D**

### I . STRUCTURAL SYSTEMS

Floor Covering:

Good overall condition .

Good overall condition .

**G. Doors (Interior and Exterior)**

*Comments:*

Interior:

The door between the garage and the interior of the house should be equipped with an auto-closer device to prevent automobile fumes from entering the house .  
The tops of the interior doors are not painted.  
Good overall condition .

Exterior:

There are gaps on the side of the garage doors than could allow vermin to enter the garage.  
These areas should be sealed . There is some wood rot on the garage door trim .  
Good overall condition .

**H. Windows**

*Comments:*

*Double pane windows*

C - Signs of failed seals in the thermal pane windows may appear and disappear and temperature and humidity change. Some windows with failed seals may not be evident at the time of the inspection, windows are only checked for obvious fogging.  
(Note, This is a disclaimer, no lost seals were found) .  
Good overall condition .

**I. Stairways (Interior and Exterior)**

*Comments:*

*Attic stairs in hallway*

The attic stairs are missing nails in key locations in the steel plate at the top and sides of the stairs. These nails are needed for the manufacturers load capacity to be met .

**J. Fireplace / Chimney**

*Comments:*

**K. Porches, Balconies, Decks, and Carports**

*Comments:*

Good overall condition .  
One of the blinds fell while lowering, I reinstalled it however it looks like it needs to be held up by stronger fasteners .

**L. Other**

*Comments:*

*Driveway*

The driveway is in good overall condition .

# Structural A: Foundation

## PICTURES PAGE

Concerning : Malcolm & Evelyn Thomas 443 Oak Chase Dr., Conroe, TX, 77304  
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front door



Back door



Master bedroom



Living room



Kitchen



Front Idinning

# Structural B: Grading

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Low spot



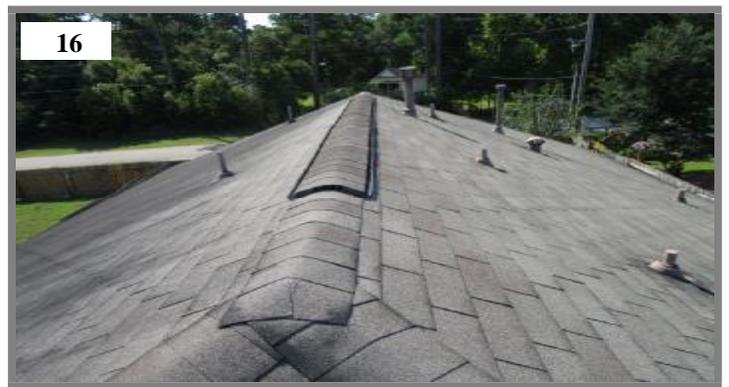
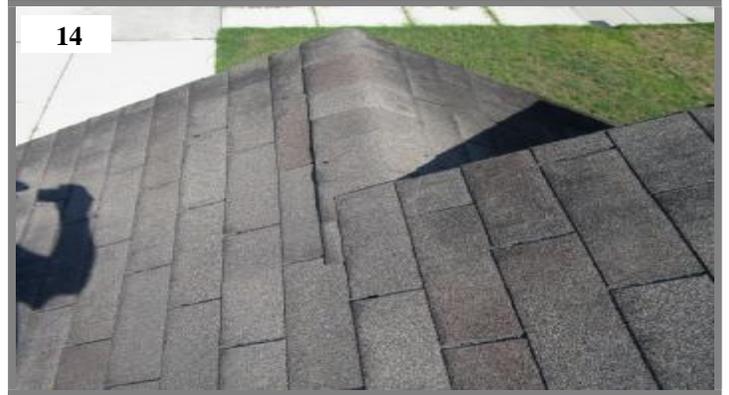
Low spot



# C: Structural: Roof Covering Materials

## PICTURES PAGE

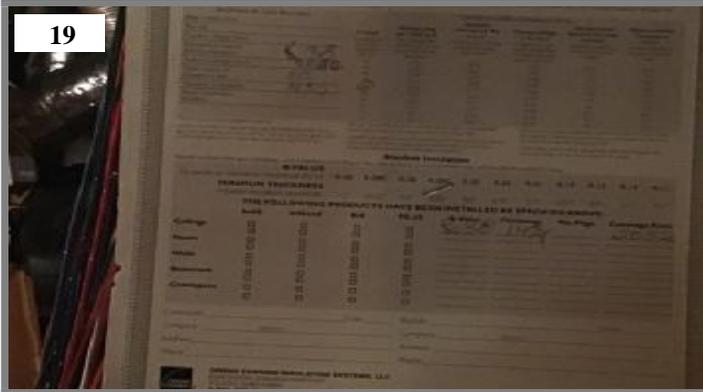
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# D: Structural: Roof Structure and Attic

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**E: Structural: Walls Exterior**

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# F: Structural: Ceiling

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31

Kitchen



32

Living room



33

Master bedroom



34

Dinning



35

Right rear bedroom



36

Middle bedroom

# F: Structural: Floors

## PICTURES PAGE

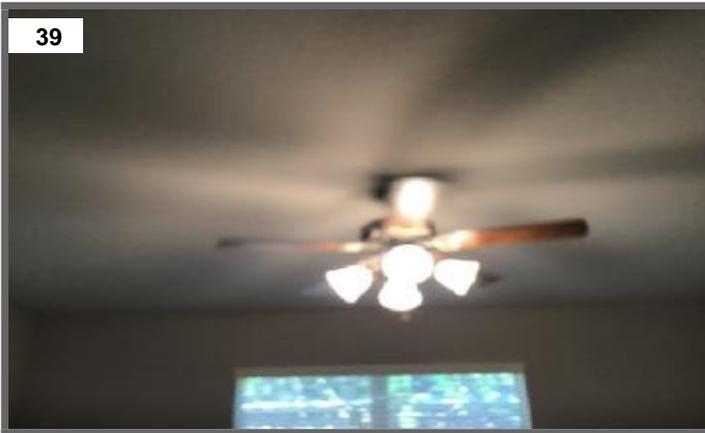
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Kitchen



Living Room



Master Bedroom



Dinning



Right rear bedroom



Middle bedroom

**G: Structural: Doors Exterior**

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43

Kitchen



44

Living Room



45

Master Bedroom



46

Dinning



47

Right rear bedroom



48

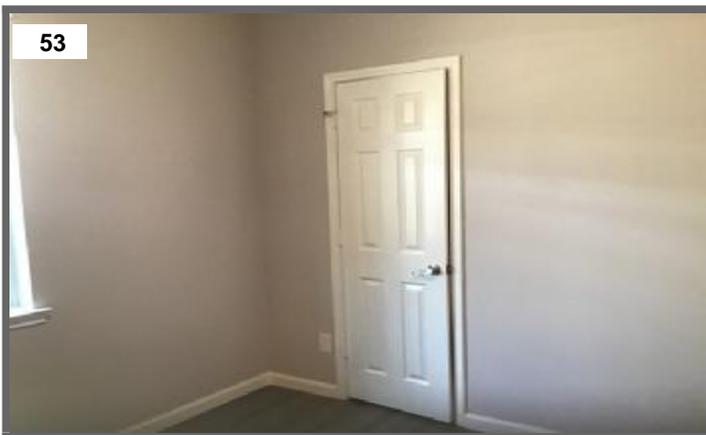
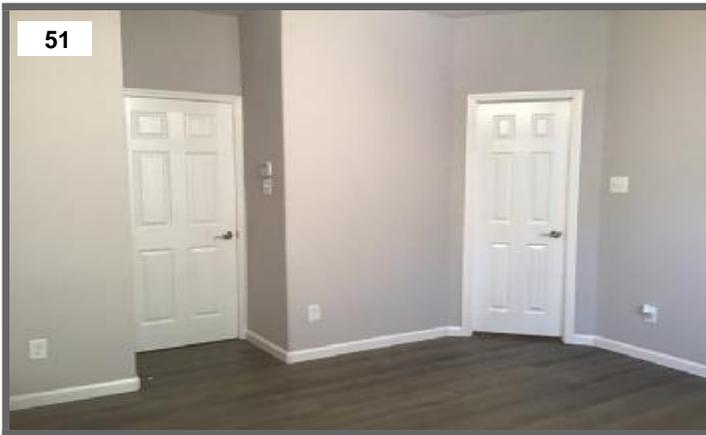
Middle bedroom

# G: Structural: Doors Interior

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## G: Structural: Doors Exterior

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# H: Structural: Windows

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# I: Structural: Stairs (Interior and Exterior)

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Missing fasteners



Missing fasteners



Nail pattern



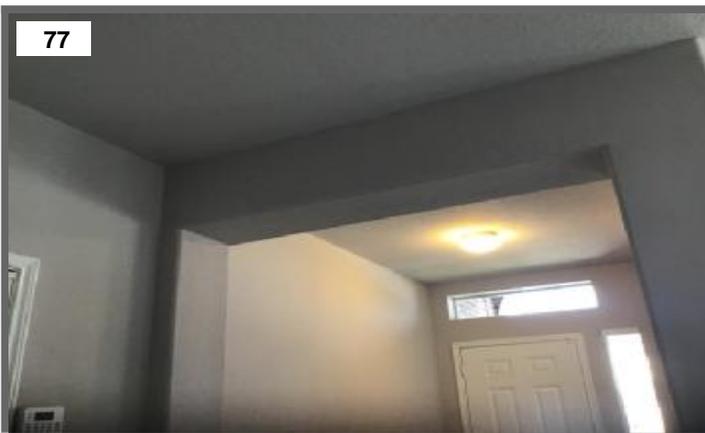
Missing fasteners

**J: Structural: Fire Place / Chimney**

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# Structural A: Foundation

## PICTURES PAGE

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Fence front left



Fence left



fence back left



fence back right



Fence right



Fence front right

# Structural A: Foundation

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Low spot



Termites on fence



Missing screens

# Structural A: Foundation

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Wood rot



Wood rot



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I   NI   NP   D

## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Comments:*

*Electric Service Size: 120/240 Volt Main Service*

*Service Entrance Wires: Aluminum, Underground*

*Main Distribution Panel: Breakers*

*Brand of Panel: GE*

*Panel Location: Left exterior*

*Main Braker Rating: 150amps*

*Service Ground: Copper*

*Service Ground: Ground rod*

Left side meter

120/240 service. 150 AMP Main. AC breaker size – 45 amp  
**It is recommended the ground rod clamp be changed to an acorn type ground clamp.**

AFCI (arc fault) circuit breakers are now standard equipment in electrical systems.

This is a new code that is effective as of 2-1-2009.

This home has not been equipped . The original intention of the AFCI was to equip bedroom lighting circuits to trip out in the event of a potential fire in these circuits. Many of us install an outlet multiplier turning a double outlet into a 6 way outlet to service the many requirements we now have in our home. (Double lamps, double cell phone charges, a clock radio, and maybe a computer power strip.) These multi outlets generate heat and many of us slide a bed up to these outlets. The AFCI breakers can detect arcs in these systems and trip out before a fire starts. The AFCI program was extended to include all household lighting circuits partly because of the new demand for power for our entertainment centers, new plasma TV generate a lot of heat. After the new code had taken effect the manufacturers of these items have made it a priority to make these items energy star rated.

NOTE: There are complaints about the new breakers being overly sensitive and many times trip out as a nascence. The breakers can and will trip when an appliance that has a fault is used.

**B. Branch Circuits, Connection Devices, and Fixtures**

*Type of Wiring: Copper*

*Comments:*

*The home is equipped with compact fluorescent light bulbs (CFL's) in certain light fixtures. While the use of energy saving CFL's is certainly recommended there are some limitations to their use. Due to the wide range of manufacturers and types of CFL's then determining the proper wattage, bulb design, heat transmission, etc of any CFL's in use is beyond the scope of this inspection. More information on the proper use of CFL's can be found at [http://www.gelighting.com/na/home\\_lighting/ask\\_us/faq\\_compact.htm](http://www.gelighting.com/na/home_lighting/ask_us/faq_compact.htm) or other manufacturer websites.*

**Recommend that batteries in all smoke detectors be changed upon taking possession of the home**

D - GFCI outlets are needed in the Kitchen, bathrooms, garage, and all outdoor outlets less than 6 feet off the ground.  
 A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.  
 (All are correct, no action needed)

**FIRE PROTECTION EQUIPMENT –**

Smoke detectors have been installed in every bedroom and adjoining room for improved safety.

The doorbell is operational



**B: Branch Circuits, Connection Devices, Fixtures**

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Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



Yes GFCI



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I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

return air vents are taken.

Condensate Drains Line:

The drain pan is clean and dry

The breakers to the AC system are correct in size

C. Ducts System, Chases and Vents

Comments:

*Flex ducting*

*20x30x1*

· All return air filters should be replaced before moving in and at either regular monthly intervals or as needed thereafter. Any register / diffuser which has signs of residue around it may indicate a system that may not have been well-maintained in the past.

# A. Heating Equipment: Gas Vents / Flue

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# B. Cooling Equipment

## PICTURES PAGE

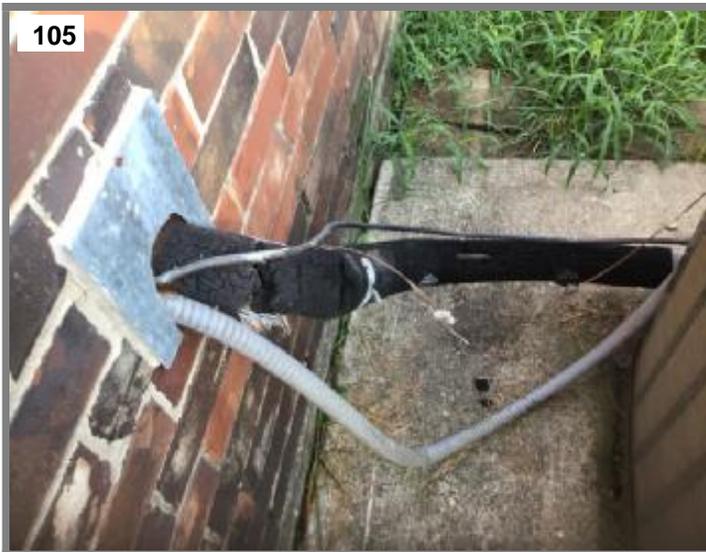
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103  
3.5 ton  
R410A coolant



104  
4TTR4042C1000AA  
8-2009



105



106

## C. Ducts System, Chases and Vents

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I	NI	NP	D
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**IV. PLUMBING SYSTEMS**

**A. Plumbing Supply, Distribution System and Fixtures**

*Location of Water Meter:* Located At The Curb,  
*Location of main water supply valve:* in the garage  
*Static water pressure reading:* PVC 3/4 inch 60 Lbs.  
 Public  
*Comments:* PEX

All exterior hose bibs are required to be equipped with anti backflow valves to prevent the cross connect of contaminant into our water supply (Not required on homes with there own water wells) (All are correct, no action needed)
The kitchen sink is in good condition .
The bathroom sinks are in good condition .
The master shower door does not latch properly and needs adjustment .
The tubs are in good condition .
Good overall condition The hall toilet tank is loose to the bowl .

**B. Drains, Wastes, and Vents**

PVC  
 PVC

**C. Water Heating Equipment**

*Energy Source:* Natural Gas  
*Capacity:* 40 Gallon  
*Comment:*  
*Unit #1:* Brandford White M4403S6FBN 40 Gals Attic

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**E. Other:**

*Comment:*

# A. Water Supply and fixtures

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## B. Drains, Wastes, Vents

### PICTURES PAGE

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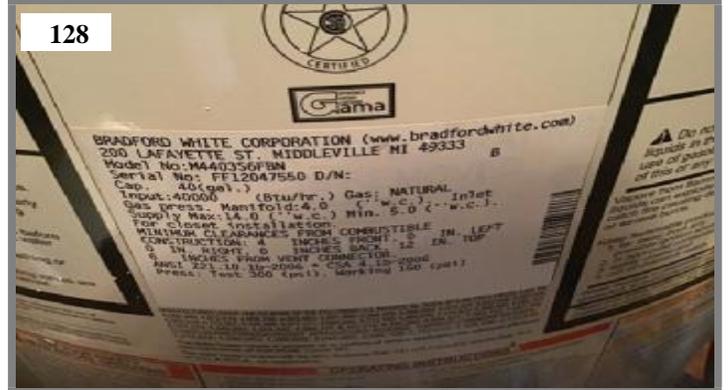
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# C. Water Heating Equipment

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# D. Hydro Equipment

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Master Bathroom



Master Bathroom



Master Bathroom



Master Bathroom



Master Bathroom



Master Bathroom

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**I   NI   NP   D**

**V. APPLIANCES**

**A. Dishwasher**

*Comments:*

*Manufacture: GE*

*Model Number: GSD2100V65BB*

Tested well  
Good Condition

**B. Food Waste Disposer**

*Comments:*

*Manufacture: ISE (In Sink Erator)*

*Model Number: Badger 100*

Tested well  
Good Condition

**C. Range Hood and Exhaust System**

*Comments:*

*GE*

*Model Number: JVM1540DN1BB*

*D-The vent hood terminates to the exterior,*

Tested well  
Good Condition

**D. Ranges, Cooktops, and Ovens**

*Comments: Natural gas*

*GE*

*Model Number: JGBS23GEM*

*GE*

*Model Number:*

350

348.9

1.1

No

350

Tested well  
Good Condition

**E. Microwave Oven**

*Comments*

*GE*

*Model Number: JVM1540DN1BB*

Tested well  
Good Condition

**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments*

*Bathroom Exhaust Fans and/or Heaters*

Tested well .

**G. Garage Door Operator**

*Comments All child safety equipment tested well at the time of the inspection*

*MY Q WiFi*

*Chamberlain*

**H. Dryer Vents**

*Comments:*

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**I NI NP D**

**V. APPLIANCES**

The dryer vent is clean

**I. Other**

*Comments*

The doorbell is operational

**A. Dishwasher**

**B. Garabige Disposal**

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## C. Range Exhaust Vent

## D. Range, Ovens, Cook-Tops

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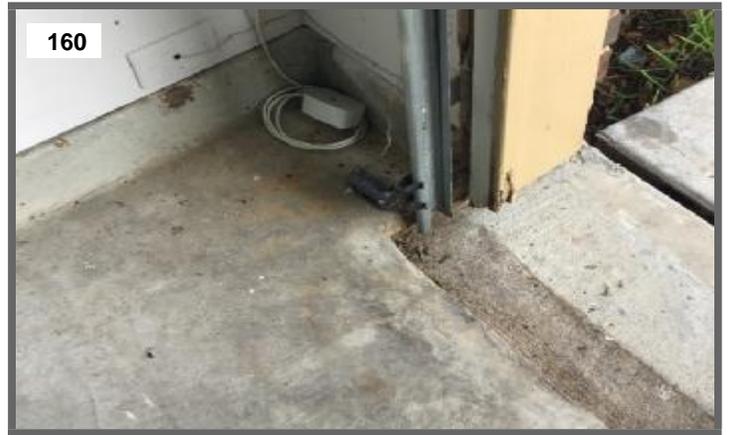
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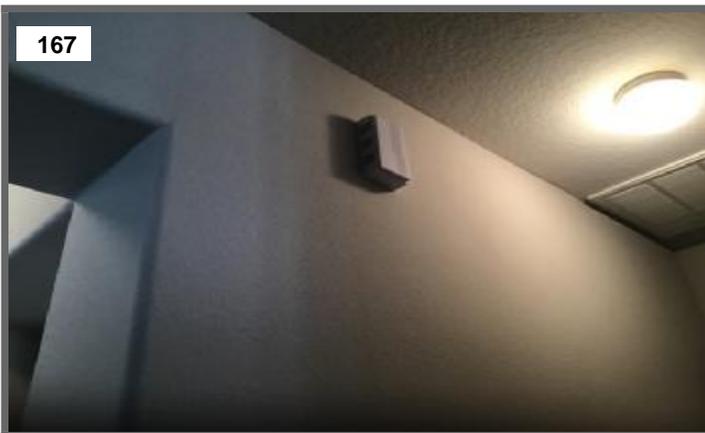
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**K. and L. Other Built-In**

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253  
Outdoor outlets  
Missing all weather cover



254  
Outdoor outlets



255  
water shut off  
in garage



256  
Garage outlet



257  
Laundry room



258  
Dryer plug

# PICTURES PAGE

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Schedule Date : Wednesday, August 5, 2020



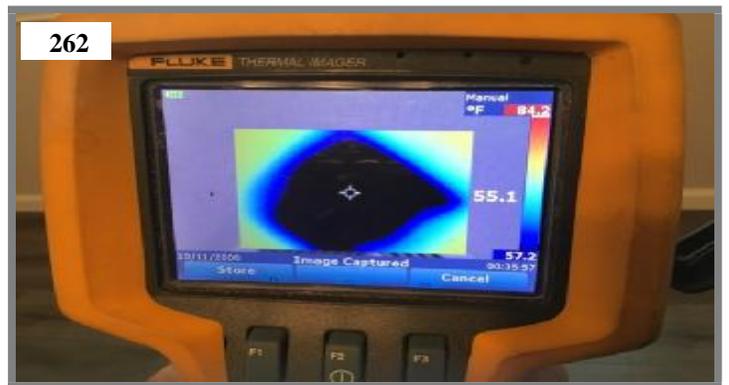
Thermal Imaging  
AC Living



Thermal Imaging  
AC Kitchen



Thermal Imaging  
AC Dinning



Thermal Imaging  
AC Master



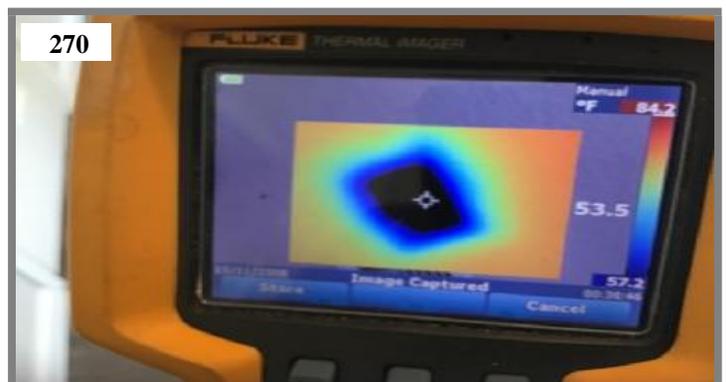
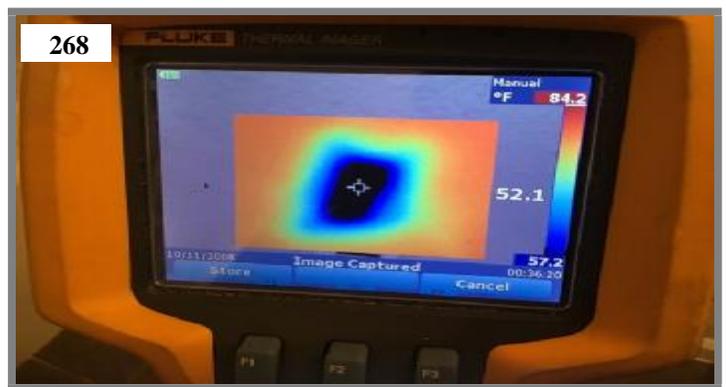
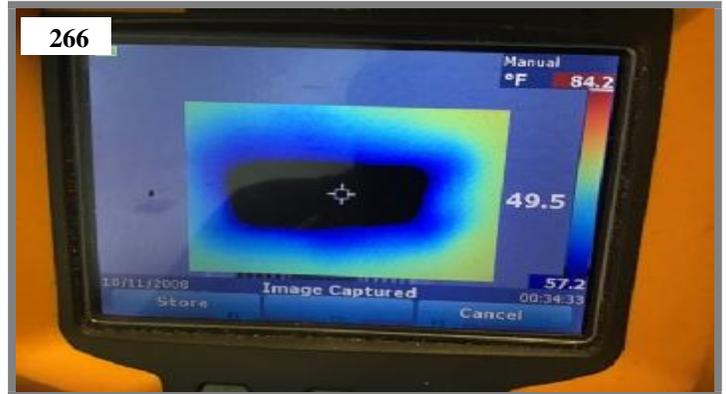
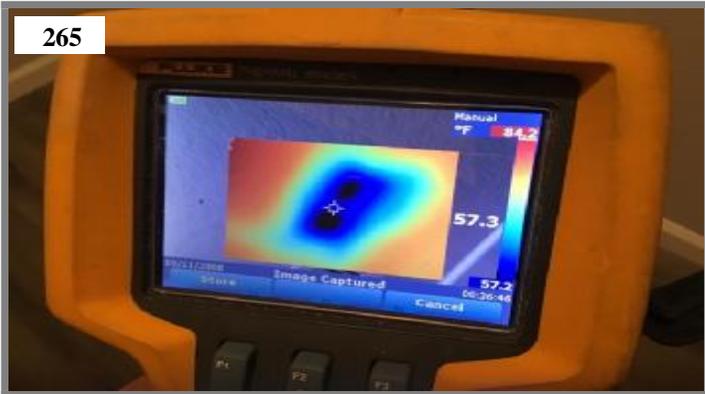
Thermal Imaging  
AC Guest bedroom



Thermal Imaging  
AC Guest bedroom 2

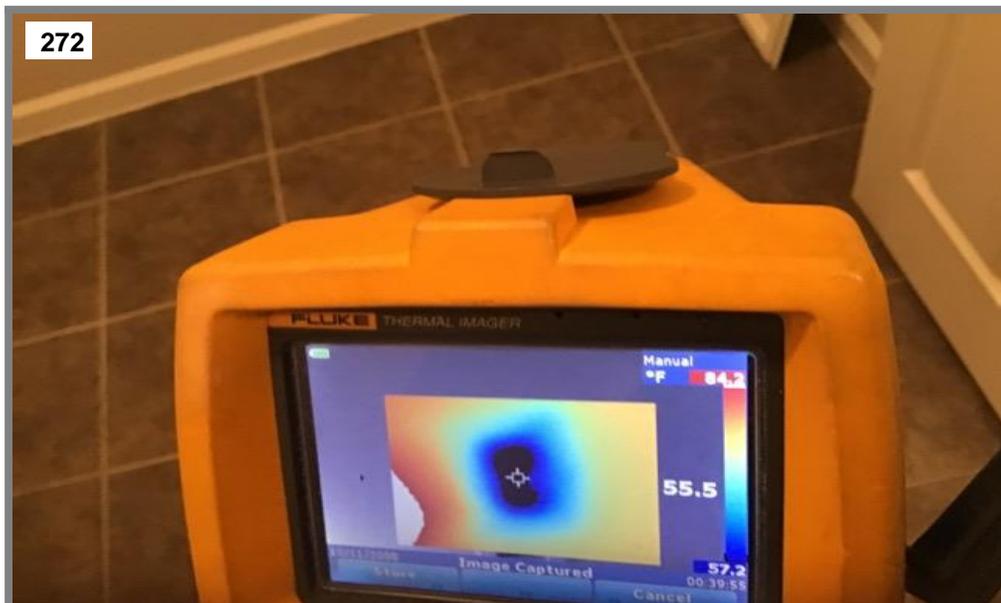
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### VI. OPTIONAL SYSTEMS

**A. Landscape Irrigation (Sprinkler Systems)**  
*Comments:*

- Z-1 Z-7
- Z-2 Z-8
- Z-3 Z-9
- Z-4 Z-10
- Z-5 Z-11
- Z-6 Z-12

No sprinkler system .

**B. Swimming Pools Spa, Hot Tubs, and Equipment**  
*Comments:*

*Type of Construction:*

No Pool .

**C. Outbuildings**  
*Comments:*

No Outbuilding .

**D. Private Water Wells** (A coliform analysis is recommended.)

*Type of Pump:*

*Type of Storage Equipment:*

*Comments:*

No Private well (Public water system) .

**E. Private Sewage Disposal (Septic) Systems**

*Type of System:*

*Location of Drain Field:*

*Comments:*

No Private Sewage System (Public Sewer System)

**F. Other**

*Comments:*

*Gas meter and main shut off noted at :* *Right side of home.*

Only "visible" gas lines were inspected / observed as they relate to over, cooktop, range, furnace, water heater, fireplace and other appliances as applicable.

· Gas distribution throughout home is via "Black Iron Pipe".

Carbon monoxide is an odorless poison gas that's produced by incomplete combustion. Things in this house that can produce carbon monoxide include the furnace and the gas water heater. Even electric ovens can produce carbon monoxide during their cleaning mode. Carbon monoxide alarms are inexpensive and easy to install.

**Smoke detectors are hardwired .**

*There are smoke detectors in all sleeping rooms and a joining rooms*

There are smoke detectors in all sleeping rooms and a joining rooms

# A. Lawn and Garden Sprinkler System

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Hall bathroom



Hall bathroom



Hall bathroom



Hall bathroom



Hall bathroom



Hall bathroom

# B. Swimming Pool Equipment

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Master toilet



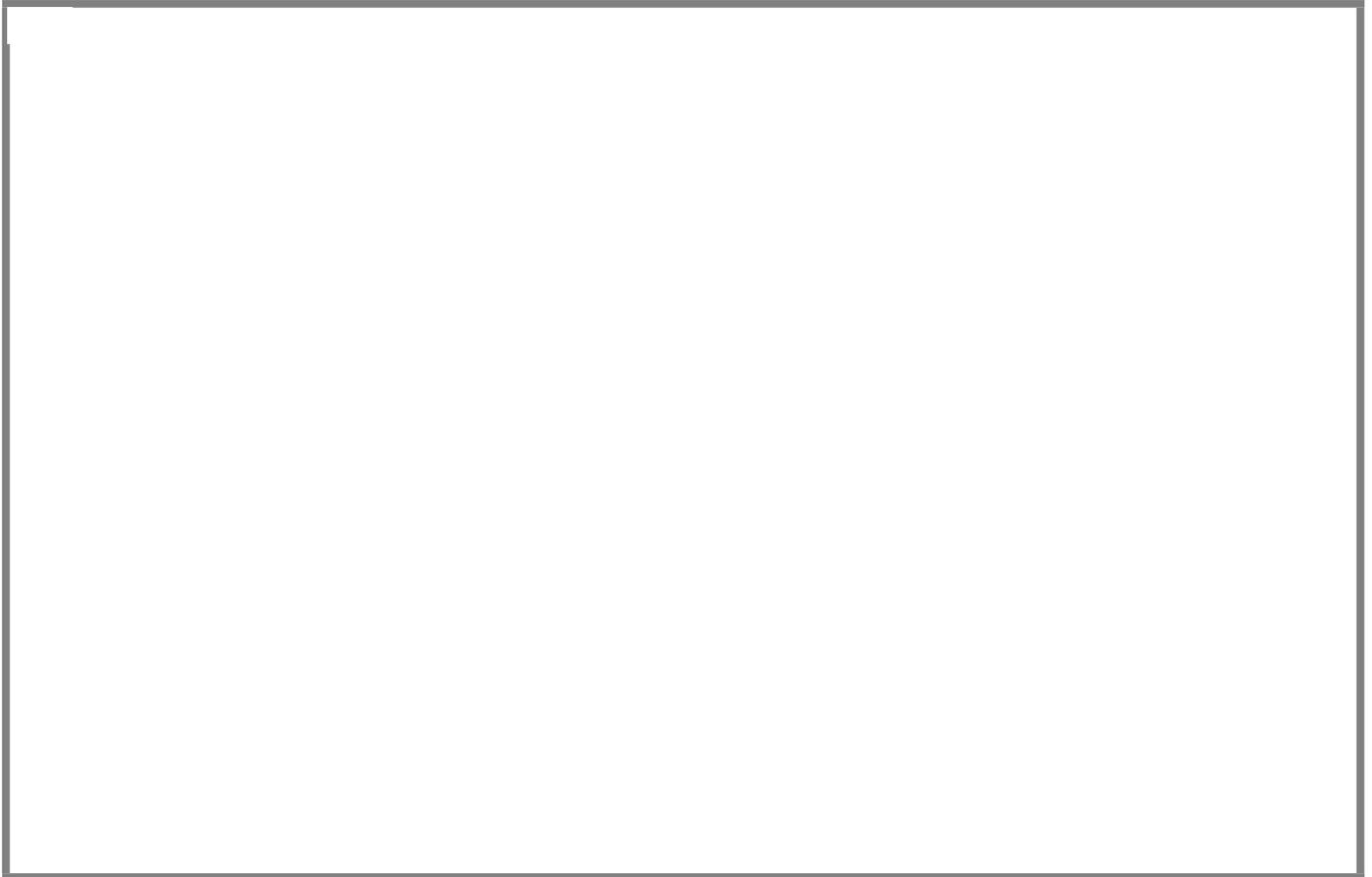
# C. Out Buildings

## PICTURES PAGE

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**PICTURES PAGE**

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Meter



Dryer



Range



Water heater



Furnace

## PICTURES PAGE

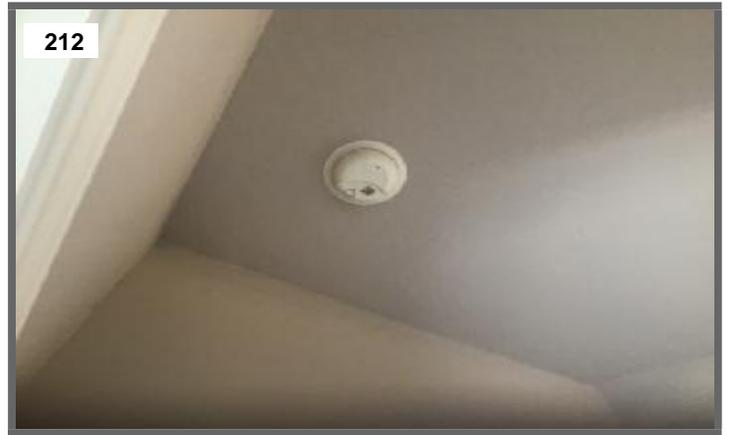
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Outdoor outlets  
Missing all weather cover



Outdoor outlets



water shut off  
in garage



Garage outlet



Laundry room



Dryer plug

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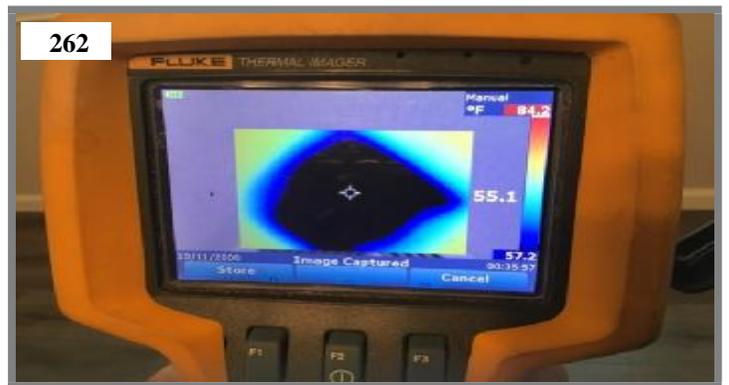
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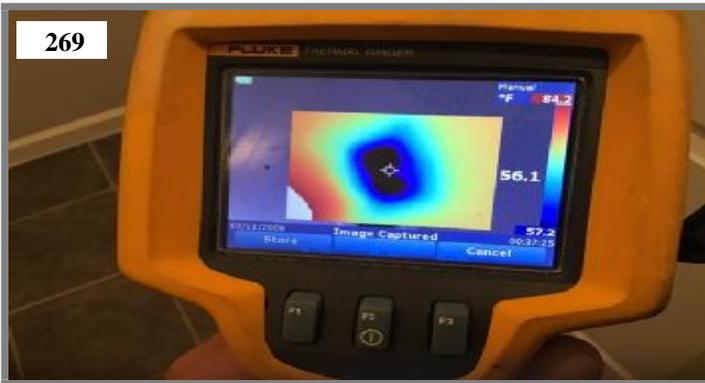
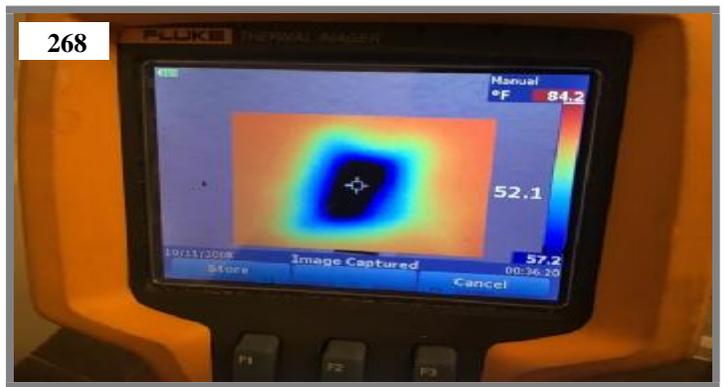
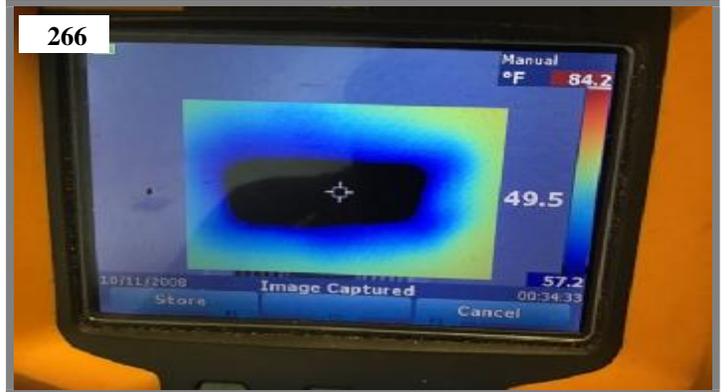
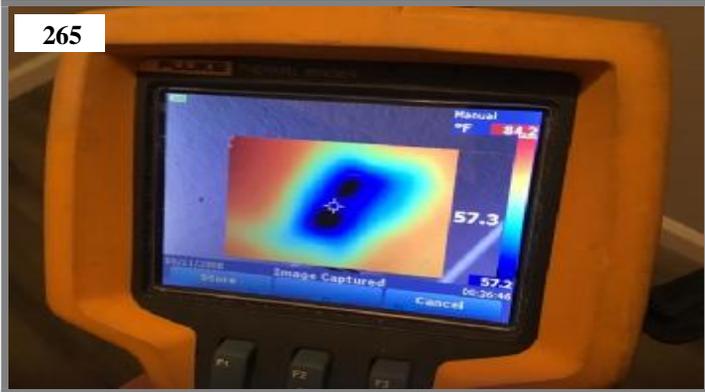
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AC Guest bedroom



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AC Guest bedroom 2

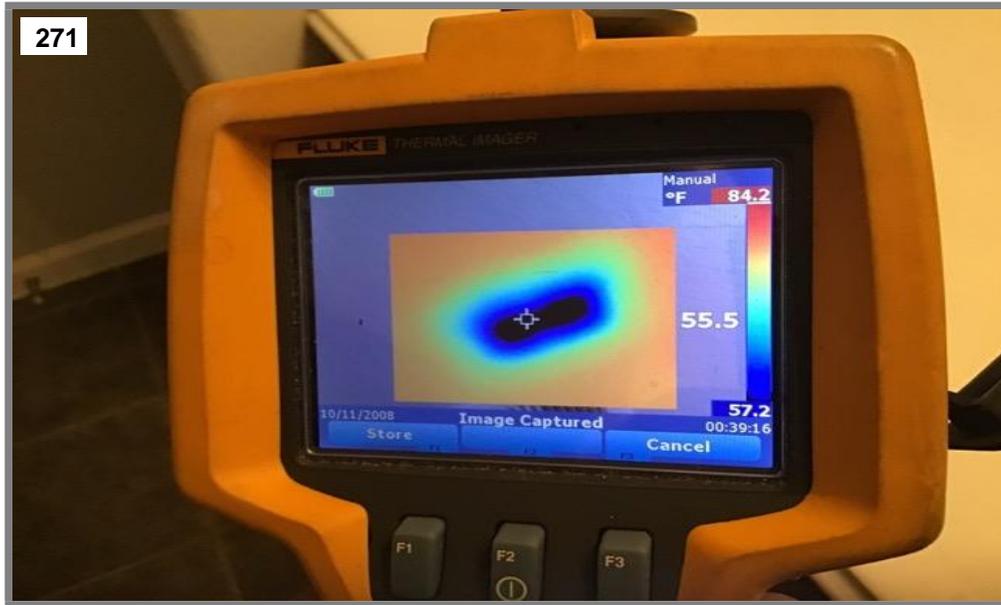
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## POOL BARRIER REQUIREMENTS ADDENDUM

**AG105.1** Application. The provisions of this chapter shall control the design of barriers for residential swimming pools, spas and hot tubs. These design controls are intended to provide protection against potential drownings and near-drownings by restricting access to swimming pools, spas and hot tubs.

**AG105.2** Outdoor swimming pool. An outdoor swimming pool, including an in-ground, aboveground or on-ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following:

1. The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade, such as an aboveground pool, the barrier may be at ground level, such as the pool structure, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

2. Openings in the barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.

3. Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.

4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1.75 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.

5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.

6. Maximum mesh size for chain link fences shall be a 1.25-inch (32 mm) square unless the fence is provided with slats fastened at the top or the bottom which reduce the openings to not more than 1.75 inches (44 mm).

7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall not be more than 1.75 inches (44 mm).

8. Access gates shall comply with the requirements of Section AG105.2, Items 1 through 7, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate, the release mechanism and openings shall comply with the following:

8.1. The release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate, and

8.2. The gate and barrier shall have no opening greater than 0.5 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

9. Where a wall of a dwelling serves as part of the barrier one of the following conditions shall be met:

9.1. The pool shall be equipped with a powered safety cover in compliance with ASTM F1346; or

9.2. All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The alarm shall sound continuously for a minimum of 30 seconds immediately after the door is opened and be capable of being heard throughout the house during normal house-hold activities. The alarm shall automatically reset under all conditions. The alarm system shall be equipped with a manual means, such as touch pad or switch, to temporarily deactivate the alarm for a single opening. Such deactivation shall last for not more than 15 seconds. The deactivation switch(es) shall be located at least 54 inches (1372 mm) above the threshold of the door; or 9.3. Other means of protection, such as self-closing doors with self-latching devices, which are approved by the governing body, shall be acceptable so long as the degree of protection afforded is not less than the protection afforded by Item 9.1 or 9.2 described above. 10. Where an aboveground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a ladder or steps, then: 10.1. The ladder or steps shall be capable of being secured, locked or removed to prevent access, or 10.2. The ladder or steps shall be surrounded by a barrier which meets the requirements of Section AG105.2, Items 1 through 9. When the ladder or steps are se-cured, locked or removed, any opening created shall not allow the passage of a 4-inch-diameter (102 mm) sphere.

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### I. STRUCTURAL

#### A. FOUNDATION :

The foundation is performing as intended. No significant problems were observed.

Performed an electronic foundation level survey.

This home has a differential of less than .700 (Good condition)

Foundation corner cracks are typical in warmer environments and many time occur before the form boards are removed and are not considered a structural defect .

#### B. GRADING and DRAINAGE:

There is a low spot on the right and left side of the driveway by the garage that needs to be filled in .

There is some washout around the AC condenser on the left side of the house that needs to be filled in .

The grading and drainage aspects of the property appear Good at the time of the Inspection.

#### C. ROOF COVERING MATERIALS:

D -Mildew was noted on the roof. A new product, Wet & Forget can help in most of these areas, (Always follow the instructions on the container) .

D - The exposed shingle fasteners need to be covered with roofing cement to prevent leaks

The roof is in good overall condition .

#### D. ROOF STRUCTURE and ATTIC:

Tech shield was added to the home as part of the decking, Tech shield help block radiant heat from entering your attic. The attic equipment and roofing material can also last longer and not have to work as hard. With proper insulation tech shield can reduce this homes energy consumption by as much as 30%.

The attic structure is in good condition .

#### E. WALLS ( E X T E R I O R ):

The exterior walls are in good overall condition .

#### E. WALLS ( I N T E R I O R ):

The interior walls have been repainted throughout .

#### F. CEILING:

Good overall condition .

#### F. FLOORS:

Good overall condition .

## Report Comments

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### G. DOORS ( I N T E R I O R ):

The door between the garage and the interior of the house should be equipped with an auto-closer device to prevent automobile fumes from entering the house .

The tops of the interior doors are not painted.

Good overall condition .

### G. DOORS ( E X T E R I O R ):

There are gaps on the side of the garage doors than could allow vermin to enter the garage.

These areas should be sealed . There is some wood rot on the garage door trim .

Good overall condition .

### H. WINDOWS:

C - Signs of failed seals in the thermal pane windows may appear and disappear and temperature and humidity change.

Some windows with failed seals may not be evident at the time of the inspection, windows are only checked for obvious fogging.

(Note, This is a disclaimer, no lost seals were found) .

Good overall condition .

### I. STAIRS INTERIOR and EXTERIOR:

The attic stairs are missing nails in key locations in the steel plate at the top and sides of the stairs. These nails are needed for the manufacturers load capacity to be met .

### J. FIREPLACE and CHIMNEYS:

No Fireplace

### K. PORCH, BALCONIES, DECKS, AND CARPORTS:

Good overall condition .

One of the blinds fell while lowering, I reinstalled it however it looks like it needs to be held up by stronger fasteners .

### L. DRIVEWAY:

The driveway is in good overall condition .

## Report Comments

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### II. ELECTRICAL

#### A. SERVICE ENTRANCE and PANELS:

120/240 service. 150 AMP Main. AC breaker size – 45 amp

It is recommended the ground rod clamp be changed to an acorn type ground clamp.

AFCI (arc fault) circuit breakers are now standard equipment in electrical systems.

This is a new code that is effective as of 2-1-2009.

This home has not been equipped . The original intention of the AFCI was to equip bedroom lighting circuits to trip out in the event of a potential fire in these circuits. Many of us install an outlet multiplier turning a double outlet into a 6 way outlet to service the many requirements we now have in our home. (Double lamps, double cell phone charges, a clock radio, and maybe a computer power strip.) These multi outlets generate heat and many of us slide a bed up to these outlets. The AFCI breakers can detect arcs in these systems and trip out before a fire starts. The AFCI program was extended to include all household lighting circuits partly because of the new demand for power for our entertainment centers, new plasma TV generate a lot of heat. After the new code had taken effect the manufacturers of these items have made it a priority to make these items energy star rated.

NOTE: There are complaints about the new breakers being overly sensitive and many times trip out as a nascence. The breakers can and will trip when an appliance that has a fault is used.

#### B. BRANCH CIRCUITS, CONNECTION DEVICE, and FIXTURES:

D - GFCI outlets are needed in the Kitchen, bathrooms, garage, and all outdoor outlets less than 6 feet off the ground.

A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

(All are correct, no action needed)

#### FIRE PROTECTION EQUIPMENT –

Smoke detectors have been installed in every bedroom and adjoining room for improved safety.

### Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

#### III. HEATING, VENTILATION, AIR CONDITIONING SYSTEMS

##### A. EQUIPMENT / HEATING DESCRIPTION:

The Furnace system tested well .

##### B. VENTS / FLUE:

The furnace exhaust pipe is in good condition.

##### B. COOLING EQUIPMENT / DRAIN LINES:

The coolant line insulation is poor and should be replaced .

The soil has washed out from around the AC condenser pad, soil needs to be added to this area to prevent the AC from going out of level .

##### B. COOLING EQUIPMENT / DRAIN PAN:

The drain pan is clean and dry

##### B. HEATING / COOLING ELECTRICAL:

The breakers to the AC system are correct in size

##### C. DUCTS SYSTEMS, CHASES and VENTS

##### C. DUCTS SYSTEMS, CHASE, VENTS, and FILTERS

##### C. DUCTS SYSTEMS, CHASE, VENTS, and AIR RETURN

## Report Comments

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### IV. PLUMBING SYSTEMS

#### A. DESCRIPTION and SUPPLY LINE

##### A. PLUMBING SUPPLY, DISTRIBUTION SYSTEMS and FIXTURES

All exterior hose bibs are required to be equipped with anti backflow valves to prevent the cross connect of contaminant into our water supply (Not required on homes with there own water wells) (All are correct, no action needed)

##### A. WATER FIXTURES, KITCHEN SINK:

The kitchen sink is in good condition .

##### A. WATER FIXTURES, BATHROOM SINK:

The bathroom sinks are in good condition .

##### A. WATER FIXTURES, BATHROOM SHOWER

The master shower door does not latch properly and needs adjustment.

##### A. WATER FIXTURES, BATHTUB:

The tubs are in good condition .

##### A. BATHROOM EXHAUST VENTS and HEATERS:

Tested well .

##### A. WATER FIXTURES, BATHROOM TOILETS:

Good overall condition

The hall toilet tank is loose to the bowl .

#### B. DRAINS, WASTE, VENTS

#### C. WATER HEATING EQUIPMENT:

#### D. HYDROTHERAPY EQUIPMENT:

#### E. OTHER SYSTEMS

## Report Comments

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### V. APPLIANCE

#### A. DISHWASHER:

Tested well  
Good Condition

#### B. FOOD WASTE / DISPOSER:

Tested well  
Good Condition

#### C. RANGE HOOD and EXHAUST SYSTEMS

Tested well  
Good Condition

#### D. RANGE, COOK-TOPS and OVENS:

Tested well  
Good Condition

#### E. MICROWAVE

Tested well  
Good Condition

#### F. MECHANICAL EXHAUST VENTS and BATHROOM HEATERS:

Tested well .

#### G. GARAGE DOOR OPENER:

#### H. DRYER EXHAUST SYSTEMS:

The dryer vent is clean

#### I. OTHER SYSTEMS:

##### DOOR BELL and CHIMES:

The doorbell is operational

## Report Comments

**This Is Only Comments and Notes. You need to Read The Complete Inspection Report.**

### VI. OPTIONAL

#### A. SPRINKLER SYSTEM

No sprinkler system .

#### B. SWIMMING POOL EQUIPMENT, and HEATER:

No Pool .

#### C. OUTBUILDINGS:

No Outbuilding .

#### D. PRIVATE WATER WELLS :

No Private well (Public water system) .

#### E. PRIVATE SEWAGE DISPOSAL (Septic) SYSTEMS

No Private Sewage System (Public Sewer System)

#### F. OTHER SYSTEMS:

#### \*\*\*\*K. FIRE EQUIPMENT:

There are smoke detectors in all sleeping rooms and a joining rooms