



Inspection Report

Pat Bohn

Property Address:
797 Marlin St.
Bayou Vista TX 77563



American Dream Inspections TX, llc

Kevin Sandel 22389
4634 Kingfisher Dr.
Houston, TX 77035
832-566-0973

PROPERTY INSPECTION REPORT

Prepared For: Pat Bohn

(Name of Client)

Concerning: 797 Marlin St., Bayou Vista, TX 77563

(Address or Other Identification of Inspected Property)

By: Kevin Sandel 22389 / American Dream Inspections TX, llc 11/16/2020

(Name and License Number of Inspector)

(Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standard for inspections by TREC Licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers.

Promulgated by the Texas Real Estate Commission(TREC) P.O. Box 12188, Austin, TX 78711-2188 (512)936-3000
(<http://www.trec.state.tx.us>).

You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

In Attendance:

Customer

Type of building:

Single Family (2 story)

Approximate age of building:

Over 50 Years

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 3 days:

No

Radon Test:

No

Water Test:

No

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. Structural Systems

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I NI NP D

THE BELOW MAJOR DEFICIENCIES LISTS ARE TO BE CORRECTED FIRST BY A PROFESSIONAL TRADE. THERE WILL BE OTHER ITEMS IN THE REPORT THAT CAN BE CORRECTED AT A LATER TIME, SO PLEASE COMPLETELY READ THE FULL REPORT!

STRUCTURAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Exterior gutters were missing downspouts to divert moisture properly away from the structure and foundation at time of inspection. Should have a professional correct properly.
- 2) All roof lifted plumbing jacks and shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.
- 3) Roof lifted electrical mast jack should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.
- 4) All loose drip edge flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.
- 5) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.
- 6) All lifted roof flashing should be corrected and sealed properly. Conducive to leaking and causing possible damage. Should have a professional roofer inspect and evaluate roofing.
- 7) Garage flat roof has nail pops in several areas at time of inspection. Should have a professional roofer correct and seal properly. Conducive to moisture intrusion and causing possible damage.
- 8) Garage flat roof sealant is cracking in several areas at time of inspection. Should have a professional roofer correct and seal properly. Conducive to moisture intrusion and causing possible damage.
- 9) Side exterior damaged fascia board should be corrected and sealed properly. Conducive to moisture intrusion and causing possible damage.
- 10) Exterior rear fascia board penetrations should be sealed properly. Conducive to moisture intrusion and causing possible damage.
- 11) Attic access door assembly should be insulated and sealed properly. Conducive to leaking attic hot air into living space. Attic ladder, handle and hardware is loose at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.
- 12) Attic wall penetration to exterior has moisture staining and leaking daylight into the attic at time of inspection. Should have a professional correct and seal properly.
- 13) Exterior siding has moisture damage and rot in several areas at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.
- 14) Exterior wood trim around several garage doors have moisture damage and rot at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.
- 15) All exterior siding penetrations should be sealed properly. Conducive to moisture intrusion and causing possible damage.
- 16) Interior garage walls have moisture damage from exterior moisture intrusion in several areas at time of inspection. Should have a professional seal exterior walls properly.
- 17) 1st floor baseboards have moisture staining in several areas from possible exterior moisture intrusion at time of inspection. Should have a professional inspect and correct properly.
- 18) Garage joists have moisture staining from possible roof leak in several areas at time of inspection. Should have a professional roofer inspect and correct properly.
- 19) Exterior side garage door was not level in door frame causing door to not operate properly at time of inspection. Should have a professional adjust door properly.
- 20) Exterior door bottom seals were damaged and should be replaced. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.
- 21) Second floor exterior door seals were damaged at time of inspection. Should have a professional replace properly. Door frame and door has moisture damage and rot at time of inspection. Door was not level in door frame at time of inspection. Should have a professional correct and seal properly.

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I NI NP D

- 22) 1st floor rear exterior double door bottom latch was not operating properly at time of inspection. Should have a professional correct properly.
- 23) All exterior and interior window and glass block penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.
- 24) Original bedroom window was not operating properly at time of inspection. Should have a professional inspect and correct properly.
- 25) Several Pella windows did not operate or latch properly at time of inspection. Should have a professional inspect and correct properly.
- 26) Stair stringers were missing metal joist hangers for proper support at time of inspection. Should have a professional correct for proper support.
- 27) Exterior stair railings and balusters are loose in several areas at time of inspection. Should have a professional correct properly. This is a possible safety hazard.
- 28) Exterior stairs were not supported properly and was racking back and forth at time of inspection. Should have a professional secure and support stairs properly.
- 29) Exterior stairs are separating from main deck at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.
- 30) Decking pilings have signs of possible WDI (Wood Destroying Insect) damage at time of inspection. Should have a professional Pest Control applicated structure for WDI.
- 31) Decking was not secured properly to the main structure with proper fasteners at time of inspection. Should have a professional correct for proper support.
- 32) Decking was not connected to the garage at time of inspection. Should have a professional correct and secure decking properly to structure.
- 33) Decking has moisture damage, rot and is loose in several areas at time of inspection. Should have a professional correct properly.
- 34) Rear decking at garage is leaning away from the structure at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.
- 35) Deck railing and balusters are loose in several areas at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.
- 36) Rear boat dock has missing and loose boards in several areas at time of inspection. Should have a professional correct properly.

ELECTRICAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Electric meter and Square D breaker box. Breakers were labeled at time of inspection. Dead front cover has incorrect fastener installed at time of inspection. Bottom opening on breaker box should be sealed and corrected properly by a professional electrician.
- 2) Garage Square D breaker box was missing breaker cover and breakers were not labeled at time of inspection. Should have a professional electrician correct properly.
- 3) Smoke detectors should be replaced every 10 years. Bedrooms were missing smoke detectors at time of inspection. Should have a professional correct properly. This is a possible safety hazard.
- 4) Exterior live electrical around gas meter should be sealed and covered properly. This is a possible safety and fire hazard.
- 5) Gas meter plumbing was missing electrical bonding at time of inspection. Should have a professional electrician inspect and correct properly.
- 6) 200 amp main disconnect is damaged at time of inspection and should be replaced by a professional electrician.
- 7) Exterior electrical under deck was not installed properly in conduit at time of inspection. Should have a professional electrician correct properly.
- 8) Exterior light switch was not operating properly at time of inspection. Should have a professional electrician correct properly.

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9) All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected.

10) Interior electrical outlets were missing cover at time of inspection. Should have a professional electrician correct properly.

11) Several electrical outlets have Hot and Neutral reversed at time of inspection. Should have a professional electrician inspect and correct properly.

12) Several electrical outlets are damaged at time of inspection. Should have a professional electrician replace properly.

13) All bathroom electrical outlets should be at least 3' from the sinks and GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

14) Several electrical outlets have signs of loose connections at time of inspection. Should have a professional electrician inspect and correct properly.

15) All garage electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

HVAC SYSTEMS MAJOR DEFICIENCIES:

1) AC wood platform was not secured to the main structure with proper fasteners at time of inspection. Should have a professional correct properly.

2) Did not test or operate gas wall heaters at time of inspection. Bathroom heater should be further evaluated by a professional. Wall unit on 1st floor was not level and was loose at time of inspection. Should have a professional correct properly.

3) 2016 Payne gas furnace in the attic was working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Gas plumbing to unit was missing drip leg at time of inspection. Drip pan is full of water at time of inspection. Should have a professional AC Tech inspect and correct properly.

PLUMBING SYSTEMS MAJOR DEFICIENCIES:

1) Exterior faucets were missing hose bibbs at time of inspection. Should have a professional plumber correct.

2) Bathroom sinks and cabinets are loose from the wall at time of inspection. Should have a professional correct and secure properly.

3) Toilets bowls were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.

4) Second floor bathtub faucet would not shut off completely and was dripping at time of inspection. Should have a professional plumber inspect and correct properly.

5) 1st floor bathroom faucet was not flowing properly at time of inspection. Should have a professional plumber inspect and correct properly.

6) Gas line to Dryer was missing shut off valve at time of inspection. Should have a professional plumber correct properly.

7) 1st floor shower plumbing control valve was loose from wall at time of inspection. Should have a professional plumber inspect and correct properly.

8) Several bathroom drain stoppers did not operate or were missing at time of inspection. Should have a professional plumber correct properly.

9) Several bathrooms sink drain plumbing were loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.

APPLIANCES MAJOR DEFICIENCIES:

1) InSinkErator disposal was operating properly at time of inspection. Electrical to unit was missing proper connector at time of inspection. Should have a professional correct properly.

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- 2) Maytag gas cooktop and double oven was working properly at time of inspection. Unit was loose in compartment and may be missing Anti Tip Device. Unit should be secured properly. Possible safety hazard.
- 3) Several bathrooms were missing exhaust fans at time of inspection. Should have a professional correct properly.
- 4) Garage door electric eyes should be 6" from the ground. Should have a professional correct properly. This is a possible safety hazard.

A. Foundations

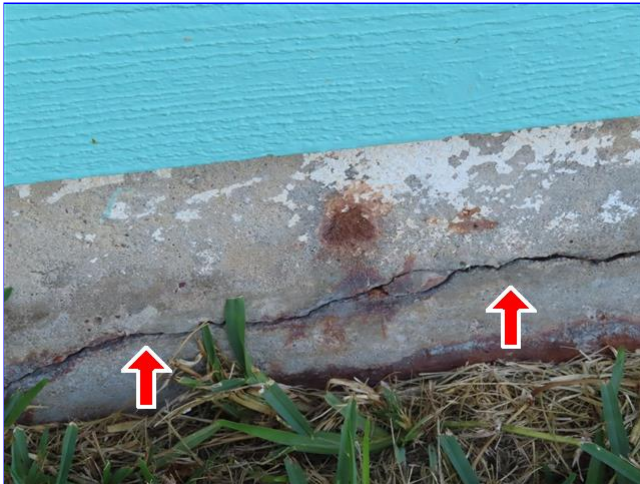
Type of Foundation(s): Masonry block, Poured concrete, Pier & Beam

Method used to observe Crawlspace: No crawlspace

Columns or Piers: Masonry block

Comments:

(2) Rear foundation is cracked at time of inspection. Should have a professional further evaluate and seal properly. Conducive to moisture intrusion into unit and causing possible damage.



A. Item 1(Picture)

(3) Rear patio was covering the foundation in several areas of the structure at time of inspection. Could not inspect foundation for any defects or deficiencies in these areas at time of inspection.



A. Item 2(Picture)

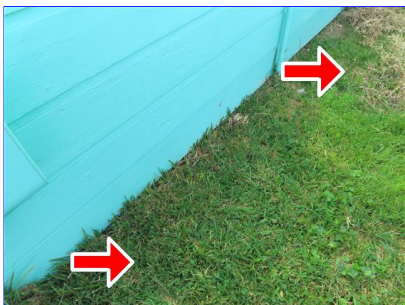
B. Grading and Drainage

Comments:

(1) Soil was too high to the foundation and siding in several areas at time of inspection. Soil should be graded 6" in 10' away from the foundation. Soil should be at least 6" from bottom of siding.

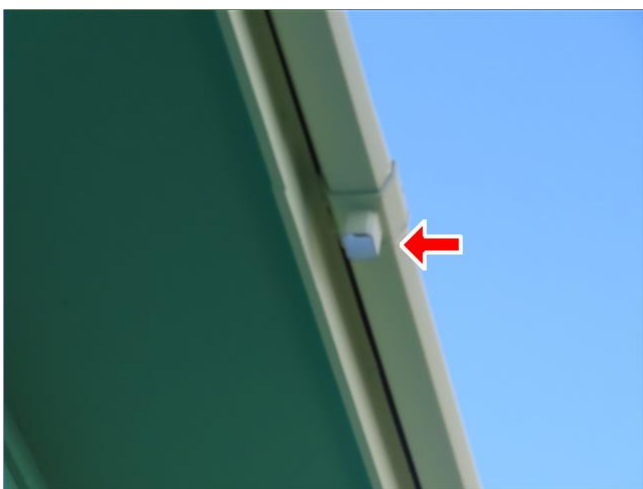
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B. Item 1(Picture)

(2) Exterior gutters were missing downspouts to divert moisture properly away from the structure and foundation at time of inspection. Should have a professional correct properly.



B. Item 2(Picture)

C. Roof Covering Materials

Types of Roof Covering: 3-Tab fiberglass

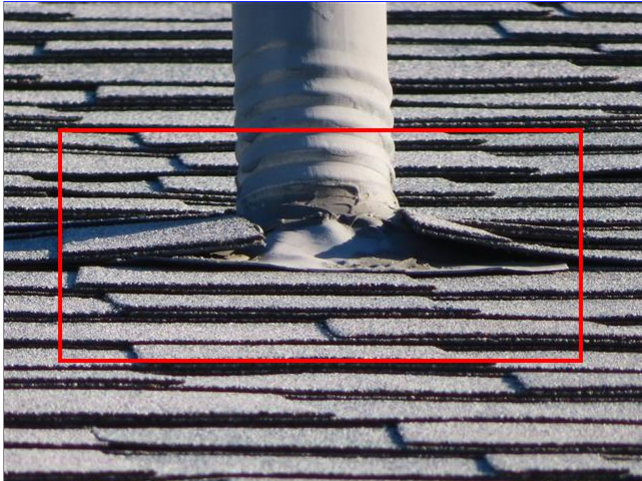
Viewed roof covering from: Ground

Comments:

(1) All roof lifted plumbing jacks and shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

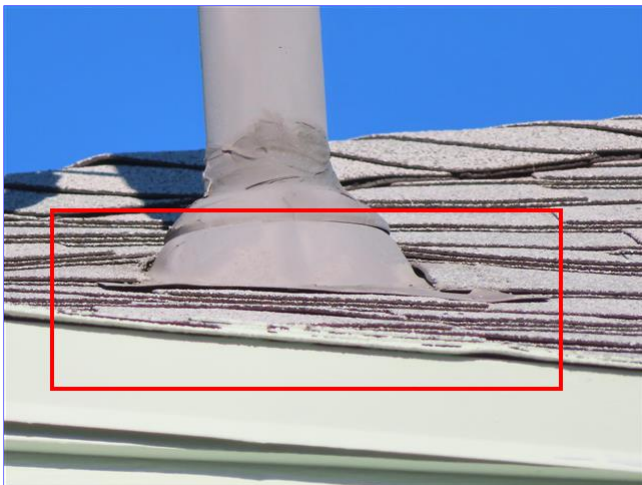
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C. Item 1(Picture)

(2) Roof lifted electrical mast jack should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

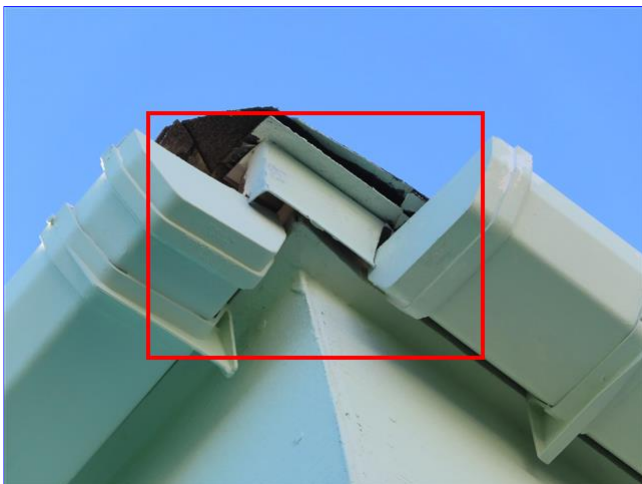


C. Item 2(Picture)

(3) All loose drip edge flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

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C. Item 3(Picture)



C. Item 4(Picture)

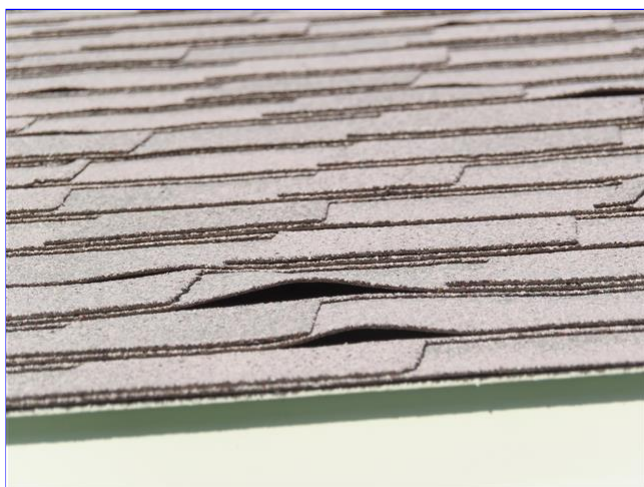
(4) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

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The absolute water-tightness of a roof system can only be determined by observing it during a period of prolonged rainfall and differing weather and wind conditions. These conditions are rarely, if ever, present during the inspection, and if they are, there are almost always some areas of the roof that will not be observable, due to factors such as, but not limited to: construction/ framing design, ductwork, insulation, low headroom, etc. Therefore this report should not be construed as a warranty, or an absolute opinion, of the complete water-tightness of the roof system. We will, however, endeavor to report observable evidence of roof leaks or problems. It is also important to talk to the homeowner about any ceiling stains and leak activity whether past or present. A homeowner is obligated by the seller's disclosure paperwork to truthfully report on any roof leak issues since they have owned the home. Make sure you have reviewed the seller's disclosure statement in its entirety.



C. Item 5(Picture)

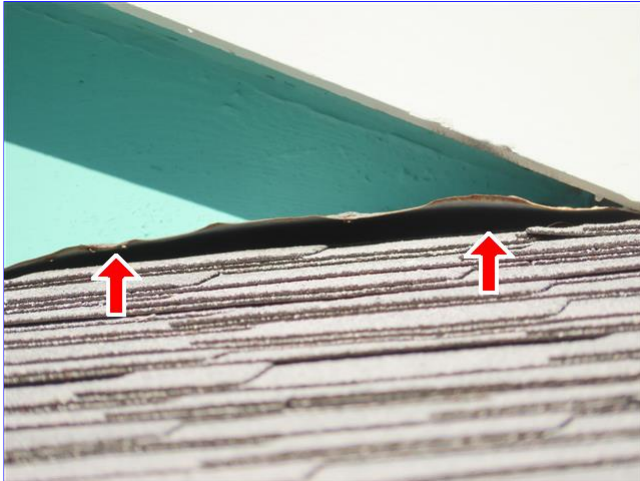


C. Item 6(Picture)

(5) All lifted roof flashing should be corrected and sealed properly. Conducive to leaking and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

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I NI NP D



C. Item 7(Picture)

(6) Garage flat roof has nail pops in several areas at time of inspection. Should have a professional roofer correct and seal properly. Conducive to moisture intrusion and causing possible damage.



C. Item 8(Picture)

(7) Garage flat roof sealant is cracking in several areas at time of inspection. Should have a professional roofer correct and seal properly. Conducive to moisture intrusion and causing possible damage.

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C. Item 9(Picture)

D. Roof Structures and Attics

Roof-Type: Gable

Roof Structure Type: 2 X 6 Rafters

Method used to observe attic: Walked, Inaccessible

Attic info: Pull Down stairs

Approximate Average Depth of Insulation: 10 inches

Comments:

(1) Side exterior damaged fascia board should be corrected and sealed properly. Conducive to moisture intrusion and causing possible damage.

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D. Item 1(Picture)



D. Item 2(Picture)

(2) Exterior rear fascia board penetrations should be sealed properly. Conducive to moisture intrusion and causing possible damage.



D. Item 3(Picture)

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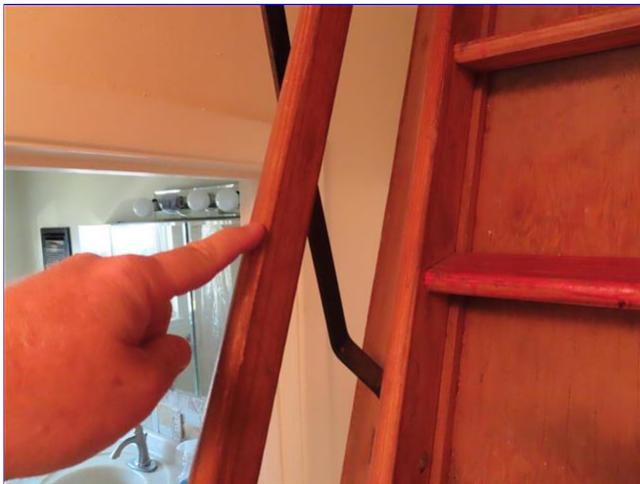
(3) Attic access door assembly should be insulated and sealed properly. Conducive to leaking attic hot air into living space. Attic ladder, handle and hardware is loose at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.



D. Item 4(Picture)



D. Item 5(Picture)

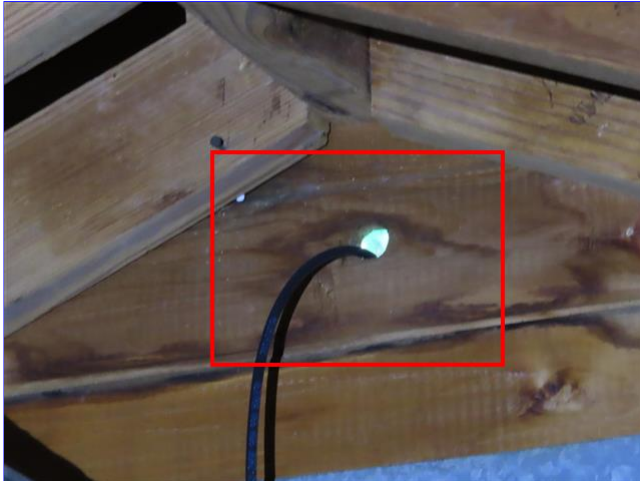


D. Item 6(Picture)

(4) Attic wall penetration to exterior has moisture staining and leaking daylight into the attic at time of inspection. Should have a professional correct and seal properly.

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D. Item 7(Picture)

E. Walls (Interior and Exterior)

Wall Structure: Wood

Siding Style: Lap

Siding Material: Wood

Wall Material: Gypsum Board

Cabinetry: Wood

Countertop: Laminate

Comments:

(1) Exterior siding has moisture damage and rot in several areas at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

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E. Item 1(Picture)



E. Item 2(Picture)

(2) Exterior wood trim around several garage doors have moisture damage and rot at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

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I NI NP D



E. Item 3(Picture)

(3) All exterior siding penetrations should be sealed properly. Conducive to moisture intrusion and causing possible damage.

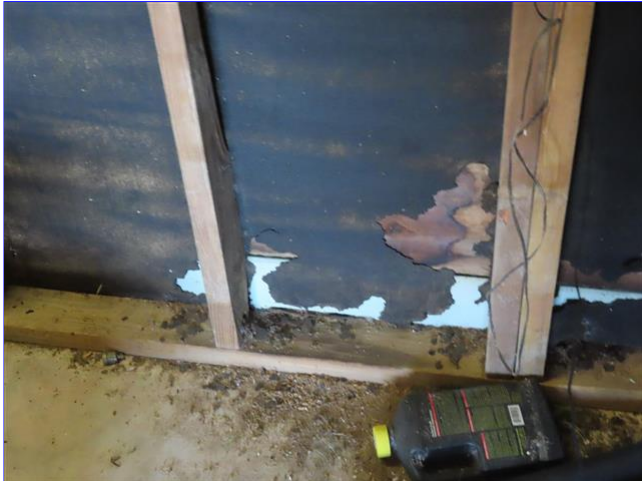


E. Item 4(Picture)

(4) Interior garage walls have moisture damage from exterior moisture intrusion in several areas at time of inspection. Should have a professional seal exterior walls properly.

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E. Item 5(Picture)

(5) Interior of the garage was not properly accessible in several areas and was not inspected at time of inspection.



E. Item 6(Picture)

(6) 1st floor baseboards have moisture staining in several areas from possible exterior moisture intrusion at time of inspection. Should have a professional inspect and correct properly.



E. Item 7(Picture)

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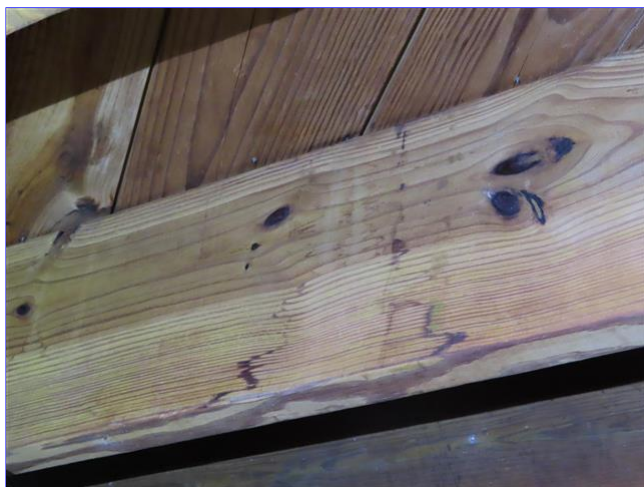
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F. Ceilings and Floors

- Ceiling Structure:** Not visible
- Floor Structure:** Wood joists, Slab
- Ceiling Materials:** Gypsum Board
- Floor Covering(s):** Laminated T&G, Tile, Unfinished

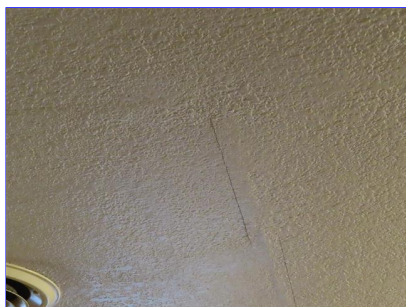
Comments:

(1) Garage joists have moisture staining from possible roof leak in several areas at time of inspection. Should have a professional roofer inspect and correct properly.



F. Item 1(Picture)

(2) Interior ceilings have cracks and patching in several areas at time of inspection.



F. Item 2(Picture)

(3) 1st floor was cracked in several areas at time of inspection.



F. Item 3(Picture)

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G. Doors (Interior and Exterior)

Exterior Entry Doors: Steel

Interior Doors: Hollow core

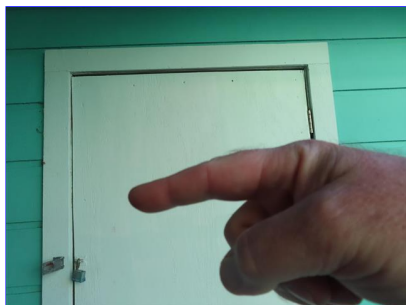
Comments:

(1) All exterior door sills and frames should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.



G. Item 1(Picture)

(2) Exterior side garage door was not level in door frame causing door to not operate properly at time of inspection. Should have a professional adjust door properly.



G. Item 2(Picture)

(3) Exterior door bottom seals were damaged and should be replaced. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 3(Picture)

(4) Second floor exterior door seals were damaged at time of inspection. Should have a professional replace properly. Door frame and door has moisture damage and rot at time of inspection. Door was not level in door frame at time of inspection. Should have a professional correct and seal properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 4(Picture)



G. Item 5(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 6(Picture)



G. Item 7(Picture)

(5) Several interior doors were missing door stoppers at time of inspection.



G. Item 8(Picture)

(6) 1st floor rear exterior double door bottom latch was not operating properly at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 9(Picture)

H. Windows

Window Types: AGED, Thermal/Insulated

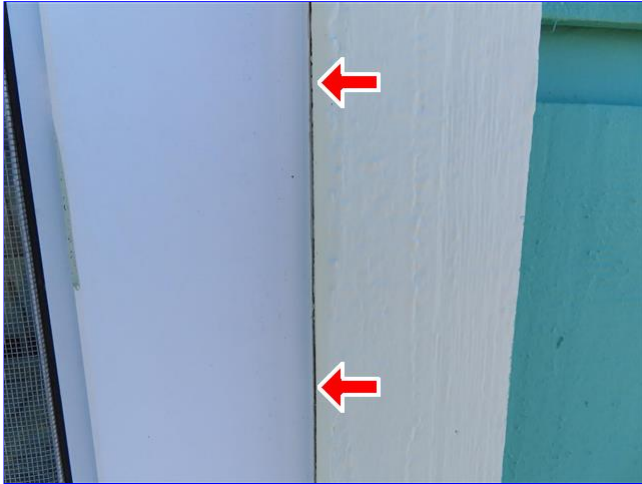
Window Manufacturer: UNKNOWN, PELLA

Comments:

(1) All exterior and interior window and glass block penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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H. Item 1(Picture)



H. Item 2(Picture)

(2) Original bedroom window was not operating properly at time of inspection. Should have a professional inspect and correct properly.



H. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(3) Several Pella windows did not operate or latch properly at time of inspection. Should have a professional inspect and correct properly.

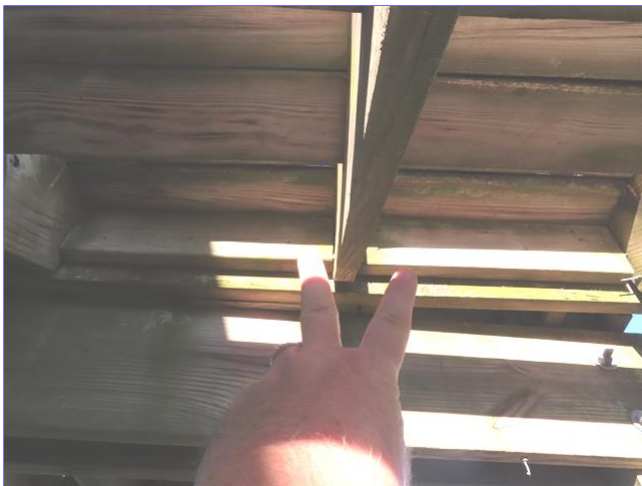


H. Item 4(Picture)

I. Stairways (Interior and Exterior)

Comments:

(1) Stair stringers were missing metal joist hangers for proper support at time of inspection. Should have a professional correct for proper support.



I. Item 1(Picture)

(2) Exterior wood stair landing was laying on the ground which is conducive to moisture, rot and WDI (Wood Destroying Insects).

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



I. Item 2(Picture)

(3) Stair risers should be 7 3/4" in height per code. This is a possible tripping hazard.



I. Item 3(Picture)

(4) Stair railing balusters should be no more than 4" apart per code. This is a possible safety hazard.



I. Item 4(Picture)

(5) Exterior stair railings and balusters are loose in several areas at time of inspection. Should have a professional correct properly. This is a possible safety hazard.

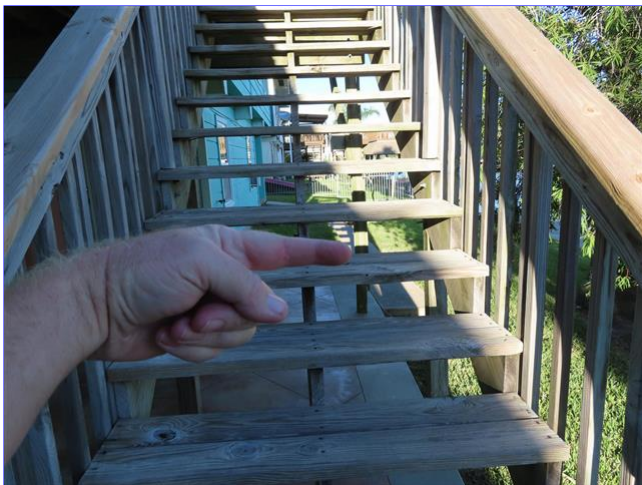
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



I. Item 5(Picture)

(6) Exterior stairs were not supported properly and was racking back and forth at time of inspection. Should have a professional secure and support stairs properly.

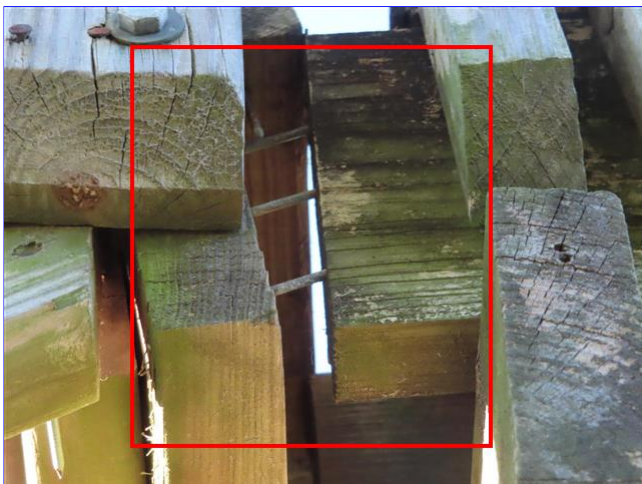


I. Item 6(Picture)

(7) Exterior stairs are separating from main deck at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



I. Item 7(Picture)

J. Fireplaces and Chimneys

Sky Light(s): None
Chimney (exterior): N/A
Types of Fireplaces: None
Operable Fireplaces: None
Number of Woodstoves: None
Comments:

K. Porches, Balconies, Decks, Carports. Driveways

Appurtenance: Deck with steps, Porch, Sidewalk, Patio
Driveway: Concrete
Comments:
(1) Decking pilings have signs of possible WDI (Wood Destroying Insect) damage at time of inspection. Should have a professional Pest Control applicated structure for WDI.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 1(Picture)



K. Item 2(Picture)

(2) Decking was not secured properly to the main structure with proper fasteners at time of inspection. Should have a professional correct for proper support.



K. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(3) Decking was not connected to the garage at time of inspection. Should have a professional correct and secure decking properly to structure.



K. Item 4(Picture)

(4) Rear sidewalk has large separation from patio at time of inspection. Should correct properly.



K. Item 5(Picture)

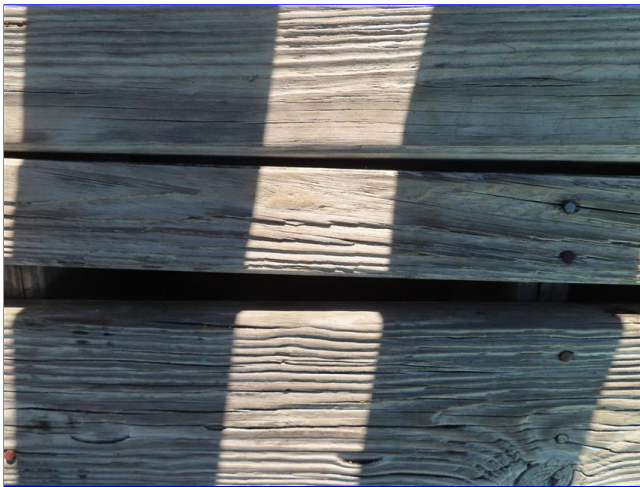
(5) Decking has moisture damage, rot and is loose in several areas at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 6(Picture)



K. Item 7(Picture)

(6) Rear decking at garage is leaning away from the structure at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.



K. Item 8(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(7) Deck railing and balusters are loose in several areas at time of inspection. Should have a professional correct and secure properly. This is a possible safety hazard.



K. Item 9(Picture)



K. Item 10(Picture)

(8) Rear boat dock has missing and loose boards in several areas at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 11(Picture)

N. 360 Views

[Comments:](#)

360 Interactive Views

Check out in the separate email the Texas Web Inspection Interactive Report for 360 views of the interior of the property. Here you can rotate each room around, look up and down and zoom into certain areas of the room for a more interactive experience.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

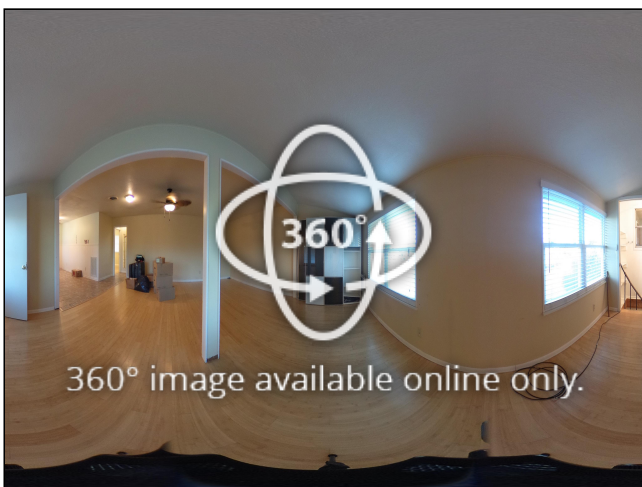
I NI NP D



N. Item 1(Picture)



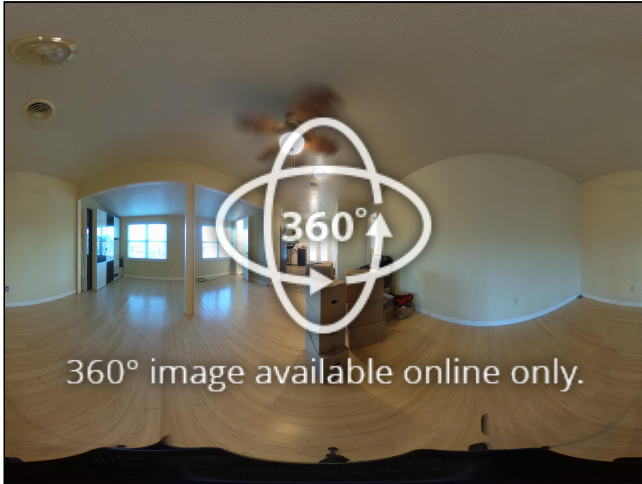
N. Item 2(Picture)



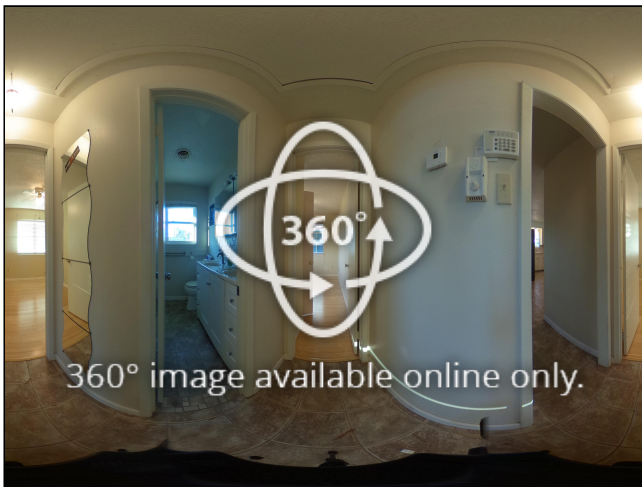
N. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 4(Picture)



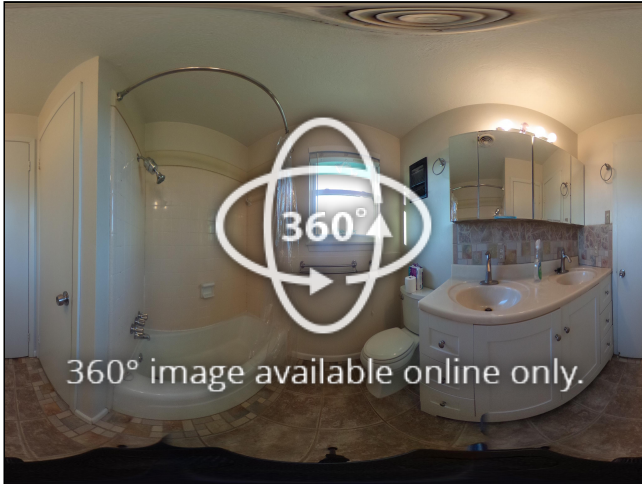
N. Item 5(Picture)



N. Item 6(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

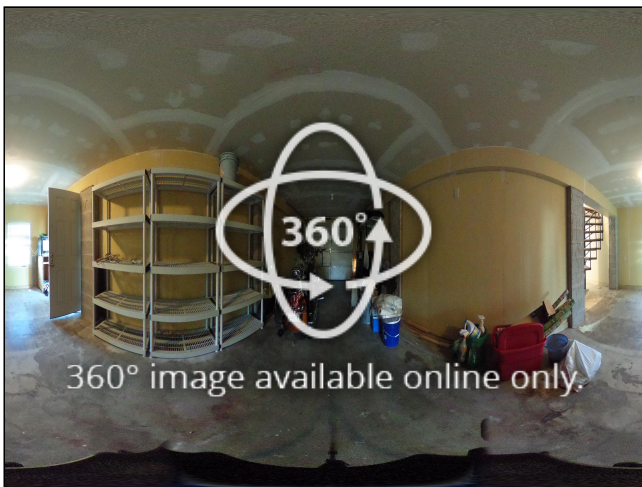
I NI NP D



N. Item 7(Picture)



N. Item 8(Picture)



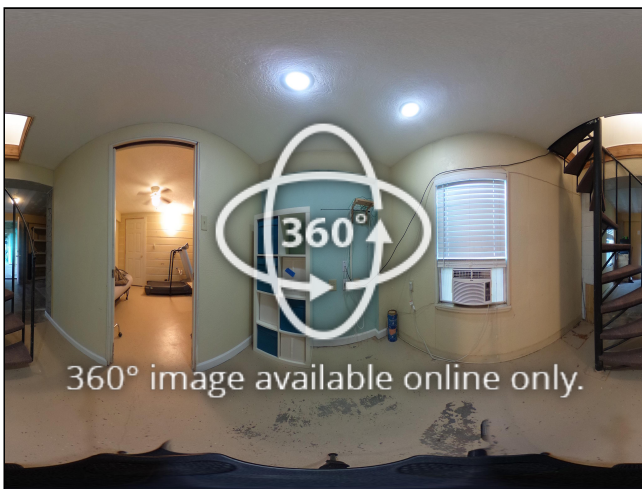
N. Item 9(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 10(Picture)



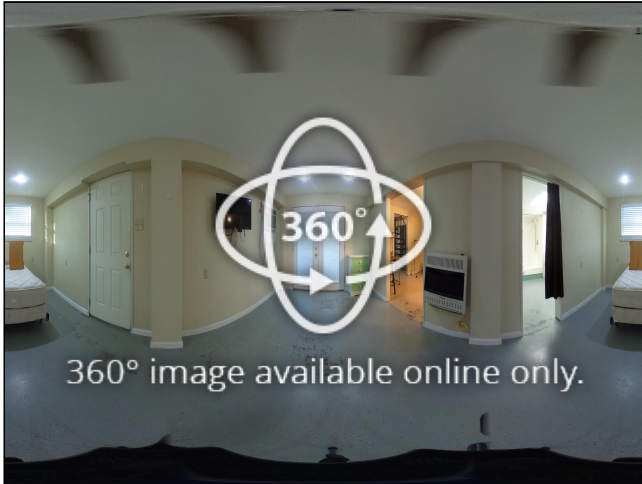
N. Item 11(Picture)



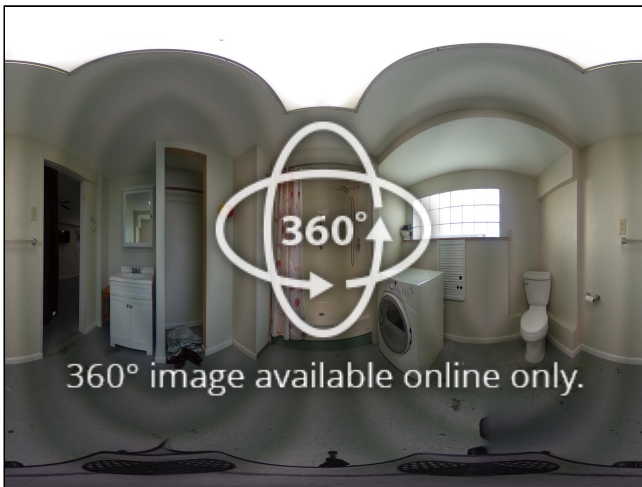
N. Item 12(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 13(Picture)



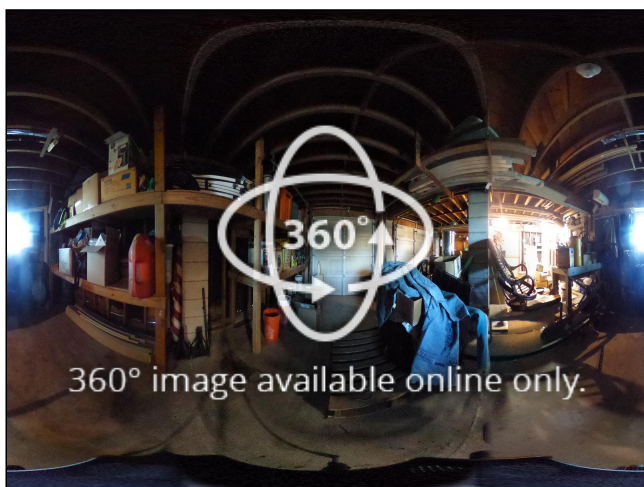
N. Item 14(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



N. Item 15(Picture)



N. Item 16(Picture)

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

II. Electrical Systems

A. Service Entrance and Panels

Electrical Service Conductors: Overhead service

Panel Capacity: 200 AMP

Panel Type: Circuit breakers

Electric Panel Manufacturer: SQUARE D

Comments:

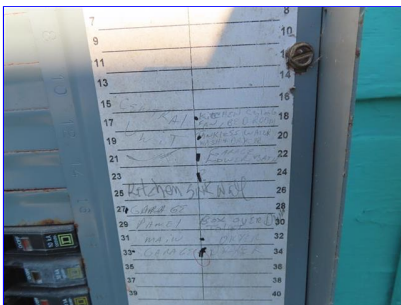
(1) Electric meter and Square D breaker box. Breakers were labeled at time of inspection. Dead front cover has incorrect fastener installed at time of inspection. Bottom opening on breaker box should be sealed and corrected properly by a professional electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

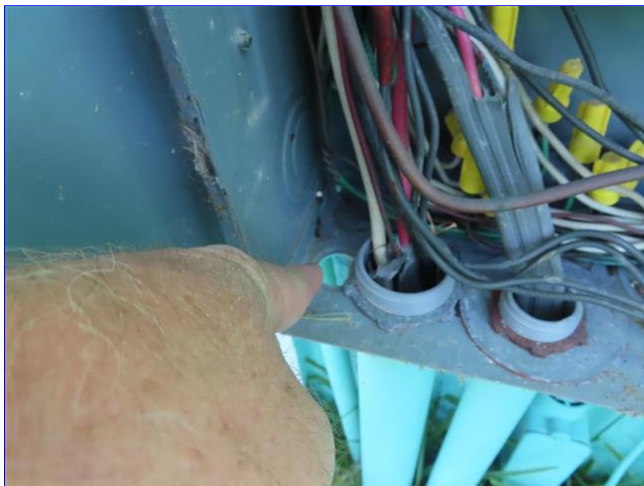
I NI NP D



A. Item 1(Picture)



A. Item 2(Picture)



A. Item 3(Picture)



A. Item 4(Picture)

(2) Garage Square D breaker box was missing breaker cover and breakers were not labeled at time of inspection. Should have a professional electrician correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 5(Picture)

B. Branch Circuits, Connected Devices and Fixtures

Type of wiring: Copper

Wiring Methods: Romex

Comments:

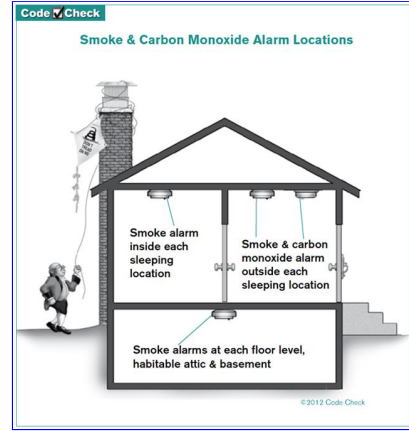
(1) The smoke detector should be tested at common hallway to bedrooms upon moving in to home. Smoke detectors should be replaced every 10 years. Bedrooms were missing smoke detectors at time of inspection. Should have a professional correct properly. This is a possible safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

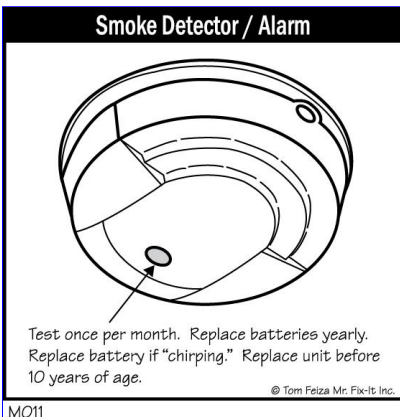
I NI NP D



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)

(2) Exterior live electrical around gas meter should be sealed and covered properly. This is a possible safety and fire hazard.



B. Item 4(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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(3) Gas meter plumbing was missing electrical bonding at time of inspection. Should have a professional electrician inspect and correct properly.



B. Item 5(Picture)

(4) 200 amp main disconnect is damaged at time of inspection and should be replaced by a professional electrician.

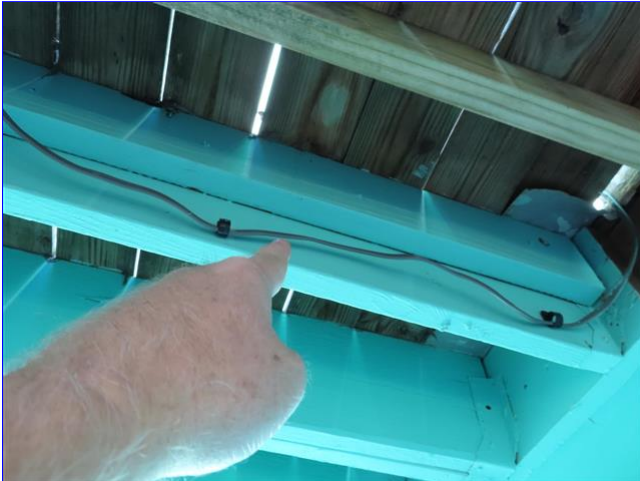


B. Item 6(Picture)

(5) Exterior electrical under deck was not installed properly in conduit at time of inspection. Should have a professional electrician correct properly.

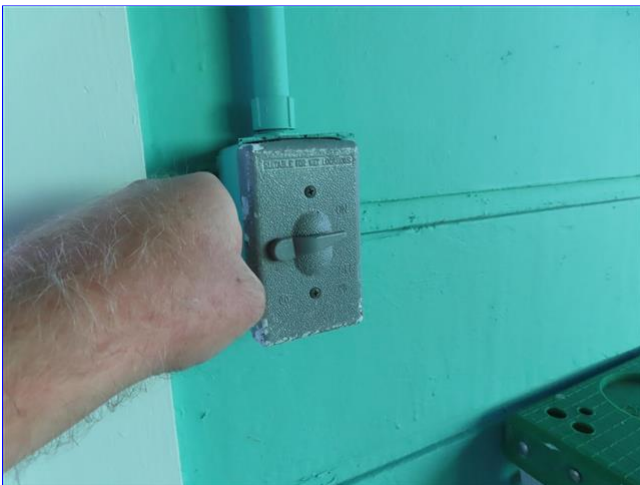
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 7(Picture)

(6) Exterior light switch was not operating properly at time of inspection. Should have a professional electrician correct properly.



B. Item 8(Picture)

(7) All exterior lighting should be covered properly by a professional electrician.



B. Item 9(Picture)

(8) Exterior lighting was missing bulbs at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



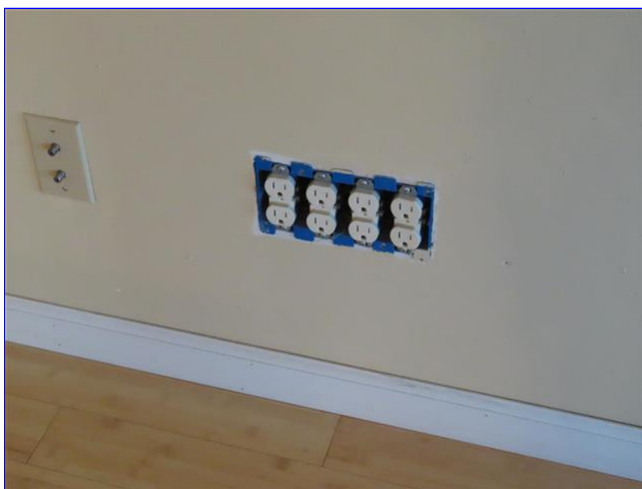
B. Item 10(Picture)

(9) All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected.



B. Item 11(Picture)

(10) Interior electrical outlets were missing cover at time of inspection. Should have a professional electrician correct properly.



B. Item 12(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(11) Several electrical outlets have Hot and Neutral reversed at time of inspection. Should have a professional electrician inspect and correct properly.



B. Item 13(Picture)

(12) All interior lighting should be covered properly by a professional electrician.



B. Item 14(Picture)

(13) Several electrical outlets are damaged at time of inspection. Should have a professional electrician replace properly.



B. Item 15(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(14) All bathroom electrical outlets should be at least 3' from the sinks and GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.



B. Item 16(Picture)

(15) Several electrical outlets have signs of loose connections at time of inspection. Should have a professional electrician inspect and correct properly.



B. Item 17(Picture)

(16) Original Fabric covered wiring and Romex is visible in several areas at time of inspection. Recommend having a professional electrician further evaluate electrical.

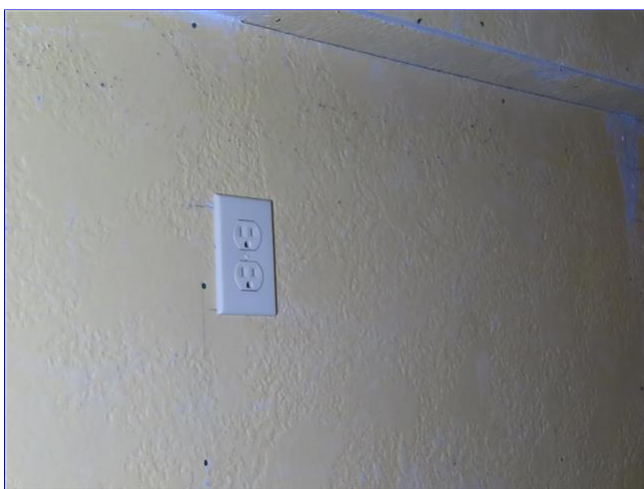
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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B. Item 18(Picture)

(17) All garage electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.



B. Item 19(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. Heating, Ventilation and Air Conditioning Systems

A. Cooling Equipment

Type of Systems (Cooling): Air conditioner unit

Cooling Equipment Energy Source: Electricity

Number of AC Only Units: One

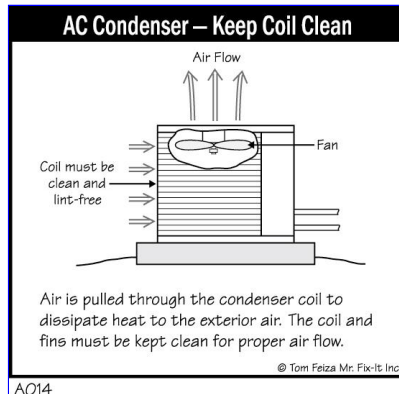
Central Air Brand: HEIL

Comments:

(1) Heil AC unit was operating properly at time of inspection. Recommend having a professional AC Tech inspect and service unit for proper efficiency.



A. Item 1(Picture)



A. Item 2(Picture)

(2) AC wood platform was not secured to the main structure with proper fasteners at time of inspection. Should have a professional correct properly.



A. Item 3(Picture)

B. Heating Equipment

Type of Systems (Heating): Furnace

Energy Sources: Gas

Number of Heat Systems (excluding wood): One

Heat System Brand: PAYNE

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Comments:

(1) Did not test or operate gas wall heaters at time of inspection. Bathroom heater should be further evaluated by a professional. Wall unit on 1st floor was not level and was loose at time of inspection. Should have a professional correct properly.



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)

(2) 2016 Payne gas furnace in the attic was working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Gas plumbing to unit was missing drip leg at time of inspection. Drip pan is full of water at time of inspection. Should have a professional AC Tech inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

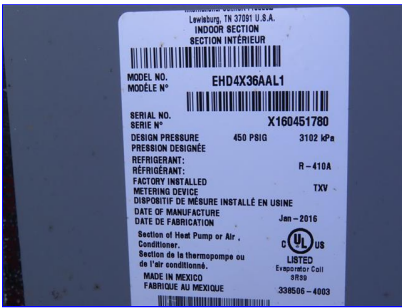
I NI NP D



B. Item 4(Picture)



B. Item 5(Picture)



B. Item 6(Picture)

C. Duct Systems, Chases and Vents

Ductwork: Insulated
Filter Type: Disposable
Filter Size: 16x25
Comments:

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

Water Source: Public

Water Filters: (We do not inspect filtration systems)

Plumbing Water Supply (into home): PVC

Plumbing Water Distribution (inside home): CPVC

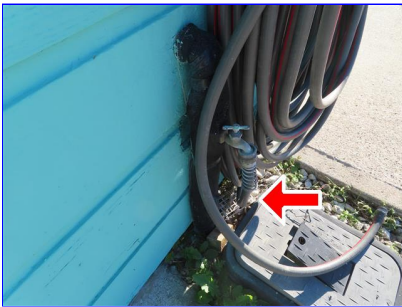
Location of water meter: in yard

Location of main water supply valve: Side of structure

Static water pressure reading: 62 psi

Comments:

(1) Main water line and shut off valve to the structure.



A. Item 1(Picture)

(2) Exterior faucets were missing hose bibbs at time of inspection. Should have a professional plumber correct.



A. Item 2(Picture)

(3) Static water pressure was 62 psi at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 3(Picture)

(4) Bathroom sinks and cabinets are loose from the wall at time of inspection. Should have a professional correct and secure properly.



A. Item 4(Picture)



A. Item 5(Picture)

(5) Toilets bowls were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 6(Picture)

(6) Second floor bathtub faucet would not shut off completely and was dripping at time of inspection. Should have a professional plumber inspect and correct properly.



A. Item 7(Picture)

(7) 1st floor bathroom faucet was not flowing properly at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 8(Picture)

(8) Gas line to Dryer was missing shut off valve at time of inspection. Should have a professional plumber correct properly.



A. Item 9(Picture)

(9) Several bathroom fixtures were loose at time of inspection. Should have a professional plumber correct properly.



A. Item 10(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(10) 1st floor shower plumbing control valve was loose from wall at time of inspection. Should have a professional plumber inspect and correct properly.



A. Item 11(Picture)

B. Drains, Waste and Vents

Washer Drain Size: 2" Diameter

Plumbing Waste: PVC

Comments:

(1) Several bathroom drain stoppers did not operate or were missing at time of inspection. Should have a professional plumber correct properly.



B. Item 1(Picture)

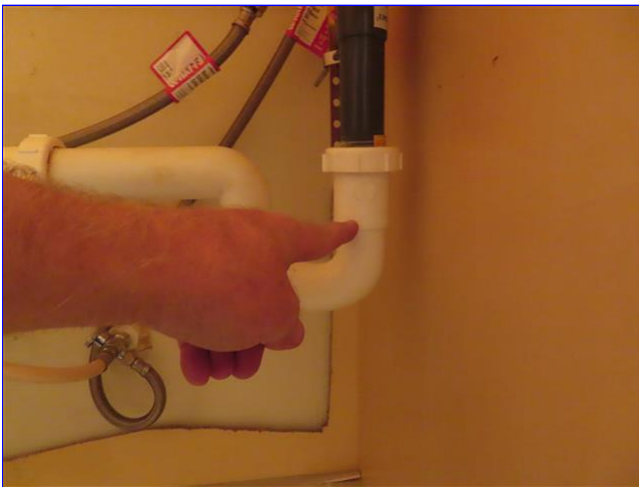
(2) Several bathrooms sink drain plumbing were loose at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Based on the inspection industry's definition of a recommended water test for "functional drainage" in a plumbing system, the plumbing drainpipes appear operational at this time. However, only a video-scan of the interior of drainpipes and drain lines can fully confirm their actual condition. When the house is vacant, the plumbing system is older, there are prior known drain problems or there are large trees on the grounds, it would be prudent to have the drain lines "video-scanned" prior to closing.

(The house has been vacant); a larger family moving in could result in clogged sewer piping, thus **THE FOLLOWING SHOULD BE DONE:** Have a licensed and qualified plumbing contractor check the main sewer line from the house to the street or on-site sewage system with a video camera to check for blockages **BEFORE YOU CLOSE."**



B. Item 2(Picture)

C. Water Heating Equipment

Water Heater energy sources: Gas (quick recovery)

Water Heater Capacity: Tankless

Water Heater Location: Garage

WH Manufacturer: RINNAI

Comments:

Rinnai gas tankless hot water heater in the garage was operating properly at time of inspection. Gas plumbing to unit was missing drip leg at time of inspection. There were signs of improper plumbing material to unit at time of inspection. TPR drain was not installed to exterior at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

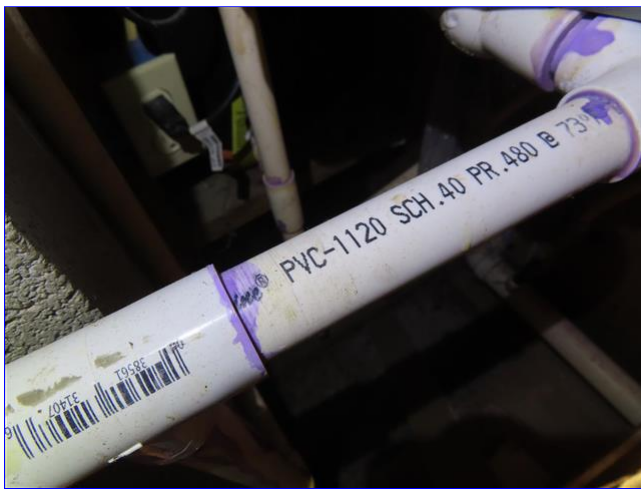
I NI NP D



C. Item 1(Picture)



C. Item 2(Picture)



C. Item 3(Picture)



C. Item 4(Picture)

D. Hydro-Massage Therapy Equipment

[Comments:](#)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. Appliances

A. Dishwasher

Dishwasher Brand: KENMORE

Comments:

Did not test or operate Kenmore portable dishwasher at time of inspection.



A. Item 1(Picture)

B. Food Waste Disposers

Disposer Brand: IN SINK ERATOR

Comments:

InSinkErator disposal was operating properly at time of inspection. Electrical to unit was missing proper connector at time of inspection. Should have a professional correct properly.



B. Item 1(Picture)



B. Item 2(Picture)

C. Range Hood and Exhaust System

Exhaust/Range hood: BROAN

Comments:

(1) Cooktop exhaust duct penetrations should be sealed properly with silver metal AC tape.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)

(2) Broan cooktop exhaust fan was operating properly but light was not operating at time of inspection. Should correct properly.



C. Item 2(Picture)



C. Item 3(Picture)

D. Ranges, Cooktops and Ovens

Range/Oven: MAYTAG

Comments:

Maytag gas cooktop and double oven was working properly at time of inspection. Unit was loose in compartment and may be missing Anti Tip Device. Unit should be secured properly. Possible safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



D. Item 1(Picture)

E. Microwave Ovens

Built in Microwave: NONE

Comments:

F. Mechanical Exhaust Vents and bathroom Heaters

Comments:

Several bathrooms were missing exhaust fans at time of inspection. Should have a professional correct properly.



F. Item 1(Picture)

G. Garage Door Operator(s)

Auto-opener Manufacturer: CHAMBERLAIN

Garage Door Type: Two manual, One automatic

Garage Door Material: Metal

Comments:

Garage door electric eyes should be 6" from the ground. Should have a professional correct properly. This is a possible safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 1(Picture)

H. Dryer Exhaust System

[Comments:](#)

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

If you're reading this report but did not hire me, American Dream Inspections TX LLC to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 832-566-0973 to discuss the report you're reading for this property so that we can arrange a re-inspection.

Thank you!