

DATE/REVISIONS

7/23/18 - CONSTRUCTION SET

8/9/18 - POST REV #1

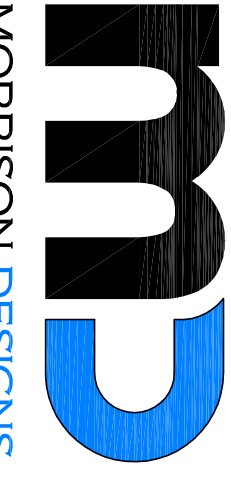
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Geronimo Ranch Development

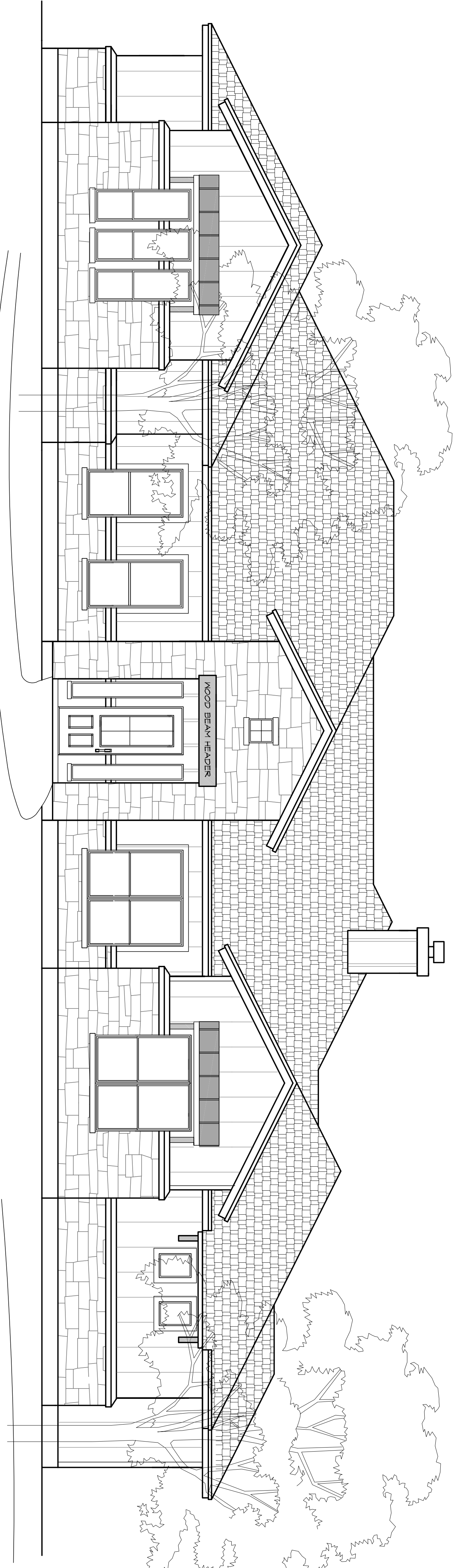
ADDRESS REQUIRED



MORRISON DESIGNS
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 GARLAND/RIDGE, TX 75266

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 WWW.MORRISON-DESIGNS.COM

SHEET NO.
COVER



VIEW 1
 Front Elevation
 scale 1/8" = 1'-0"

GENERAL PROJECT NOTES

*THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES, AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.

*ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF MORRISON DESIGNS PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.

*BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATERPROOFING ON THIS PROJECT.

*THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF MORRISON DESIGNS WHETHER THE PROJECT IS EXECUTED OR NOT

*ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.

*MORRISON DESIGNS IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL WATER PROOFING, LOAD CONNECTIONS AND KIEP SYSTEMS.

*ALL DIMENSION TO BE VERIFIED IN THE FIELD. REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO MORRISON DESIGNS PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS CAN BE EXPECTED.

*THE CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTING, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.

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GENERAL NOTES

*ALL EXTERIOR WALLS TO BE 3X4 STUD CONSTRUCTION UNLESS OTHERWISE NOTED.

NOTE 1/2 6"X6 BOARD ON COMMON WALLS AND 5/8 6"X6 BOARD ON GABLE TYPE 'X' 6"X6 BOARD IN GARAGE

*ALL WEARREMENTS AND DIMENSIONS ARE GUIDELINES FOR CONSTRUCTION USE ONLY.

*DETAILS AND SPECIFICATION MAY BE ALTERED TO REFLECT UPDATES IN BUILDING CODES, DEEDS, OR NON RESTRICTIONS.

*ALL ATTIC ACCESS DOORS TO BE WEATHER STRIPPED.

*ALL WINDOW DIMENSIONS ARE ROUGH OPENINGS. VERIFY W/ MANUFACTURER FOR EXACT CALCULATIONS.

*ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL BE PROVIDED WITH 1/2" MINIMUM CLEARANCE TO ALLOW PROPER OPERATION & BATHROOM EXHAUST CALCULATIONS.

*PROVIDE BLOCKING FOR CEILING FANS WHERE FAN IS SHOWN.

*BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES AND RELATED COMPONENTS.

*CONTRACTOR TO PROVIDE 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS. UNITS TO BE WITHIN 20FT OF ATTIC ACCESS.

MECHANICAL TRADE NOTES

*MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETED DESIGN OF THE HVAC SYSTEM. MECH CONTRACTOR TO LOCATE ALL EXHAUST AND ALL THERMOSTATS. EXHAUST FANS, GAS FIRED EQUIPMENT FLUES AND APPLIANCE VENTS.

*PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNITS(1) W/ REQ ELECTRICAL, MECH AND PLUMB (PLUMB CODE SECT 24-246)

*AIR HANDLING UNITS TO HAVE 30" DEEP WORK PLATFORM AT CONTROLS. PROVIDE 22" WIDE CLEAR WALK FROM ATTIC ACCESS. UNIT MUST NOT BE LOCATED MORE THAN 20 FT FROM ATTIC ACCESS. MINIMUM OPENING SHALL BE 22 X36".

*MULLINARY DRAIN PANS SHALL BE INSTALLED UNDER ALL EVAPORATOR COILS OR UNITS CONTAINING EVAPORATOR COILS. PAN SHALL HAVE A MIN. DEPTH OF 1/2" AND BE NOT LESS THEN 3" LARGER THAN THE OVERALL UNIT DIMENSIONS. EVAPORATOR CONDENSATE LINE TO TERMINATE AT LOCATION WHERE WATER WOULD BE NOTICED.

*ALL EXHAUST FANS AND VENT LIGHTS TO BE VENTED DIRECTLY TO EXTERIOR.

*ALL NEW RESIDENTIAL HOMES SHALL BE TESTED BY AN INDEPENDENT CERTIFIED RESIST ENERGY RATER OR ALTERNATIVE APPROVED BY BUILDING OFFICIAL (IECC 2009)

ELECTRICAL TRADE NOTES

*THIS ELECTRICAL PLAN IS INTENDED TO INDICATE THE REQUIREMENTS OF THE OWNER. THE DETAILS OF THE ELECTRICAL SYSTEM SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR LICENSED ACCORDING TO THE NEC, NEC, & STATE OF TEXAS.

*ALL ELECTRICAL SYSTEMS SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE FOR REFERENCES.

*MAIN DISTRIBUTION TO BE SIZED BY ELECTRICAL CONTRACTOR. VERIFY MAIN PANEL LOCATION PRIOR TO START. 200AMP MIN. ALL FEEDERS TO INTERIOR PANELS WILL CONTAIN A SEPARATE PROPERLY SIZED GROUND CONDUCTOR. WORKING SPACE IN FRONT OF THE PANEL MUST BE A MINIMUM OF 3 FEET DEEP AND AT LEAST 30" WIDE.

*ALL OUTLETS THAT ARE NOT GFCI NEED TO BE ARC FAULT PROTECTED.

*ALL OUTLETS TO BE TAMPER RESISTANT WITH THE EXCEPTION OF OUTLETS THAT ARE MORE THAN 5'-6" AFF AS REQ BY E400214.

*SMOKE DETECTORS TO BE WIRED IN SEQUENCE WITH BATTERY BACK-UP IN ACCORDANCE W/ NFPA72. CARBON MONOXIDE ALARM SHALL BE PROVIDED (R915.2).

*PROVIDE 110V OUTLET (WITHIN 6 FEET) OF OF CONDENSING UNIT FOR REPAIR WORKING. A MINIMUM 120 VOLT LIGHT SOURCE SHALL BE PROVIDED FOR EACH WORK AREA LOCATED IN THE ATTIC. A LIGHT SWITCH SHALL BE PROVIDED AT THE ACCESS OPENING.

*RECESSED LIGHT FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 502.13 (A)RIGHT GAN OR SEALED GYPSUM BOX WHEN PIERCING BUILDING ENV.)

*ALL GROUNDING SYSTEMS SHALL BE BONDED TO FOUNDATION STEEL.

*DISCONNECTS. ALL ELECTRICAL APPLIANCES (INCLUDING WATER HEATERS) SHALL HAVE A MEANS OF DISCONNECTING AT THE APPLIANCE LOCATION.

*GFCIS MUST BE INSTALLED ON ALL OUTSIDE OUTLETS, OUTLETS IN GARAGE, ALL BATHROOM OUTLETS, AND OUTLETS SERVING KITCHEN COOUNTER TOPS.

*COVER PLATES. VERIFY COLOR AND GRADE OF COVER PLATE WITH OWNER. SWITCHES AND RECEPTACLES WHEN TWO OR MORE SWITCHES AND/OR OUTLETS ARE LOCATED TOGETHER GAIN UNITS WITH ONE COMMON FACE PLATE.

*DISWASHER AND DISPOSAL SHALL BE ON SEPARATE 20 AMP CIRCUIT AND SHALL BE ACCESSIBLE WITHOUT HAVING TO REMOVE DISWASHER.

*EXTERIOR OUTLETS SHALL HAVE WEATHER PROOF COVERINGS.

*LIGHTING. PRIMARY LIGHTING FOR KITCHENS AND BATHROOMS SHALL BE A MINIMUM OF 40 LUMENS PER SQ FT. A SWITCH FOR INTERIOR LIGHTING SHALL BE PROVIDED AT EVERY ENTRANCE. AN EXTERIOR LIGHT SHALL BE PROVIDED AT EACH EXT. LIGHT FIXTURE TO BE SELECTED BY OWNER.

*APPLIANCES. PROVIDE AND INSTALL NECESSARY ELECTRICAL REQUIREMENTS FOR EACH APPLIANCE. IT IS THE SUBCONTRACTORS RESPONSIBILITY TO FOLLOW THE MANUFACTURERS RECOMMENDATIONS. APPLIANCES TO BE SELECTED BY THE OWNER.

SQUARE FOOTAGE SUMMARY

LIVING AREA (FRAME ONLY)	2591
LIVING STONE LUG	42
TOTAL LIVING AREA	2633

COVERED PORCH	78
COVERED PATIO	508
GARAGE	788
TOTAL NON LIVING AREA	1416

TOTAL COVERED SLAB	4008
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Project Description

* CONSTRUCTION OF A NEW ONE STORY, WOOD FRAME, SINGLE FAMILY RESIDENCE

* SITE WORK TO INCLUDE PARKING, DRIVES, AND SIDEWALKS

PLUMBING TRADE NOTES

*FURNISH AND INSTALL A COMPLETE WASTE AND VENT SYSTEM FROM THE HOUSE TO EXISTING SEWER LINE. VERIFY LOCATION & SIZING OF EXISTING SEWER PRIOR TO COMMENCING WORK. ALL HORIZONTAL DRAIN VENTS SHALL BE AT LEAST 6 INCHES ABOVE THE FLOOD RIM OF THE FIXTURE THEY SERVE.

*WATER SERVICE: PROVIDE AND INSTALL A PORTABLE WATER SYSTEM FROM THE EXISTING WATER MAIN GOING INTO THE NEW HOUSE. ONLY LEAD-FREE SOLDER MAY BE USED FOR PORTABLE WATER SYSTEMS. ALL HOSE BIBS SHALL BE FITTED WITH AN APPROVED BACK FLOW PREVENTION DEVICE.

*SEPTIC. SCHEDULE 40 UNDER SLAB OR CONCRETE 5DR 39 YARD LINE OR SCHEDULE 40 UNDER WALKS, DRIVES, ETC. PROVIDE 3" VENT ON LAST CONDUITE ON SER. LINE. 2" HORIZONTAL TO VERTICAL ONLY AS A VENT. PROVIDE 2" TRAPS ON WASHERS, TUBS, AND SHOWERS. NO BUILDING SEPTIC SHALL BE LESS THAN 4" IN SIZE.

*VERIFY WATER HEATER SIZES AND TYPES WITH CONTRACTOR PRIOR TO START. PROVIDE DRAIN PAN AND AUXILIARY DRAIN LINES TO THE EXTERIOR OF FACHOE. PRE-PLUMB FOR WATER SOFTNER LOOP.

*PIPING PROTECTION. WHERE CUTTING, NOTCHING OR BORING OCCURS WITHIN 1/2" OF THE FACE OF WOODEN JOISTS, RAFTERS, OR STUDS, A PROTECTIVE STEEL PLATE 1/16" THICK SHALL BE USED TO PROTECT THE PIPING.

*WATER TEMPERATURE. THE TEMPERATURE OF MIXED WATER TO INDIVIDUAL SHOWER AND BATH TUBS SHALL BE CONTROLLED BY SCALD PREVENTION VALVE OF THE SHOWER. THE TEMPERATURE OF MIXED WATER TO INDIVIDUAL SINKS SHALL BE CONTROLLED BY A TEMPERATURE MIXING VALVE. THE MAXIMUM MIXED WATER TEMPERATURE SHALL BE SET AT 120 DEG F.

GENERAL ELEVATION NOTES

- * EXPOSED FOUNDATION TO BE MINIMUM OF 12" AND A MINIMUM OF 6" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS.
- * GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSIDERED TO REPRESENT ACTUAL FINISHED GRADE. CONTRACTOR SHALL VERIFY FINISHED GRADE AT ALL LOCATIONS AND MAKE NECESSARY ADJUSTMENTS TO ROOF PENETRATIONS TO BE IN ACCORDANCE WITH THE FINISHED GRADE. KEEP ROOF PENETRATIONS TO MINIMUM HEIGHTS WHERE POSSIBLE.
- * CHIMNEY/TILE SHOWN AT MINIMUM DIMENSIONAL HEIGHT. CONTRACTOR TO PROVIDE RAIN SCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENTERS TO ASSURE APPROPRIATE DRAINAGE. CONTRACTOR TO VERIFY FINISHED GRADE AT ALL LOCATIONS AND MAKE NECESSARY ADJUSTMENTS TO ROOF PENETRATIONS TO BE IN ACCORDANCE WITH THE FINISHED GRADE. KEEP ROOF PENETRATIONS TO MINIMUM HEIGHTS WHERE POSSIBLE.
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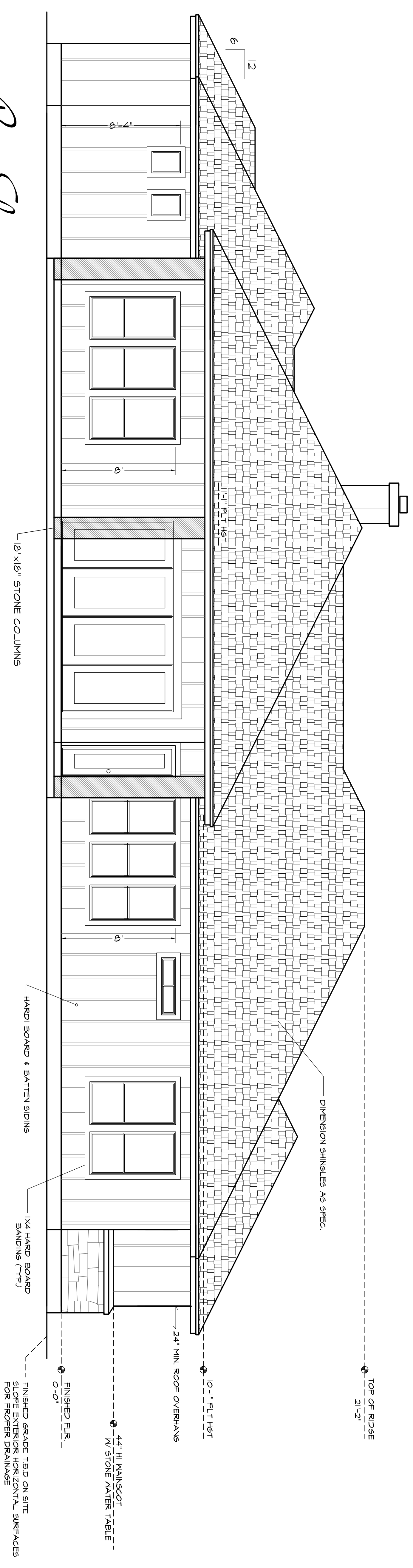
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VIEW 1
Front Elevation
 scale: 1/8" = 1'-0"



VIEW 3
Rear Elevation
 scale: 1/8" = 1'-0"

MP
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SHEET NO.
3 OF 6

Geronimo Ranch Development

ADDRESS REQUIRED

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- * ALL PLUMBING APPLIANCE AND GAS VENTS TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. NUMBER OF ROOF PENETRATIONS, KEEP ROOF PENETRATIONS TO REAR OF ROOF WHEREVER POSSIBLE.
- * CHIMNEY/PILE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER IS RESPONSIBLE FOR PREPARACE BASED ON HOUSE # SITE ORIENTATION VERSUS PREVAILING WINDS.
- * CONTRACTOR TO PROVIDE RAIN SCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENTERS TO ASSURE ADEQUATE DRAINAGE AND PROTECTING REQUIREMENTS.

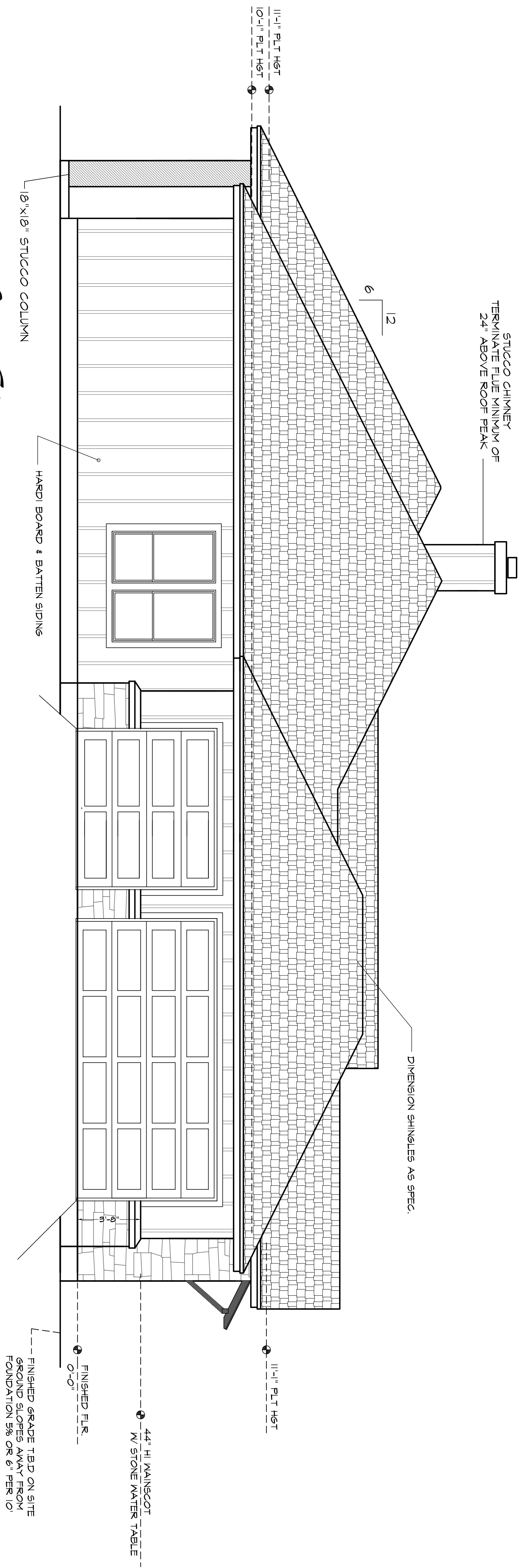
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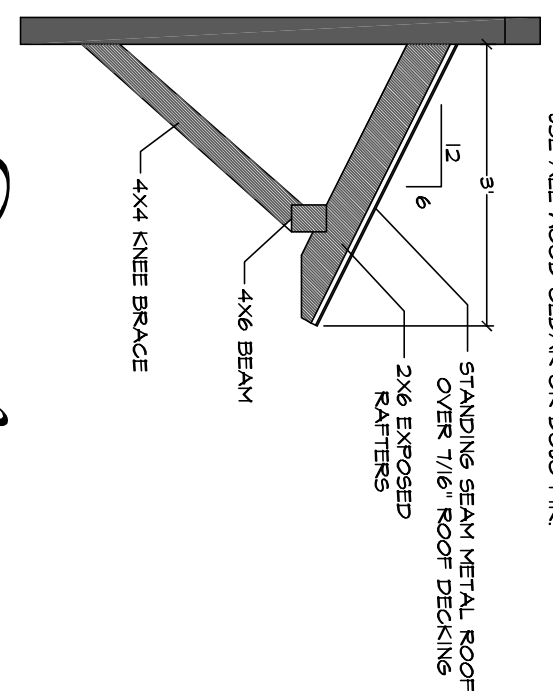
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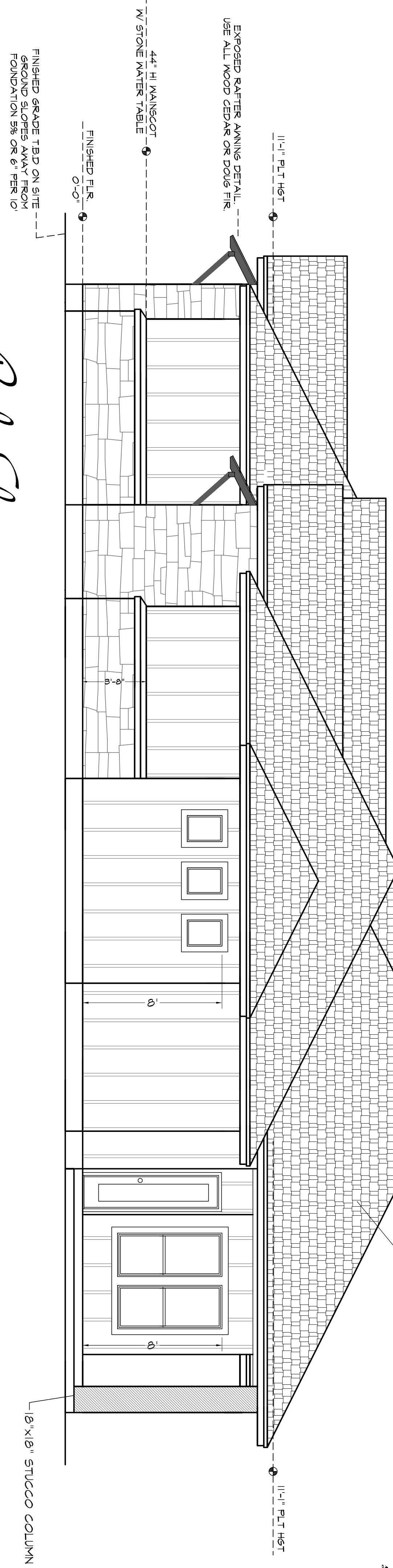
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Left Elevation
VIEW 2
scale: 1/8" = 1'-0"



Shimming Detail
scale: 1/4"



Right Elevation
VIEW 4
scale: 1/8" = 1'-0"

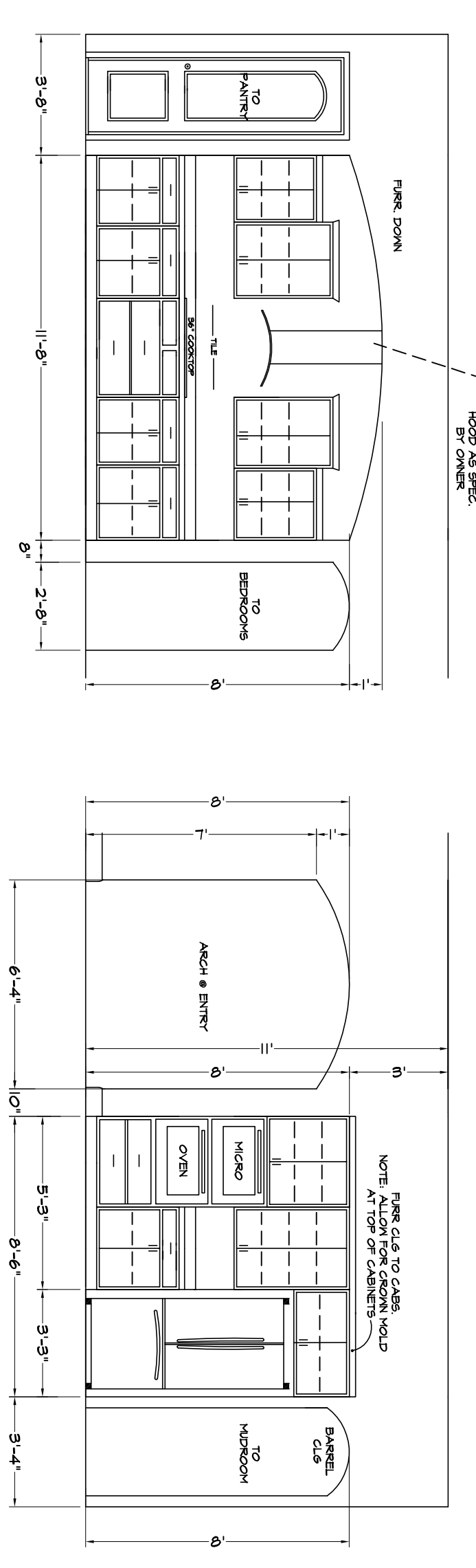
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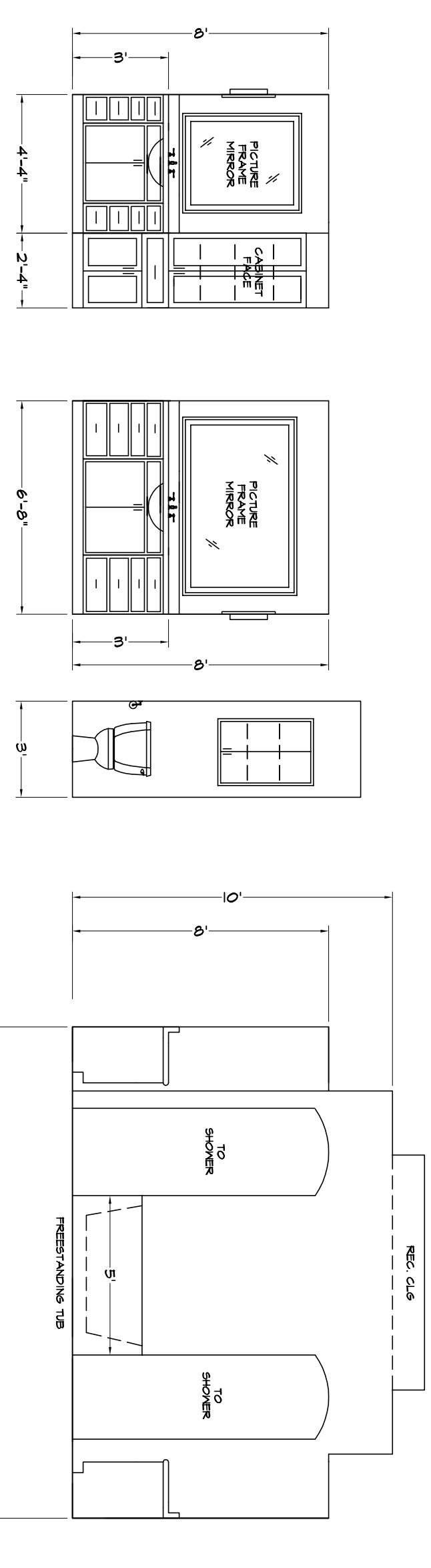
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CABINET ELEVATION ARE SCHEMATIC ONLY.
CONSULT W/ CABINET MAKER FOR DETAIL
SHOP DRAWINGS.



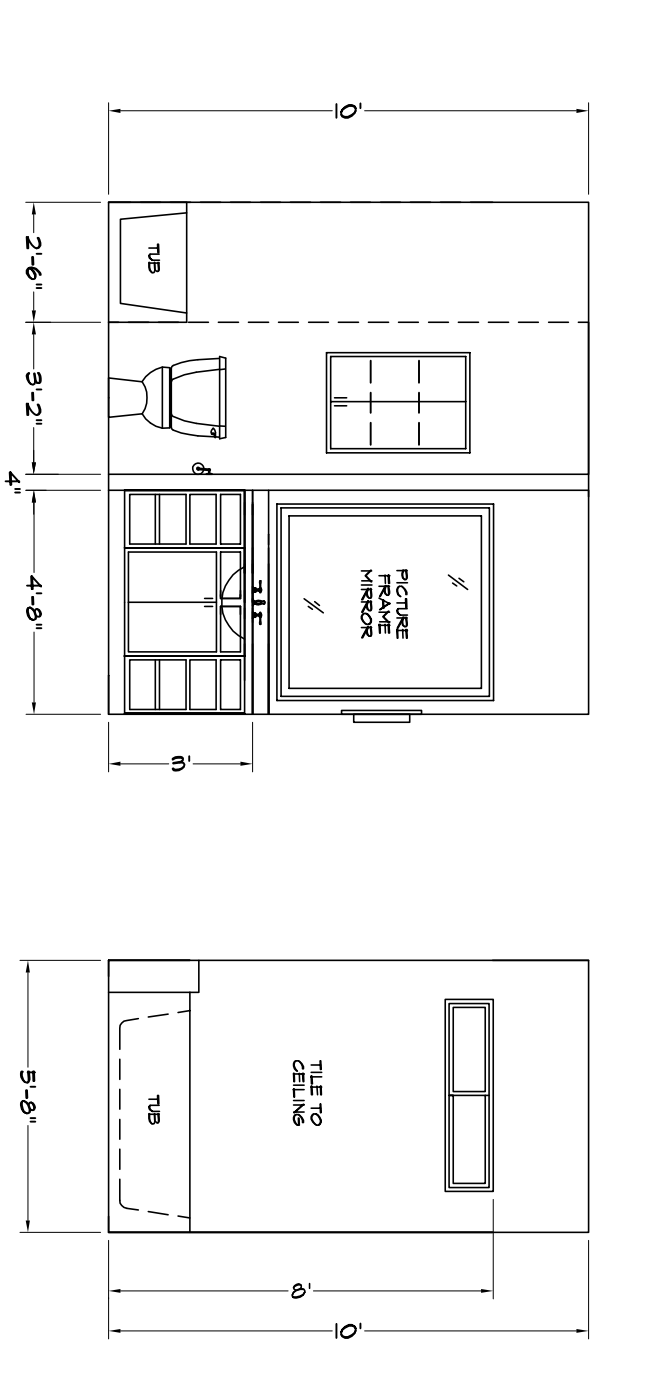
1 Kitchen

scale: 1/4" = 1'-0"

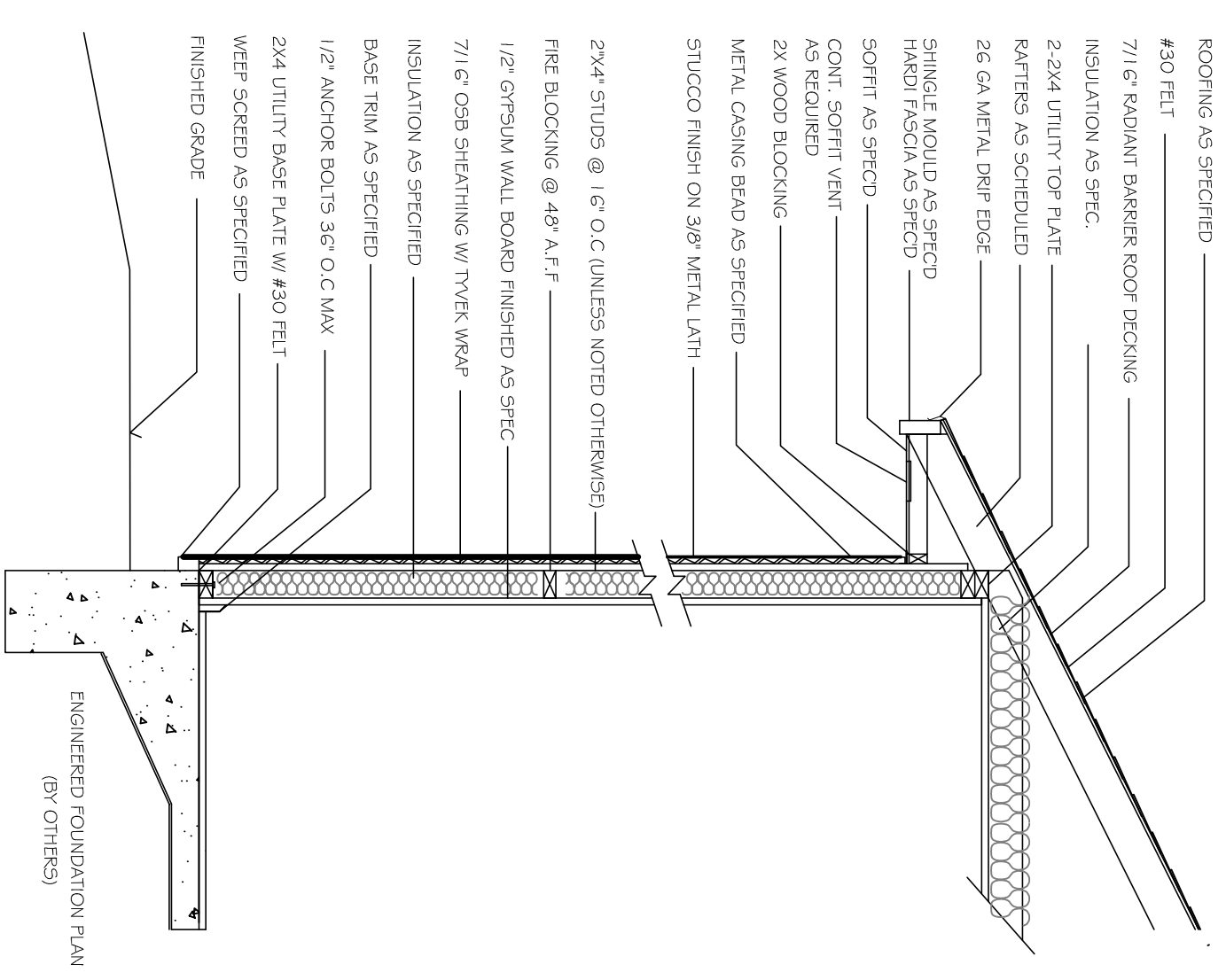


2 Master Bath

CROSS SECTION/ELEVATION

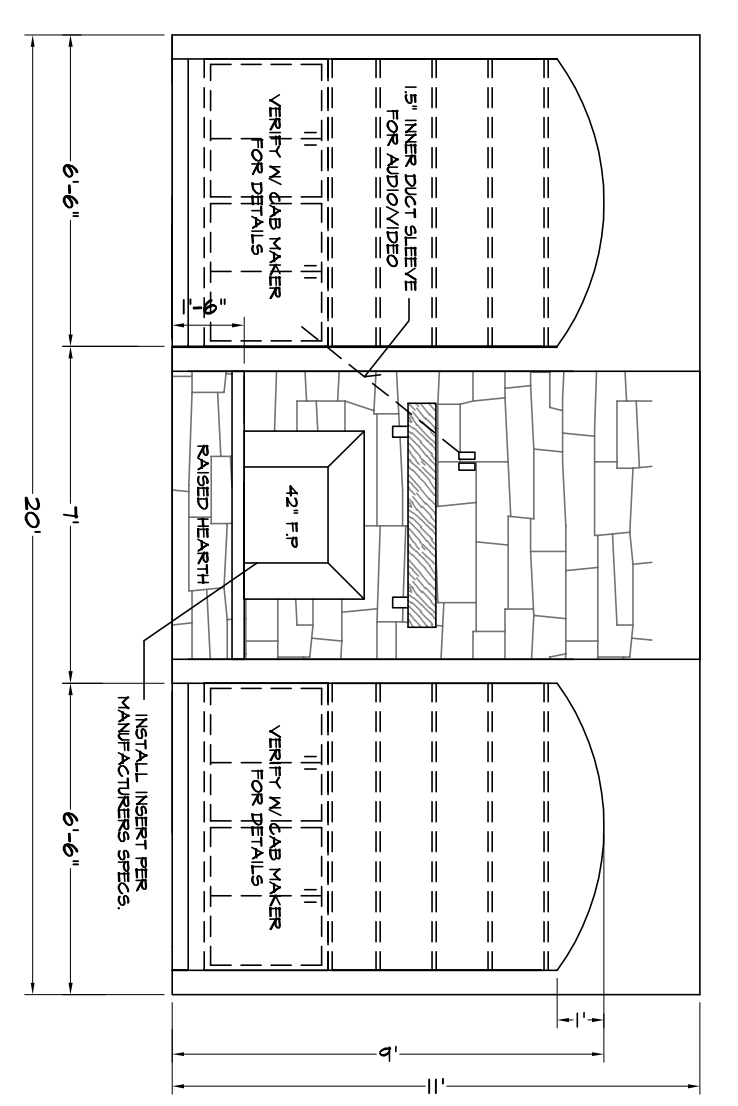


3 Bath #2



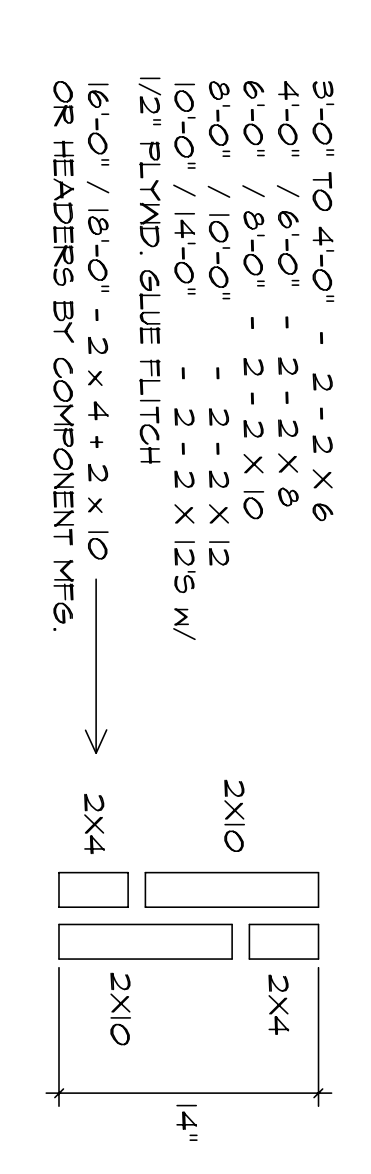
Typical Wall Section (Stucco)
scale: 1/4" = 1'-0"

Typical Wall Section (Stone)
scale: 1/4" = 1'-0"

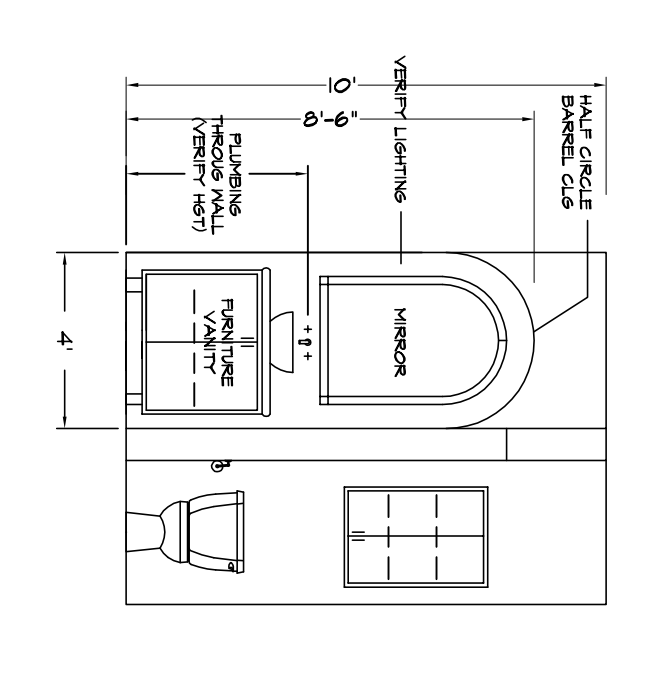


8 Fire Place

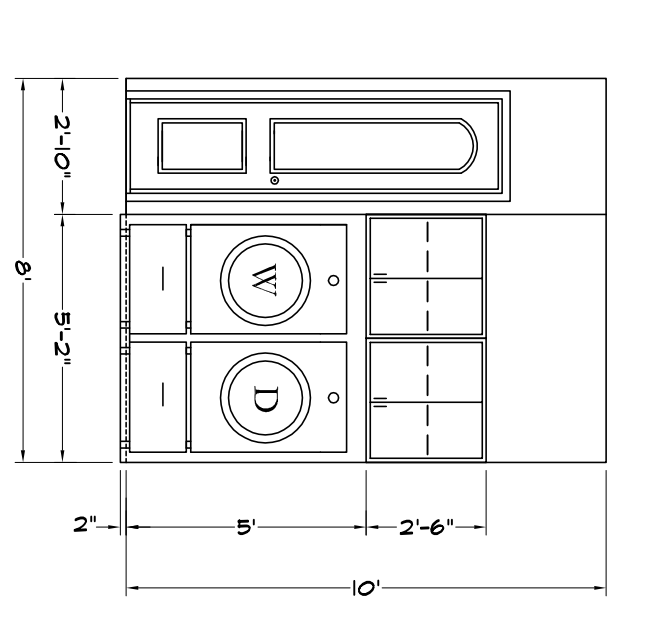
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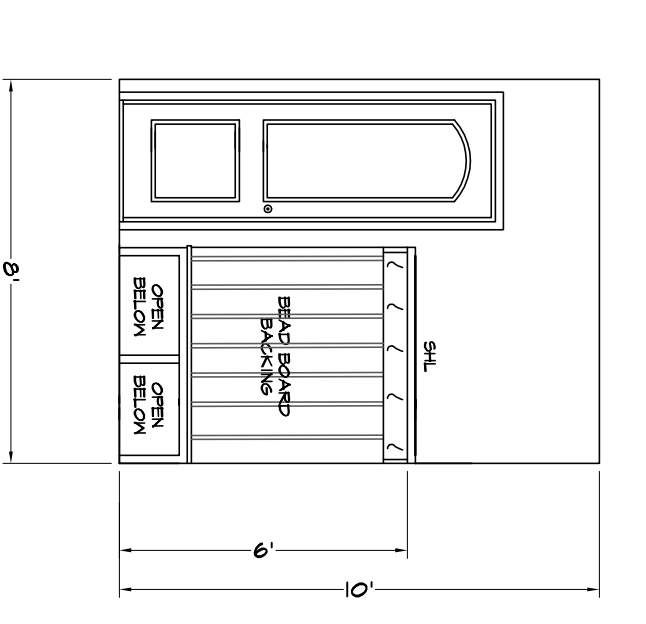
HDR Header Chart/Sizes
scale: 1/4" = 1'-0"



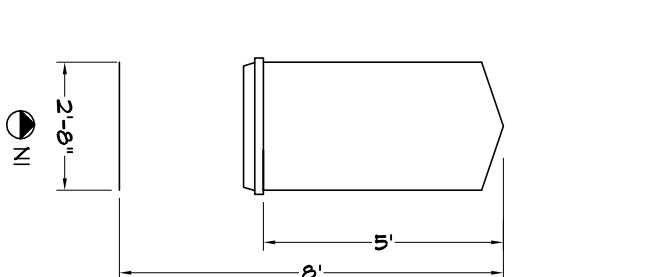
4 Half Bath



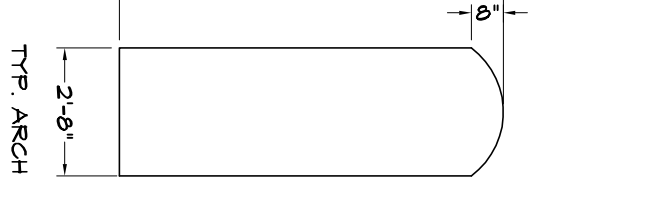
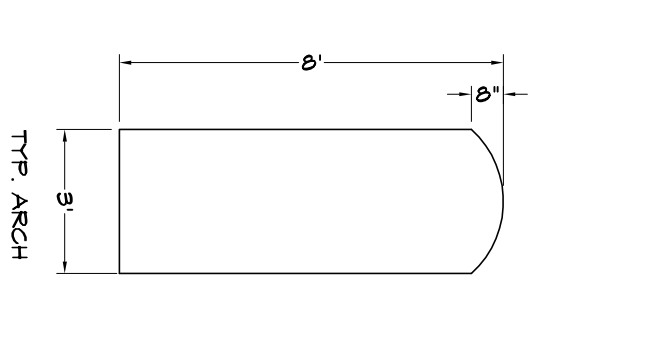
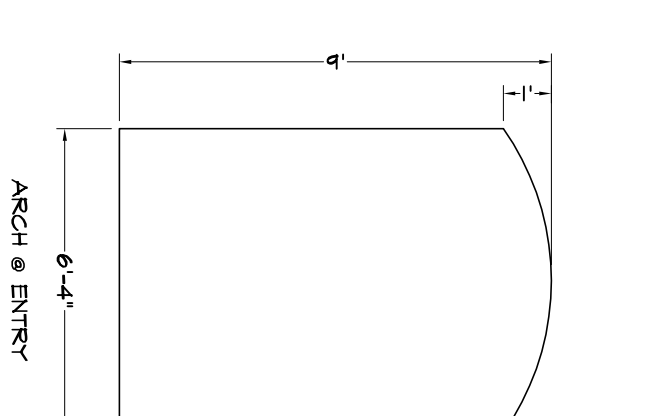
5 Utility Rm



6 Mud Rm



7 Arches



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