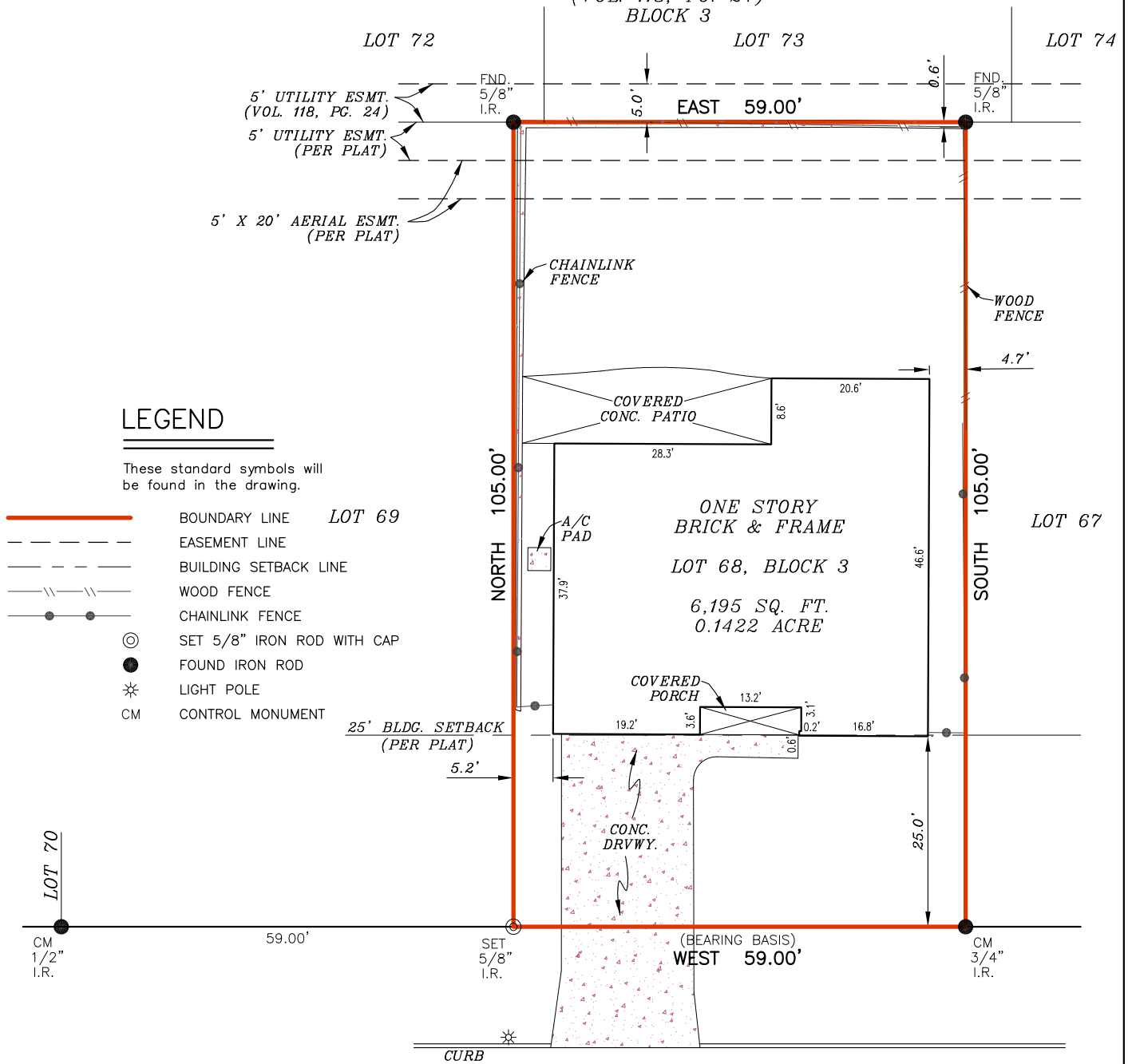


FOREST PINES, SECTION TWO-A  
(VOL. 118, PG. 24)  
BLOCK 3



**LEGEND**

These standard symbols will be found in the drawing.

- BOUNDARY LINE LOT 69
- EASEMENT LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- CHAINLINK FENCE
- SET 5/8" IRON ROD WITH CAP
- FOUND IRON ROD
- LIGHT POLE
- CONTROL MONUMENT

**DE LANGE LANE**  
(60' R.O.W.)

**SURVEYOR'S NOTES:**  
THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS AND EASEMENTS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY GF NO. 200598-CSHF ISSUED ON 07/29/2020.

**GRAPHIC SCALE**



**FLOOD INFORMATION**  
FIRM: 48201C PANEL: 0655 M  
REV. DATE: 06/09/2014  
ZONE: "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

I, RODRIC R REESE, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to INFINITE TITLE, LLC and 6708 GGR LLC

that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower: 6708 GGR LLC  
Address: 5610 DE LANGE LN., HOUSTON, TX 77092 GF No. 200598-CSHF

**Legal Description of the Land:**

Lot Sixty-eight (68), in Block Three (3), of FOREST PINES, SECTION ONE (1), a subdivision in Harris County Texas, according to the map or plat recorded in Volume 98, Page 45, of the Map Records of Harris County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 98, PAGE 45, MAP AND/OR PLAT RECORDS, HARRIS COUNTY, TEXAS CLERK'S FILE NOS. B722266, 20100217484, 20110341882, 20140104430, RP-2018-474133, REAL PROPERTY, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



**LAND TITLE SURVEY**

| JOB NO.:     | NO.      | REVISION | DATE |
|--------------|----------|----------|------|
| 2007021334   |          |          |      |
| DATE:        | 07/31/20 |          |      |
| DRAWN BY:    | MS       |          |      |
| APPROVED BY: | RRR      |          |      |



*Rodric R. Reese*

FIRM REGISTRATION NO. 10190700  
THIS SURVEY IS CONTRACTED TO RODRIC R REESE, RPLS  
PHONE NUMBER 713-647-1315

RODRIC R REESE, R.P.L.S.  
Registered Professional Land Surveyor  
Registration No. 5883

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**Overland Consortium Inc. Surveyors**

Tel: 281-940-8869 Fax: 281-207-6476

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