

NOTE:

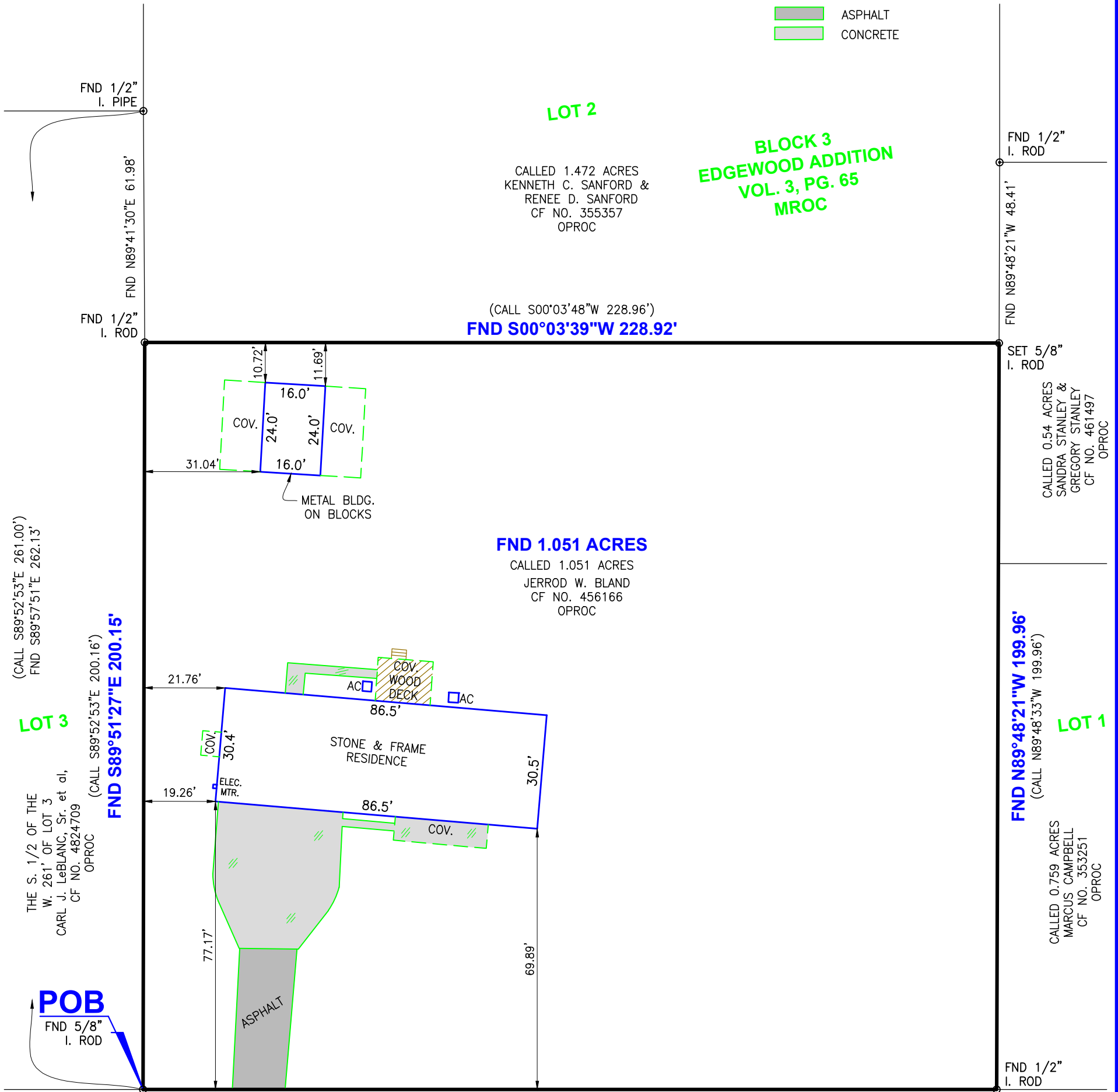
1. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
2. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, FORMED IN THE COURSE OF HIS PERFORMING THE SURVEY IN COMPLIANCE WITH THE STANDARDS OF PRACTICE REQUIRED AND PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS AND THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS. AS SUCH, IT CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
3. ALL SET 5/8" IRON RODS SET WITH A CAP STAMPED "M.W. WHITELEY & ASSOCIATES".



SCALE 1"=30'

LEGEND

- POWER POLE
- OVERHEAD ELECTRIC
- WOOD
- ASPHALT
- CONCRETE



(CALL S89°52'53"E 261.00') FND S89°57'51"E 262.13' (CALL S89°52'53"E 200.16') FND S89°51'27"E 200.15' (CALL S00°03'48"W 228.96') FND S00°03'39"W 228.92' (CALL N00°00'50"E 228.74') FND N00°00'50"E 228.74' (CALL N89°48'21"W 199.96') FND N89°48'21"W 199.96' (CALL N89°48'33"W 199.96')

NOTE:
UNDERGROUND ELECTRIC SERVICE,
EXACT LOCATION OF UNDERGROUND
ELECTRIC UNKNOWN.

EXHIBIT "B"
REFER TO EXHIBIT "A"
FOR LEGAL DESCRIPTION

REFERENCE BEARING PER CF NO. 456166, OPROC

NITSCHER STREET
(CALLED NITSCHER ROAD PER PLAT)
(40' ROW)

245 NITSCHER STREET
BRIDGE CITY, TEXAS 77611
1.051 Acre Tract or Parcel of Land
Out of and Part of Lot 2, Block 3
Edgewood Addition
Volume 3, Page 65, Map Records
John Jett Survey, Abstract No. 15
Orange County, Texas
Owner: Nitya Housing PropCo(I), LLC
Census: 224.00
In accordance with the Flood Hazard
Boundary Map, Department of Housing
and Urban Development.
Community No.: 480511
Panel No.: 0005 B
Date of FIRM: 09-02-82
This property lies in Zone "B".
Location on map determined by scale on map.
Actual field elevation not determined.
Mark W. Whiteley and Associates does not
warrant nor subscribe to the accuracy or
scale of said maps.

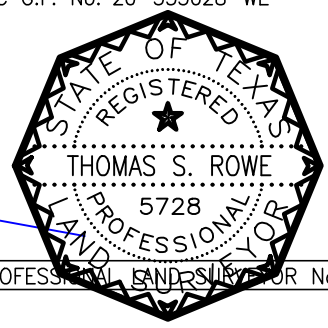
Zone "B" are areas between limits of the
100-year and 500-year flood; or certain
areas subject to 100-year flooding with
average depths less than one (1) foot or
where the contributing drainage area is less
than one square mile; or areas protected by
levees from the base flooding.
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TO THE OWNERS OF THE PREMISES SURVEYED
AS OF THE DATE OF THE SURVEY:

I, THOMAS S. ROWE DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY
MADE ON THE SURFACE OF THE GROUND OF THE PROPERTY LEGALLY DESCRIBED
HEREON AND IS CORRECT. I FIND NO DISCREPANCIES, SHORTAGES IN AREA,
ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS ON THE SURFACE OF THE
GROUND, EXCEPT AS SHOWN HEREON. ALL RECORDED EASEMENTS SHOWN AND
NOTED PER CAPITAL TITLE OF TEXAS, LLC G.F. No. 20-533028-WE

DATE SURVEYED: NOVEMBER 4, 2020

Thomas S. Rowe



THOMAS S. ROWE - REGISTERED PROFESSIONAL LAND SURVEYOR No. 5728

