

GF NO. 182119026 TEXAS AMERICAN TITLE
 ADDRESS: 15231 HEAVENLY ACRES DRIVE
 WILLIS, TEXAS 77318
 BORROWER:

LOT 17, BLOCK 1 HEAVENLY ACRES

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 IN CABINET K, SHEET 117 OF THE MAP RECORDS
 OF MONTGOMERY COUNTY, TEXAS

NOTE: ANY AND ALL EASEMENTS, BUILDING LINES, AND CONDITIONS,
 COVENANTS AND RESTRICTIONS AS PER PLAT.

NOTE: SUBJECT TO COVENANTS, CONDITIONS, AND RESTRICTIONS LISTED IN
 SCHEDULE B, ITEM 10 B. OF THE HEREIN REFERENCED TITLE COMMITMENT.

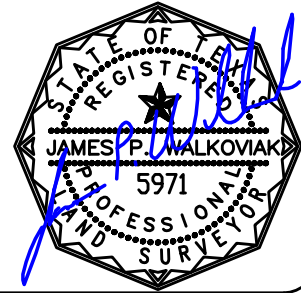


THIS PROPERTY DOES NOT LIE WITHIN THE
 100 YEAR FLOOD PLAIN AS PER FIRM
 PANEL NO. 48339C 0225 G
 MAP REVISION: 08/18/2014
 ZONE X
 BASED ONLY ON VISUAL EXAMINATION OF MAPS.
 INACCURACIES OF FEMA MAPS PREVENT EXACT
 DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SUBSURFACE INVESTIGATION
 WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
 RECORD BEARING: CAB. K, SH. 117, M.C.M.R. DRAWN BY: PR

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 ON THE GROUND, THAT THIS PLAT CORRECTLY
 REPRESENTS THE FACTS FOUND AT THE
 TIME OF SURVEY AND THAT THERE ARE NO
 ENCROACHMENTS APPARENT ON THE GROUND,
 EXCEPT AS SHOWN HEREON. THIS SURVEY IS
 CERTIFIED FOR THIS TRANSACTION ONLY AND
 ABSTRACTING PROVIDED IN THE ABOVE
 REFERENCED TITLE COMMITMENT WAS RELIED
 UPON IN PREPARATION OF THIS SURVEY.



JAMES P. WALKOVIAK
 PROFESSIONAL LAND SURVEYOR
 NO. 5971
 JOB NO. 2021-01413
 MARCH 08, 2021



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281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
 950 THREADNEEDLE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 NE LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217

FIRM NO. 10063700