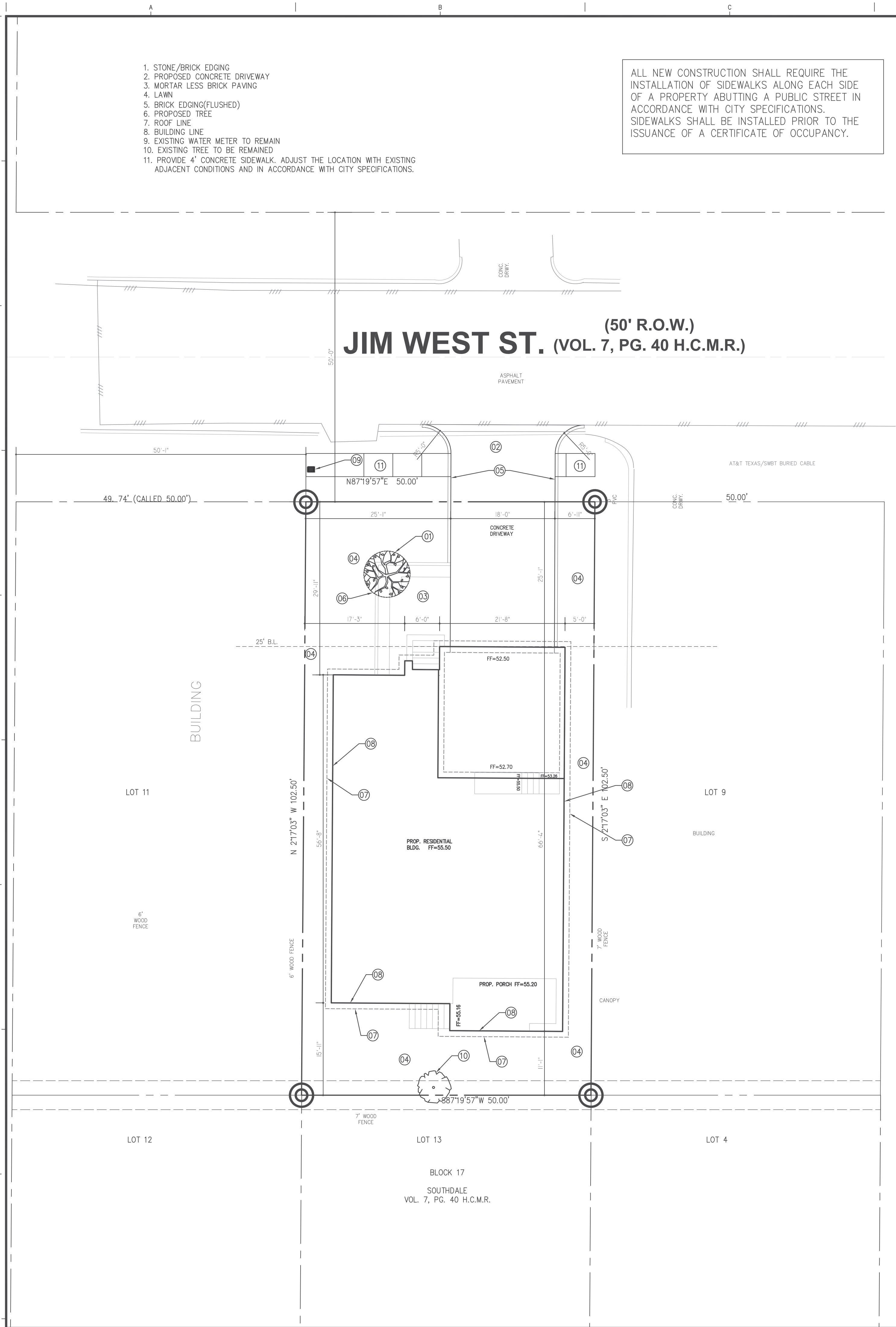


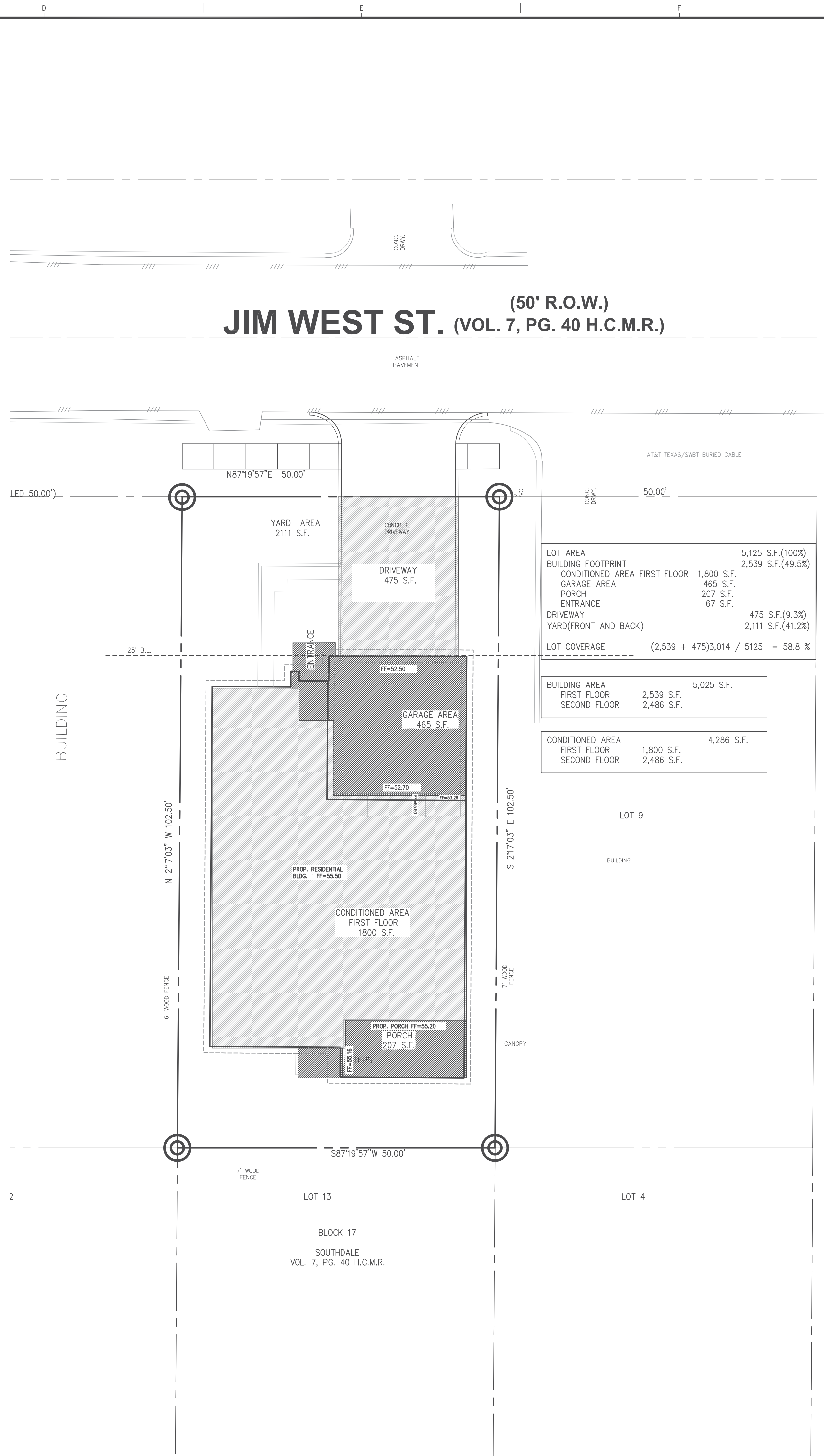
1. STONE/BRICK EDGING
2. PROPOSED CONCRETE DRIVEWAY
3. MORTAR LESS BRICK PAVING
4. LAWN
5. BRICK EDGING(FLUSHED)
6. PROPOSED TREE
7. ROOF LINE
8. BUILDING LINE
9. EXISTING WATER METER TO REMAIN
10. EXISTING TREE TO BE REMAINED
11. PROVIDE 4' CONCRETE SIDEWALK, ADJUST THE LOCATION WITH EXISTING ADJACENT CONDITIONS AND IN ACCORDANCE WITH CITY SPECIFICATIONS.

ALL NEW CONSTRUCTION SHALL REQUIRE THE INSTALLATION OF SIDEWALKS ALONG EACH SIDE OF A PROPERTY ABUTTING A PUBLIC STREET IN ACCORDANCE WITH CITY SPECIFICATIONS. SIDEWALKS SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

JIM WEST ST. (VOL. 7, PG. 40 H.C.M.R.)
(50' R.O.W.)



JIM WEST ST. (VOL. 7, PG. 40 H.C.M.R.)
(50' R.O.W.)



LOT AREA	5,125 S.F.(100%)
BUILDING FOOTPRINT	2,539 S.F.(49.5%)
CONDITIONED AREA FIRST FLOOR	1,800 S.F.
GARAGE AREA	465 S.F.
PORCH	207 S.F.
ENTRANCE	67 S.F.
DRIVEWAY	475 S.F.(9.3%)
YARD(FRONT AND BACK)	2,111 S.F.(41.2%)
LOT COVERAGE	(2,539 + 475)/5,125 = 58.8 %

BUILDING AREA	5,025 S.F.
FIRST FLOOR	2,539 S.F.
SECOND FLOOR	2,486 S.F.
CONDITIONED AREA	4,286 S.F.
FIRST FLOOR	1,800 S.F.
SECOND FLOOR	2,486 S.F.

LEGAL DESCRIPTION
LT 10 BLK 17 & ADJ 2.5 FT OF
ABANDON ALLEY
SOUTHDALE

BENCHMARK DATA
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FLOOD PLAIN DATA
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ZONE: AE
B.F.E.: 52.00

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HouTex Engineering, LLC

STATE OF TEXAS
ZIAEDDIN MOHAMMADI
67639
REGISTERED PROFESSIONAL ENGINEER

Ziauddin Mohammad
9/17/2018

HOUTEX ENGINEERING, LLC
FIRM NUMBER: F-12522

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9111 Katy Freeway, Suite 226, Houston, Texas 77024
www.HouTexEngineering.com
e-mail: info@HouTexEngineering.com

9/17/2018	FOR CITY OF BELLAIRE COMMENTS

ABEDINI RESIDENCE

SINGLE FAMILY RESIDENTIAL

AT
4323 JIM WEST
BELLAIRE, TX 77401

SITE PLAN

SCALE: 1" = 10'

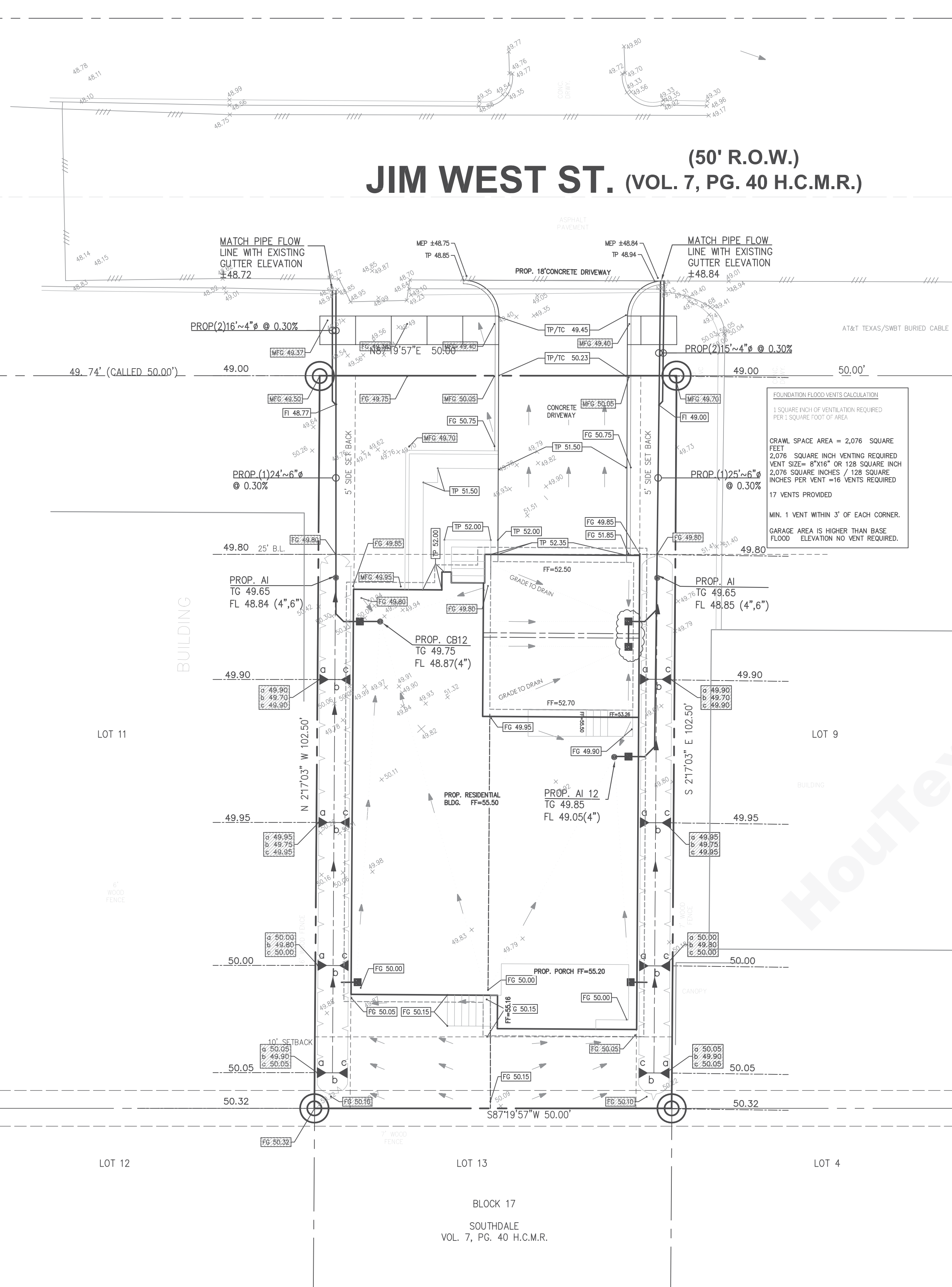
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CHECKED BY: ZM
APPROVED BY: ZM

REVIEWER AGENCY P#:
HOUTEX PROJECT NUMBER:

AGENCY PROJECT#
1813801

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Monday, September 17, 2018 12:28 PM, HouTexD16, HTX-STB-B16.stb, LETTER (8.50 X 11.00 INCHES), SP001-18-131-R1-01.dwg

SOUTHDALE BLVD.
(50' R.O.W.)
(VOL. 7, PG. 40 H.C.M.R.)



GENERAL NOTES: SITE DRAINAGE
(THESE SHALL CONTROL UNLESS OTHERWISE NOTED ON PLAN AND DETAILS.)
CONTRACTOR / BUILDER SHALL FIELD-VERIFY ALL EXISTING CONDITIONS & INFORM ENGINEER OF ALL DISCREPANCIES THAT MAY IMPACT THIS WORK.
CONTRACTOR/BUILDER SHALL FIELD-VERIFY EXISTING ELEVATIONS AND SET FINISH FLOOR ELEVATION AT LEAST ONE (1) FOOT ABOVE EACH OF THE FOLLOWING, WHICHEVER IS HIGHER:
A. FIN FLOOR ELEVATION OF NEAREST SANITARY SEWER MANHOLE;
B. CROWN OR HIGHEST ELEVATION OF FRONTAGE STREET.
(TOP OF DRAIN ELEV. OF SUNKEN TUBS SHALL ALSO CONFORM TO THESE REQUIREMENTS.)
NOTIFY ENGINEER IF FF ELEVATION IS DIFFERENT THAN THAT SHOWN ON PLAN.
PROPOSED FF ELEVATION IS MINIMUM. BUILDER MAY SET SLAB @ HIGHER ELEVATION, BUT NOTIFY ENGINEER PRIOR TO SETTING FORM.
FINISH GRADE ELEVATIONS @ SIDE & REAR PROPERTY LINES SHALL MATCH EXISTING GRADE ELEVATIONS U.O.N.
ALL EXCAVATED SOIL FROM FOUNDATION SHALL BE REMOVED FROM CONSTRUCTION SITE AND MAY NOT BE USED AS FILL DIRT, UNLESS SPECIFICALLY CALLED FOR ON PLANS.
THIS PROPOSED DRAINAGE SCHEME WILL NOT RESULT IN ANY STORMWATER RUNOFF ONTO ADJOINING PROPERTIES FOR A 2-YEAR STORM.
FILL SHALL BE LIMITED TO NO MORE THAN NEEDED TO CREATE A MAXIMUM ONE PERCENT (1.0%) SLOPE TO THE EXISTING STREET, TOP OF CURB, EDGE OF ROAD (IF NO CURB EXISTS) OR EXISTING DITCH HIGH BANK, AND IN NO CASE MORE THAN EIGHT (8) INCHES ABOVE THE EXISTING GRADE OF THE LOT PRIOR TO DEVELOPMENT.
RETAINING WALLS SHALL BE CONSTRUCTED IN AREAS WHERE FILL EXCEEDS FOUR (4) INCHES. RE: GRADE SEPARATION DETAILS THIS SHEET.
POSITIVE DRAINAGE TO A CITY DRAINAGE FACILITY MUST BE MAINTAINED AT ALL TIMES. VIOLATION OF DRAINAGE REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION ORDINANCE NO. 05-024 COULD RESULT IN A FINE OF \$500 EACH DAY THE VIOLATION IS COMMITTED OR CONTINUES.
THE ENGINEER HEREBY CERTIFIES THAT ALL PROPOSED IMPROVEMENTS ARE IN ACCORDANCE WITH CITY OF BELLAIRE ORDINANCES NO. 05-024, 05-044, AND 05-085 AS CURRENTLY AMENDED.

NOTES ON DOWNSPOUT LEADS:
DOWNSPOUT LEADS SHOWN IN PLAN ARE DIAGRAMMATIC ONLY. NUMBER, SIZE & LOCATION OF DOWNSPOUTS IS STRICTLY THE RESPONSIBILITY OF GUTTER SYSTEM INSTALLER.
ALL DOWNSPOUTS SHALL BE CONNECTED DIRECTLY TO SUBSURFACE DRAINAGE SYSTEM, UNLESS NOTED OTHERWISE.
DOWNSPOUT CONNECTION LEADS SHALL BE PVC, SIZED AS FOLLOWS:
A. 4" FOR CONNECTING UP TO 1 DOWNSPOUT
B. 5" FOR CONNECTING UP TO 4 DOWNSPOUTS
NO MORE THAN FOUR DOWNSPOUTS SHALL BE CONNECTED TO A SINGLE LEAD.

IMPORTANT NOTES ON EXISTING TREES:
CONTRACTOR SHALL ROUTE SUBSURFACE STORM WATER PIPE AND LOCATE PROPOSED CATCH BASINS & AREA DRAINS SO AS TO MINIMIZE DAMAGE TO ROOT SYSTEM OF EXISTING TREES.
IF PIPE LAYOUT IS SUBSTANTIALLY DIFFERENT THAN SHOWN HEREIN, INFORM ENGINEER PRIOR TO PROCEEDING WITH ACTUAL INSTALLATION.

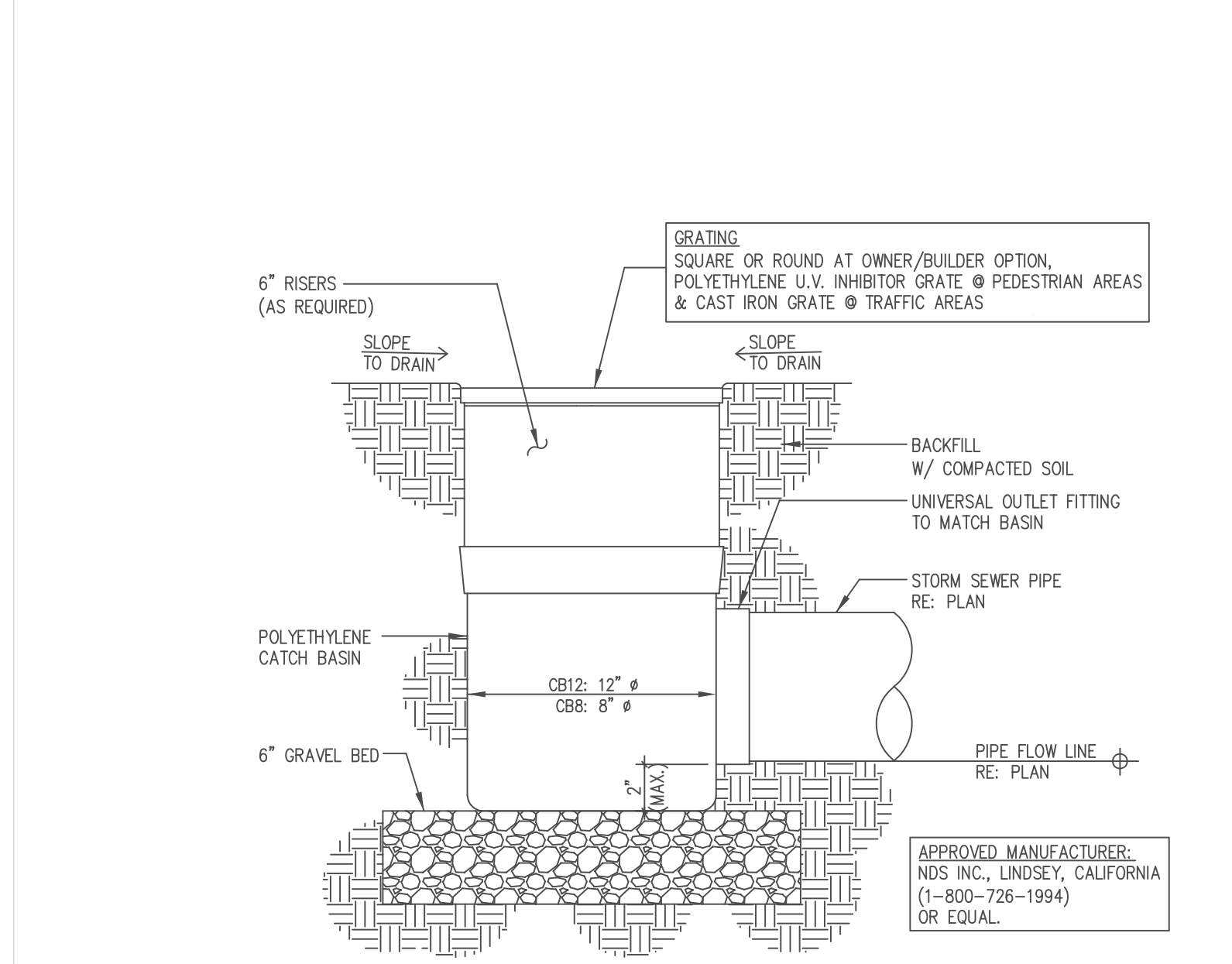
FOUNDATION FLOOD VENTS CALCULATION
3 SQUARE INCH OF VENTILATION REQUIRED PER 1 SQUARE FOOT OF AREA.
CRAWL SPACE AREA = 2,076 SQUARE FEET
2,076 SQUARE INCH VENTING REQUIRED
VENT SIZE = 8"X16" OR 128 SQUARE INCH
2,076 SQUARE INCHES / 128 SQUARE INCHES PER VENT = 16 VENTS REQUIRED
17 VENTS PROVIDED
MIN. 1 VENT WITHIN 3' OF EACH CORNER.
GARAGE AREA IS HIGHER THAN BASE FLOOD ELEVATION NO VENT REQUIRED.

LEGEND

---	PROPERTY LINE
---	LOT LINE
---	HIGH POINT / TOP OF GRADE BREAK
---	BUILDING (SETBACK) LINE
---	EASEMENT
---	PAVEMENT RUNOFF PATH
---	SLOPE ARROW
---	PROPOSED CATCH BASIN / INLET AREA
---	MANHOLE
---	EXISTING GRADE ELEVATIONS
---	PROPOSED GRADE ELEVATIONS
---	FINISHED FLOOR
---	TC
---	TP
---	TG
---	FL
---	FG
---	MFG
---	TSW
---	NG
---	WM
---	MEP
---	S.S.E.
---	W.L.E.
---	BL

CRAWL SPACE CONSTRUCTION NOTES

- FOR ANY CRAWL SPACE, NO WOOD PRODUCTS ARE ALLOWED WITHIN 18 INCHES OF GRADE.
- PROVIDE A CLASS III VAPOR RETARDER FOR CRAWL SPACE IN ACCORDANCE WITH THE CITY OF BELLAIRE AMENDMENTS 9-17.
- IN ADDITION TO THE REQUIREMENTS OF SECTIONS R402.1 AND R402.2 OF THE 2012 IECC, A NON-HYDROSCOPIC MATERIAL AIR BARRIER AND VAPOR RETARDER SHALL BE APPLIED OVER ALL SURFACES OF THE INSULATION FACING THE CRAWLSPACE IF THE INSULATION DOES NOT EFFECTIVELY PROVIDE THE SAME.
- PROVIDE R-13 CAVITY INSULATION FOR THE FLOOR. RE: TO ENERGY REPORT.

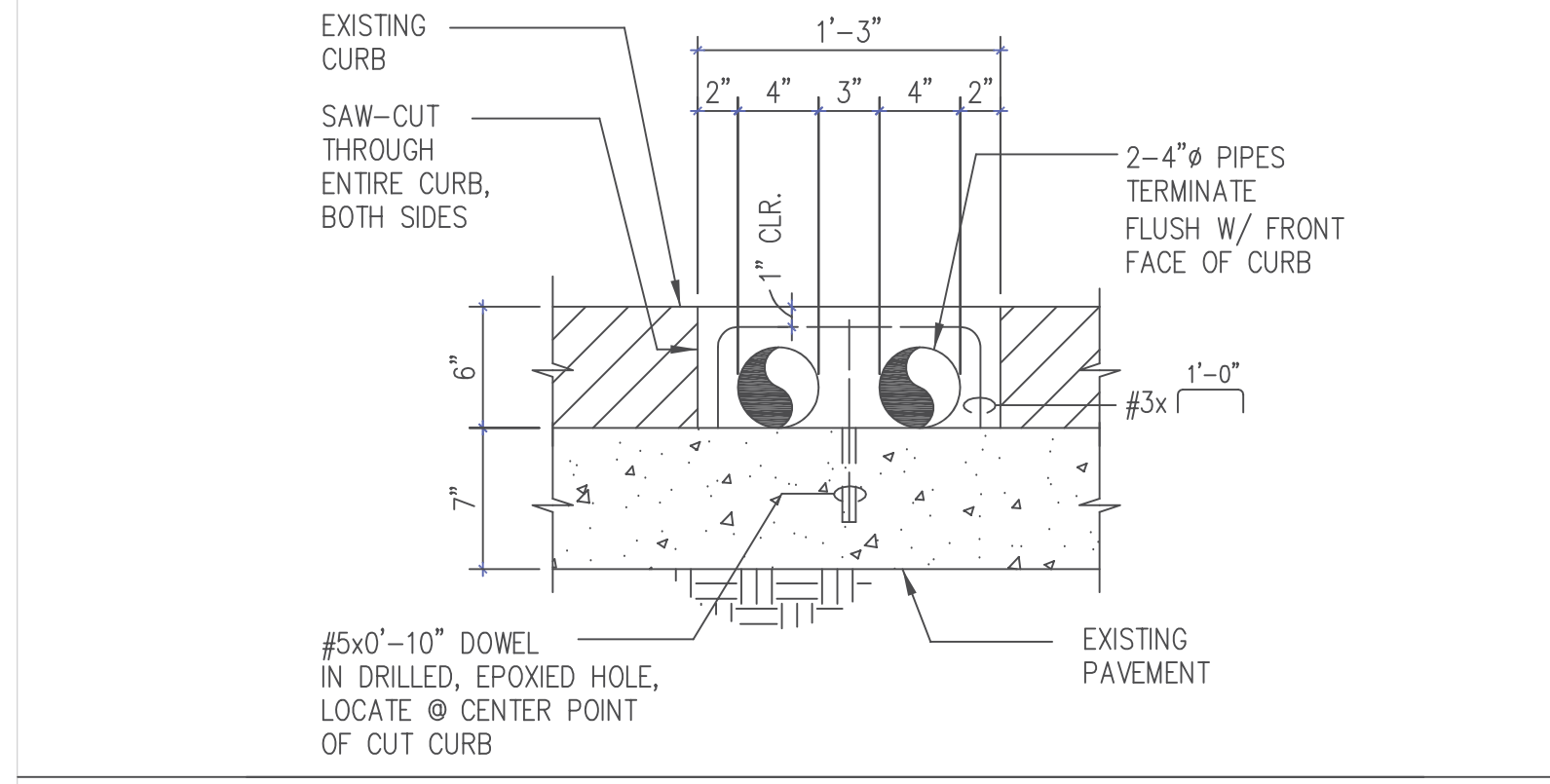


TYPICAL PLASTIC DRAIN (N.T.S.)

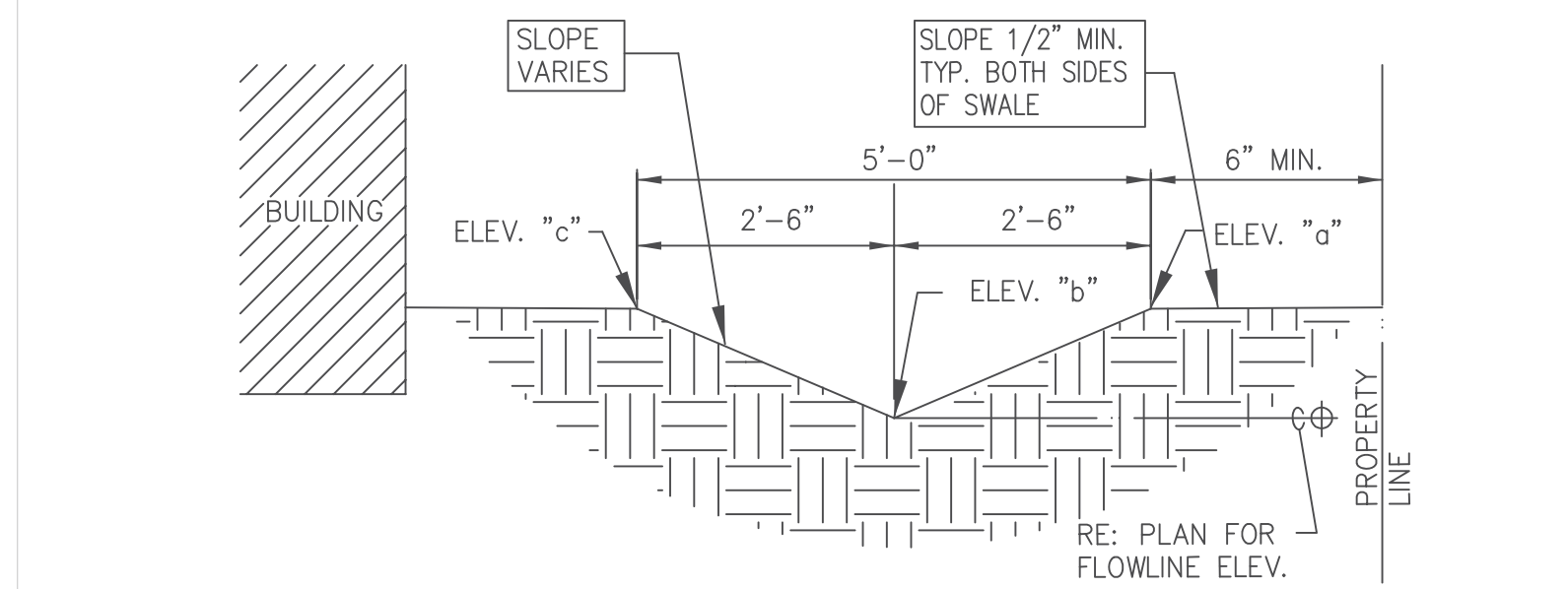
MATERIAL SPECIFICATIONS

CONCRETE: 28-DAY COMPRESSIVE STRENGTH (f'c) = 3,000 PSI W/ 1/2" MAX. AGGREGATE SIZE

REINFORCING STEEL: ASTM 615, GRADE 60 (Fy=60,000 PSI)



PIPE PENETRATION THROUGH EXISTING CURB (N.T.S.)



PROPOSED SWALE (N.T.S.)

LEGAL DESCRIPTION
LT 10 BLK 17 & ADJ 2.5 FT OF ABANDON ALLEY SOUTHDALE

BENCHMARK DATA
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PHONE NO.: (713) 977-7556, (713)977-7317 FAX

HouTex Engineering, LLC

ZIAEDDIN MOHAMMADI
67639
REGISTERED PROFESSIONAL ENGINEER
11/11/2019

HOUTEX ENGINEERING, LLC
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9111 Katy Freeway, Suite 226, Houston, Texas 77024
www.HouTexEngineering.com
e-mail: info@HouTexEngineering.com

9/17/2018	FOR CITY OF BELLAIRE COMMENTS
11/11/2019	ADD A AREA INLET UNDER GARAGE

ABEDINI RESIDENCE

SINGLE FAMILY RESIDENTIAL

AT
4323 JIM WEST
BELLAIRE, TX 77401

GRADING AND DRAINAGE PLAN

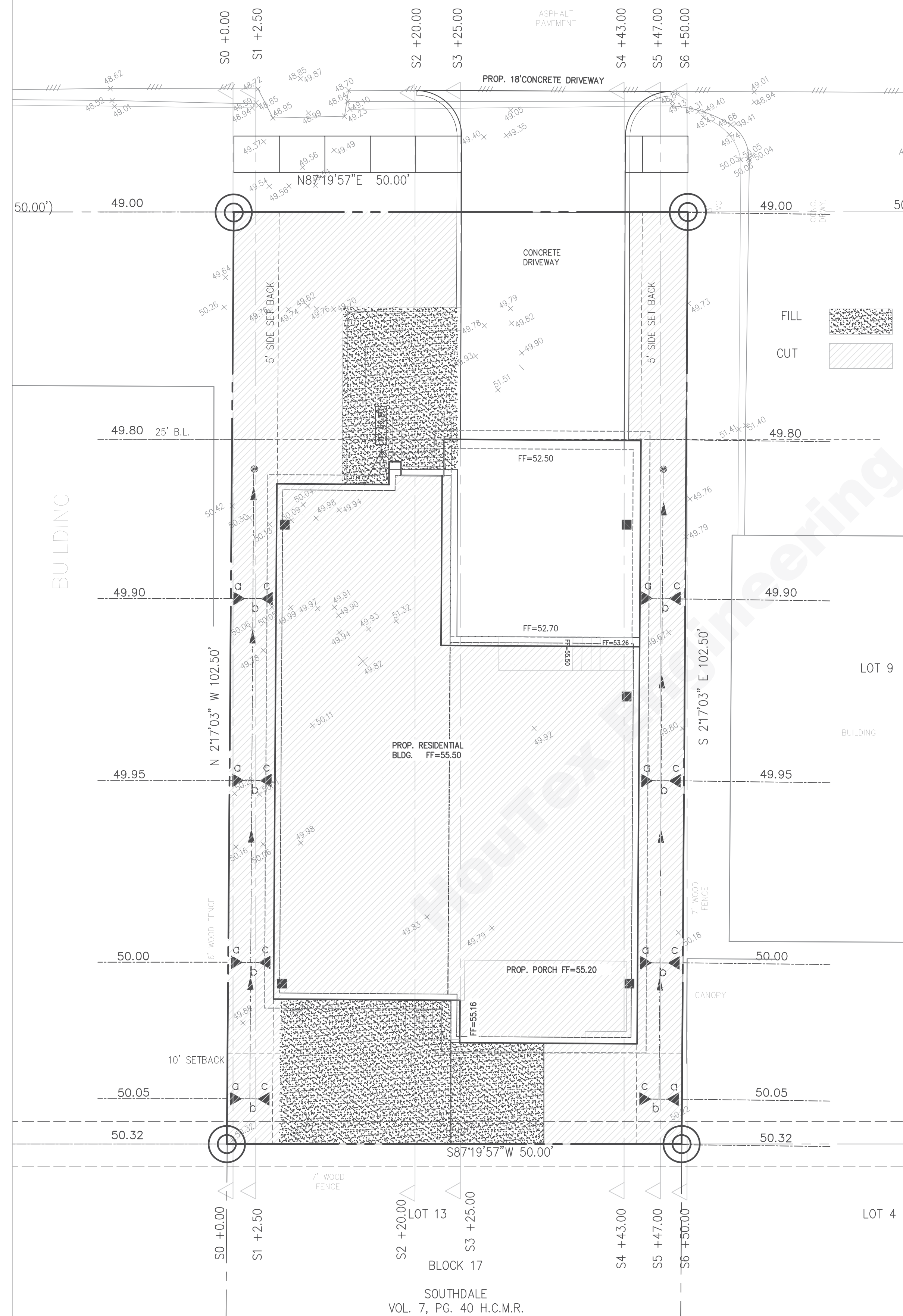
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CHECKED BY: ZM
APPROVED BY: ZM
AGENCY PROJECT# 1813801

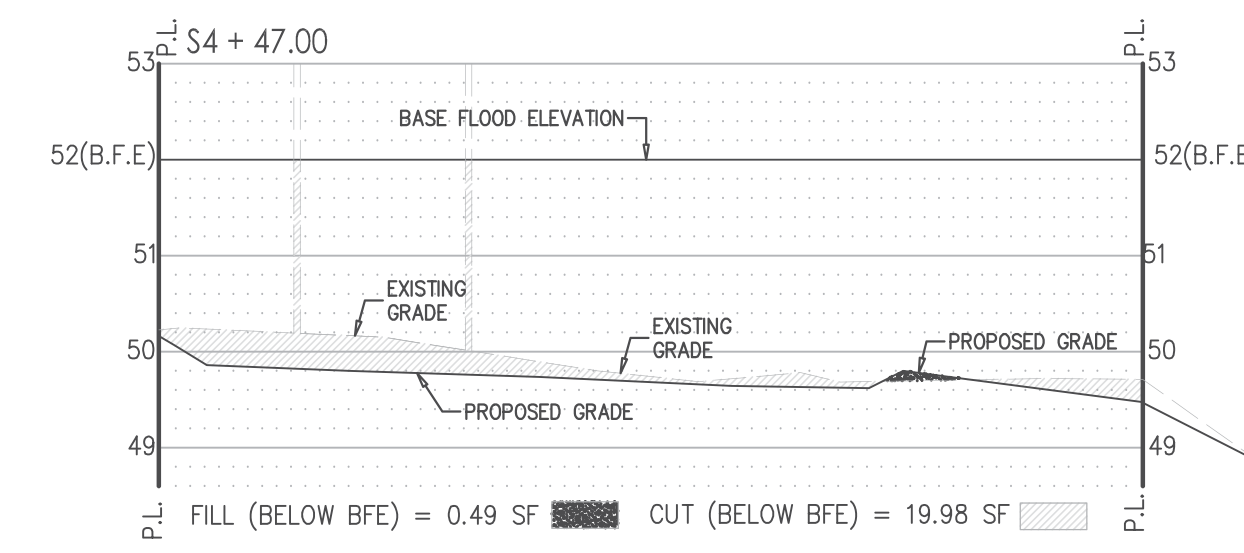
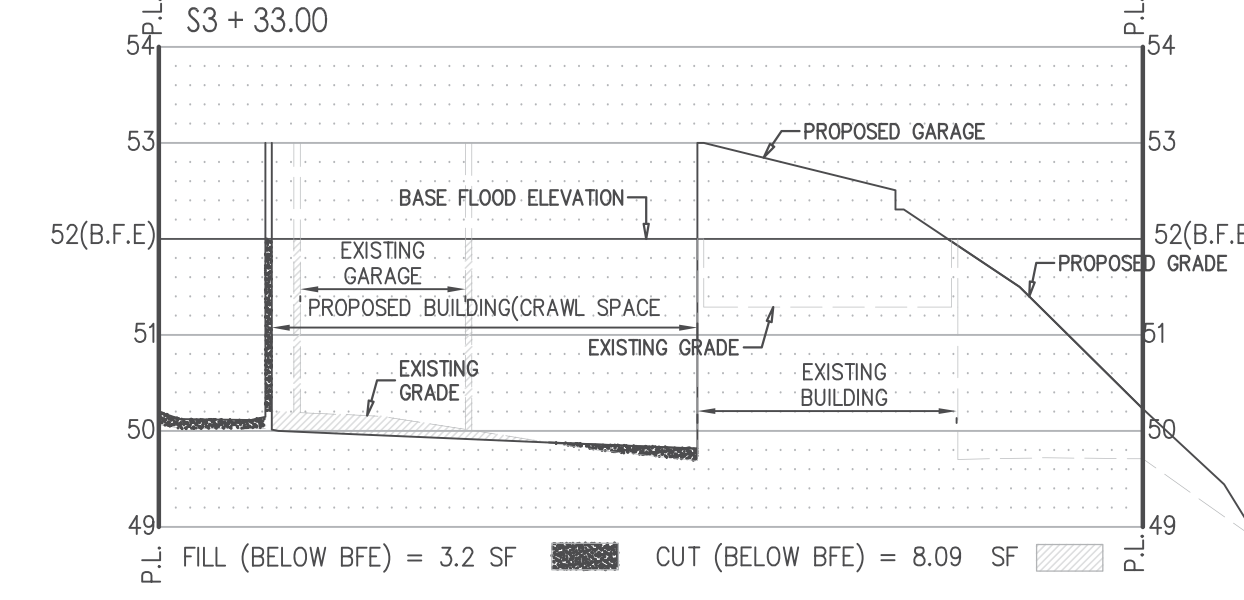
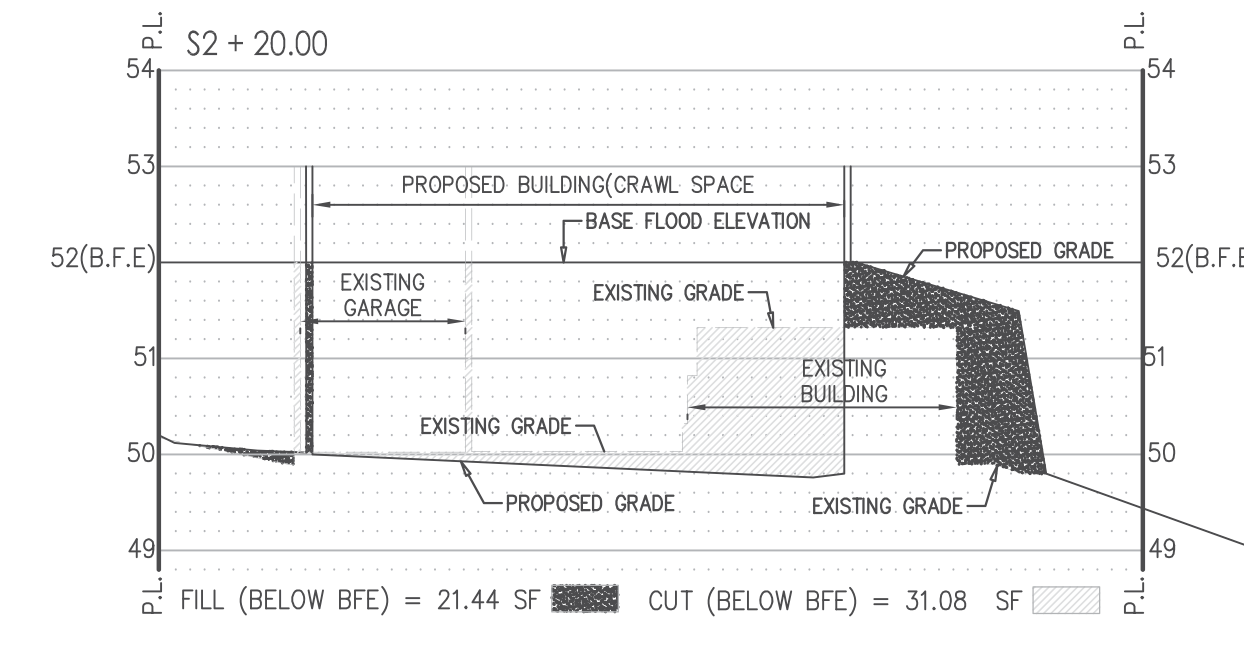
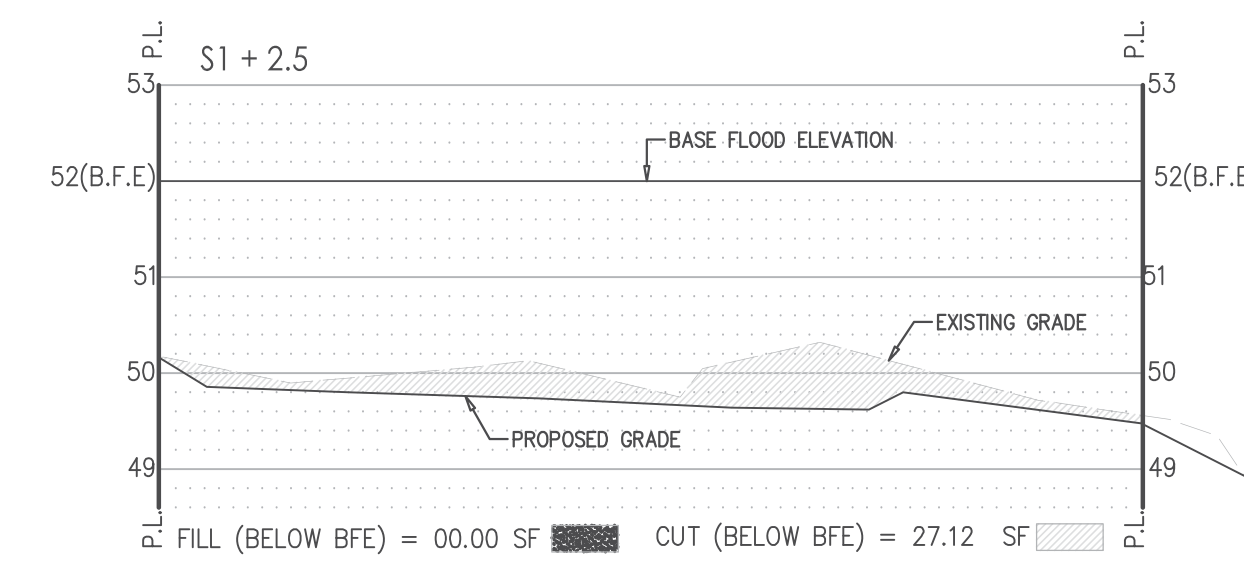
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Monday, November 11, 2019 6:30 PM, HouTex17, HTX-51B-Bldg, LETTER (8.50 x 11.00 INCHES), C001-18-137-000 & DRN-07.dwg

JIM WEST ST. (VOL. 7, PG. 40 H.C.M.R.)

(50' R.O.W.)



- * NO CUT AND FILL PROPOSED ON THE PROPERTY LINE ADJACENT TO THE NEIGHBORS.
- * CUT AND FILL CALCULATED JUST FOR THE AREAS BELOW BASE FLOOD ELEVATIONS.



100-YR BASE FLOOD ELEVATION : B.F.E. = 52.00 Ft

STATION	PLAN DISTANCE (ft)	CUT Area Below BFE (s.f.)		FILL Area Below BFE (s.f.)		CUT Volume (c.f.)	FILL Volume (c.f.)
		Section	Ave.	Section	Ave.		
S0+00		0.00	13.56	0.00	0.00	33.90	0.00
S1+2.5	2.50	27.12	29.10	0.00	10.72	509.25	187.60
S2+20	17.50	31.08	19.59	21.44	12.32	97.93	61.60
S3+33	5.00	8.09	14.04	3.20	1.85	252.63	33.21
S4+47	18.00	19.98	9.99	0.49	0.25	29.97	0.74
S5+50	3.00	0.00	0.00				
TOTAL:						923.68	283.15
CUT OVERAGE:						640.53	

LEGAL DESCRIPTION
 LT 10 BLK 17 & ADJ 2.5 FT OF
 ABANDON ALLEY
 SOUTHDALE

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STATE OF TEXAS
 REGISTERED PROFESSIONAL ENGINEER
 ZIAEDDIN MOHAMMADI
 67639
 3/26/2019

9/17/2018
 FOR CITY OF BELLAIRE COMMENTS

ABEDINI RESIDENCE

SINGLE FAMILY RESIDENTIAL

AT
 4323 JIM WEST
 BELLAIRE, TX 77401

MITIGATION PLAN & CALCULATIONS

SCALE: N.T.S.

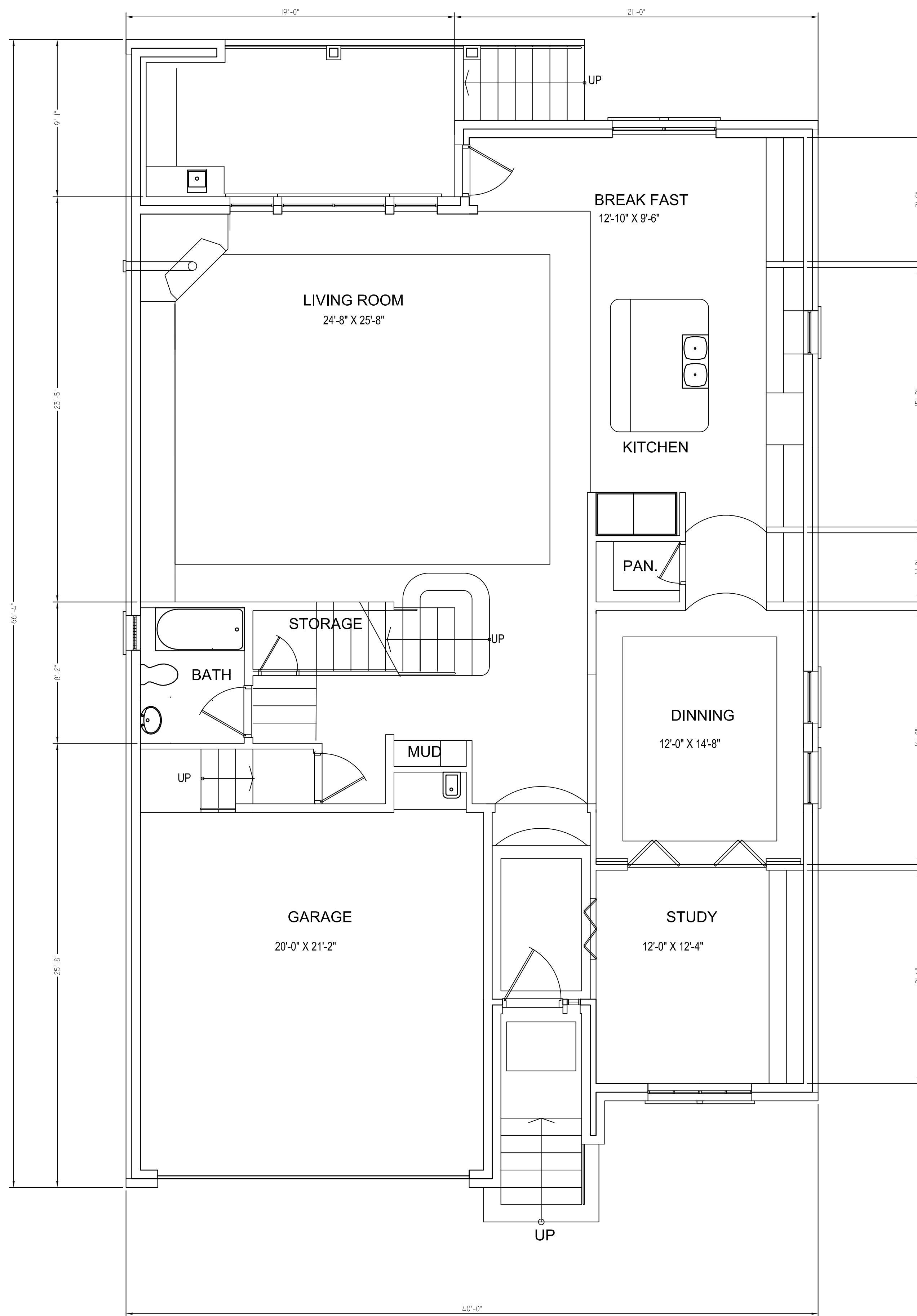
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REVIEWER AGENCY P#:
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AGENCY PROJECT#
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1ST FLOOR PLAN

SCALE: 1/4"=1'

GENERAL NOTES

THE OWNER AND CONTRACTOR SHALL HOLD HARLESS THE DESIGNER/ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES INCLUDING ATTORNEY'S FEE ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF THE UNDERWRITERS. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENDT OF THE WORK. AS THE WORK PROGRESS, THE OWNER AND CONTRACTOR AT NO COSTS SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.

CHANGES TO THE PLANS BY THE OWNER AND CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN.

NOTES:

1. CARBON MONOXIDE ALARMS 2012 IRC:

APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

2. ATTIC ACCESS APPLIANCES 2012 IRC:

ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH A PULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS.

3. ATTIC DISAPPEARING STAIRS 2012 IRC:

ATTIC DISAPPEARING STAIRS MAY BE INSTALLED IN THE GARAGE CEILING PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT-TREATED-PLYWOOD OR COVERED WITH A MINIMUM OF 16 G.A. SHEET METAL

4. GARAGE SEPERATION 2012 IRC:

THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AND 5/8" TYPE X GYPSUM BOARD WHERE THE SEPERATION IS A FLOOR/CEILING ASSEMBLY.

5. GARAGE OPENING PROTECTION DOOR IRC 2012:

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A SOLID WOOD DOOR NOT LESS THAN 1 3/8" WHICH SHALL BE SELF CLOSING HAVING A FIRE PROTECTION RATING OF 20 MINUTES.

LEGAL DESCRIPTION:

LOT 10 BLK 17
ABONDON ALLEY
SOUTHDALE

FLOOD PLAIN DATE:

MAP NO: 48201C 0855L
DATE: 06-18-2007
ZONE: AE
B.F.E: 52'

4323 JIM WEST STREET
BELLAIRE, TX 77401



DATE

REVISION

NO

1

2

3

4

5

6

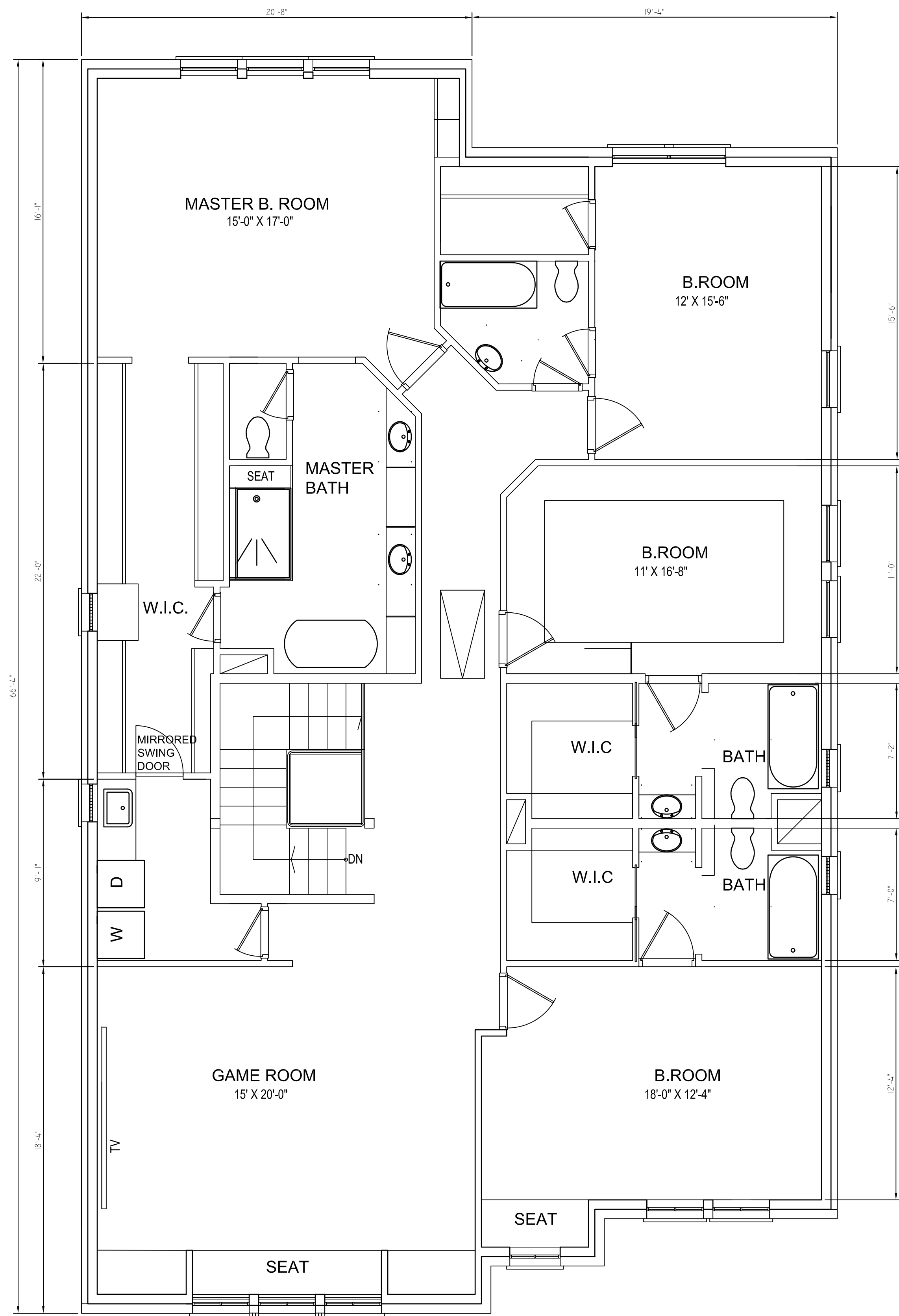
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8

ARCHITECTURAL PLAN

SCALE: 1/4"=1'

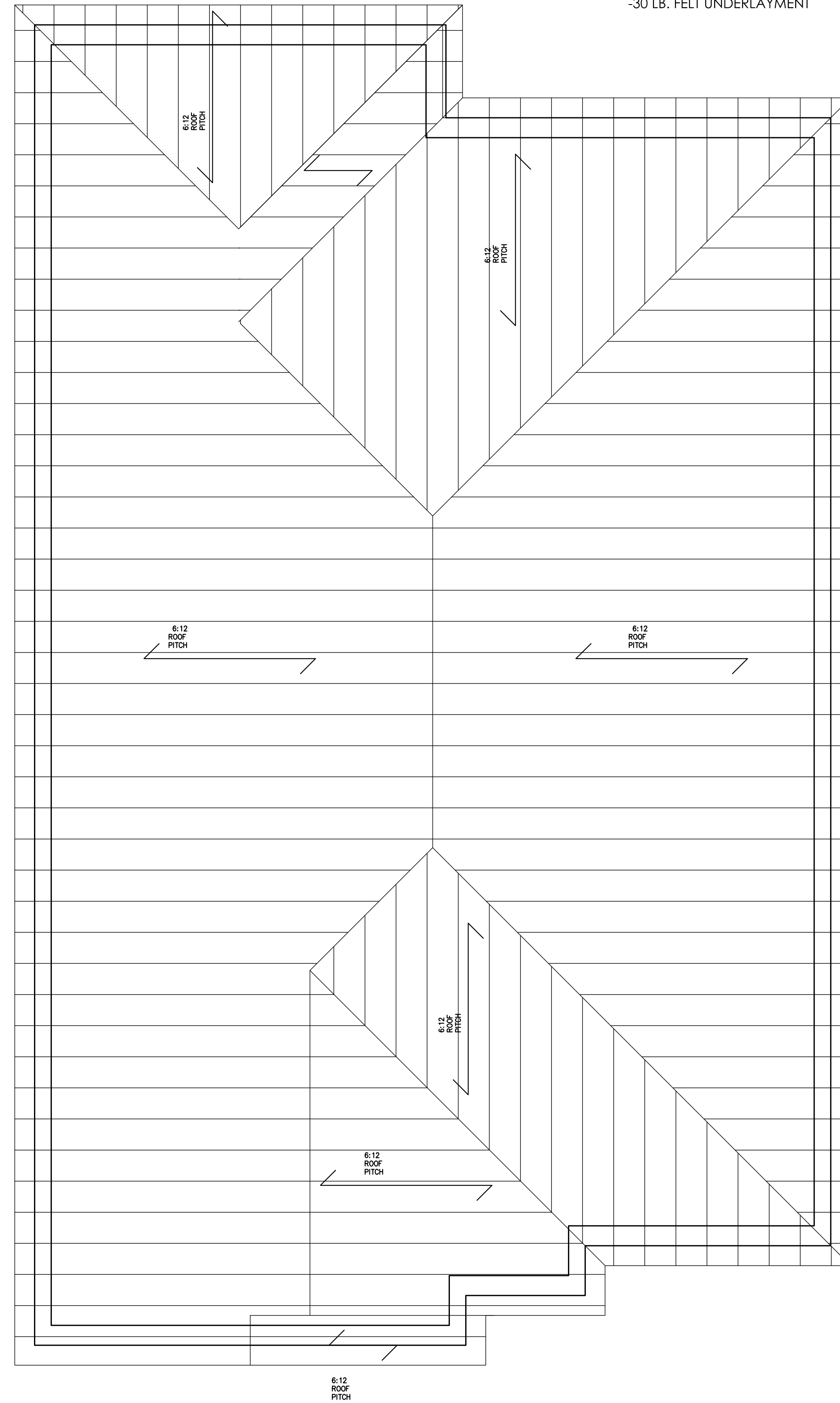
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2ND FLOOR PLAN

SCALE: 1/4"=1'

ROOF -
 ROOF SHEATHING - 5/8" OSB OR CDX
 APA #24/16 MINIMUM WITH 8D AT 6" O.C.
 EDGE NAILING AND 8D AT 12" O.C.
 FIELD NAILING -- OR AS PER STRUCTURAL PLANS
 -30 YEAR ASPHALT COMPOSITE SHINGLES
 -30 LB. FELT UNDERLAYMENT



ROOF PLAN

SCALE: 1/4"=1'

LEGAL DESCRIPTION:
 LOT 10 BLK 17
 ABONDON ALLEY
 SOUTHDALE
FLOOD PLAIN DATE:
 MAP NO: 48201C 0855L
 DATE: 06-18-2007
 ZONE: AE
 B.F.E: 52'

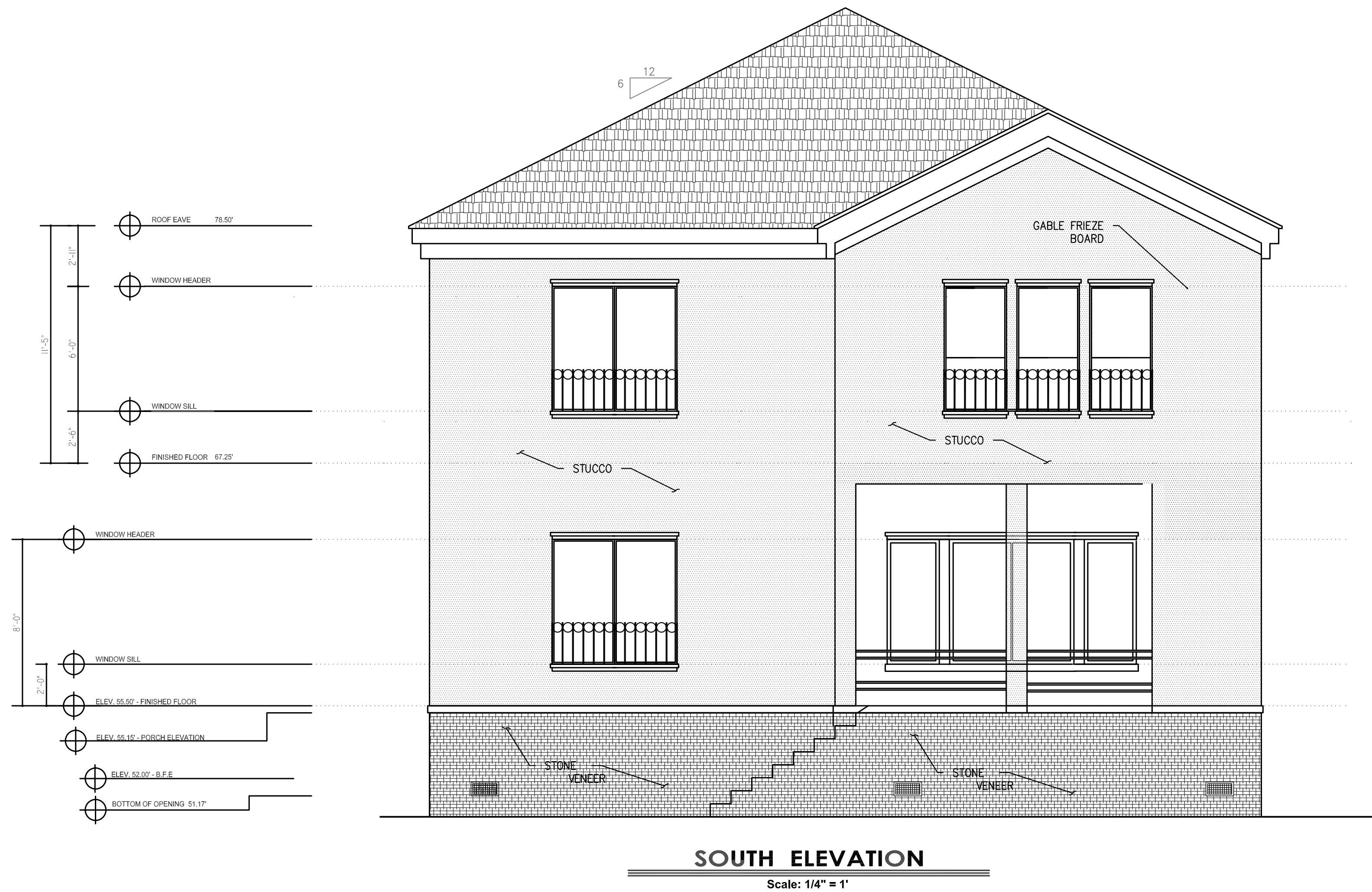
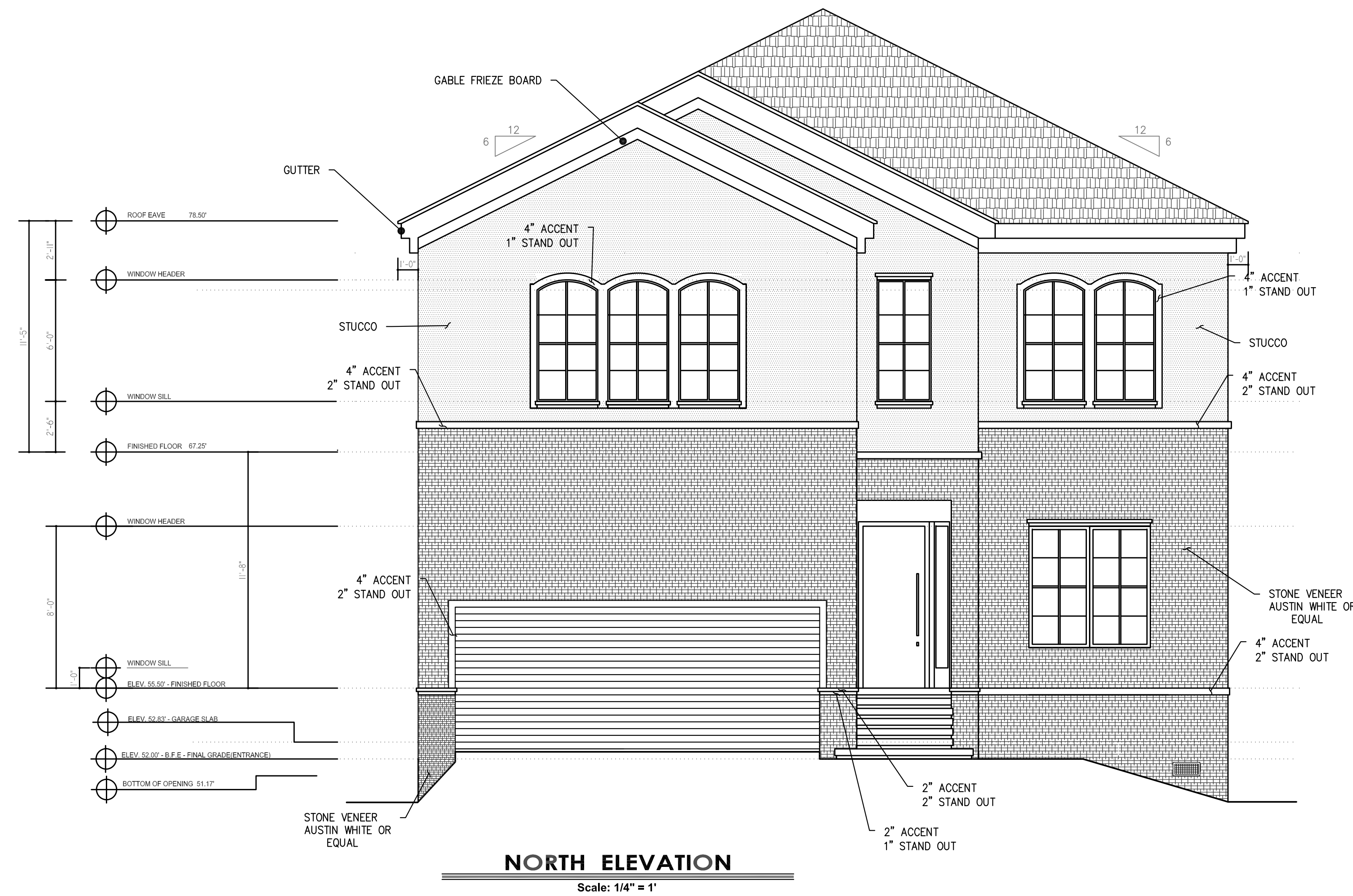
4323 JIM WEST STREET
 BELLAIRE, TX 77401



NO	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

ARCHITECTURAL PLAN
 SCALE: 1/4"=1'

A.002



LEGAL DESCRIPTION:

LOT 10 BLK 17
ABONDON ALLEY
SOUTHDALE

FLOOD PLAIN DATE:

MAP NO: 48201C 0855L
DATE: 06-18-2007
ZONE: AE
B.F.E: 52'

4323 JIM WEST STREET
BELLAIRE, TX 77401



NO	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

ARCHITECTURAL PLAN

SCALE: 1/4" = 1'

A.003

LEGAL DESCRIPTION:
 LOT 10 BLK 17
 ABONDON ALLEY
 SOUTHDALE

FLOOD PLAIN DATE:
 MAP NO: 48201C 0855L
 DATE: 06-18-2007
 ZONE: AE
 B.F.E: 52'

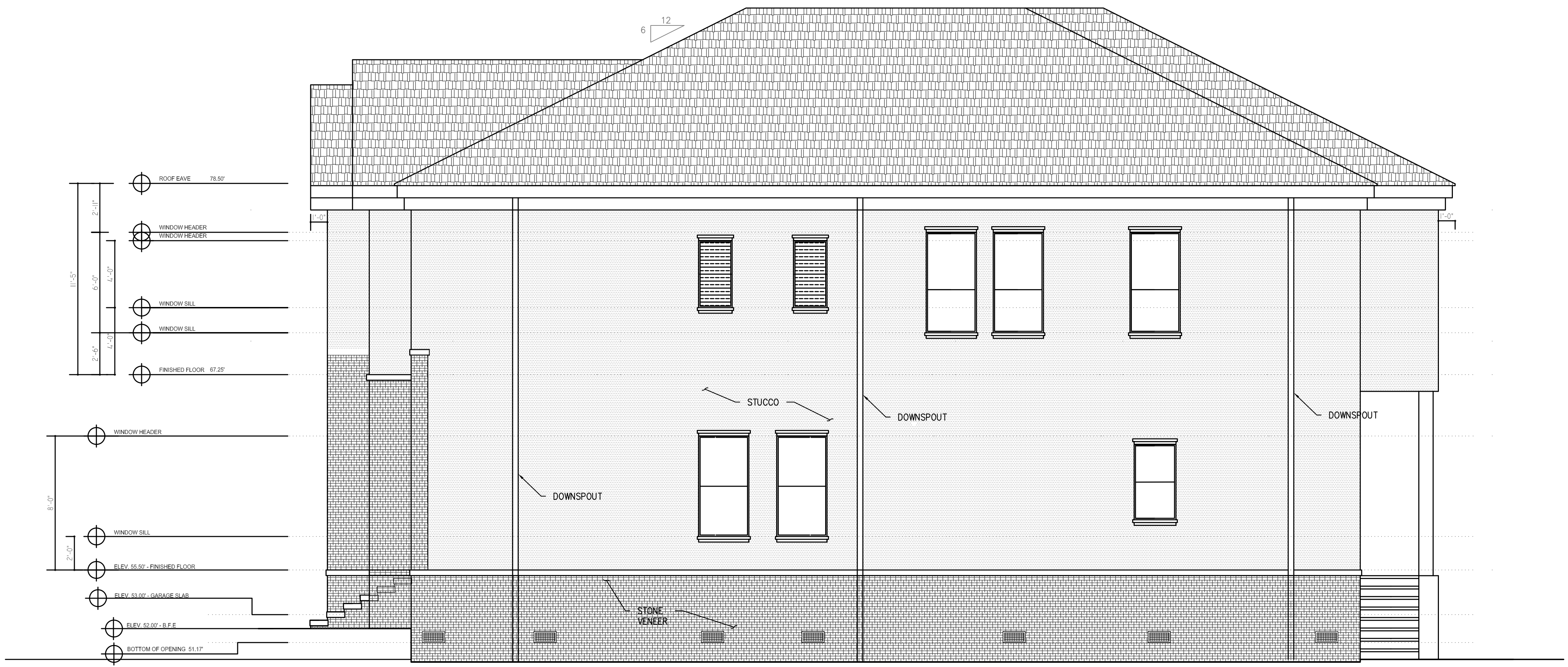
4323 JIM WEST STREET
 BELLAIRE, TX 77401



NO	REVISION	DATE
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6		
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8		

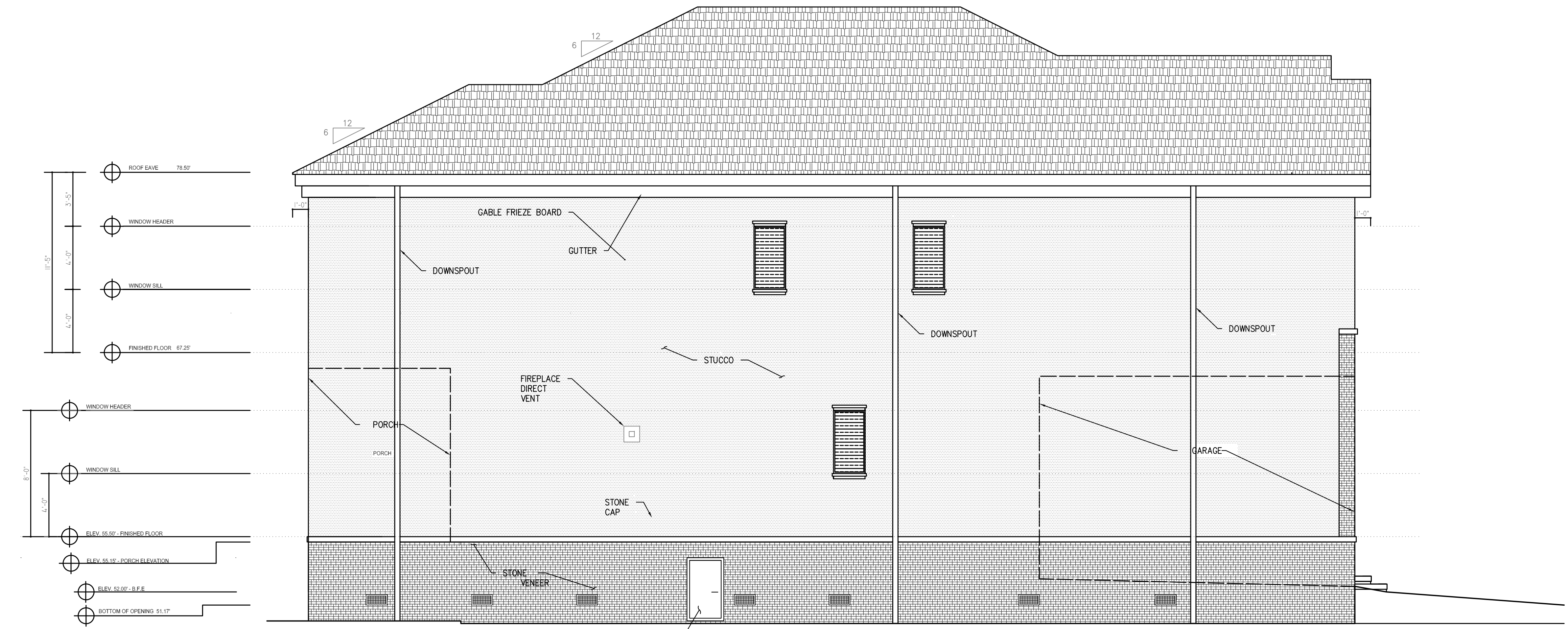
ARCHITECTURAL PLAN
 SCALE: 1/4" = 1'

A.003



WEST ELEVATION

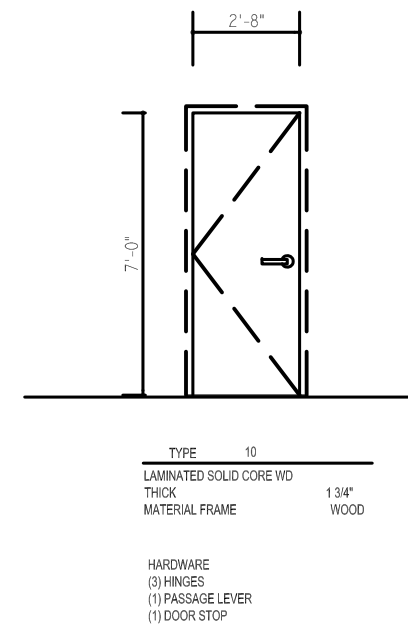
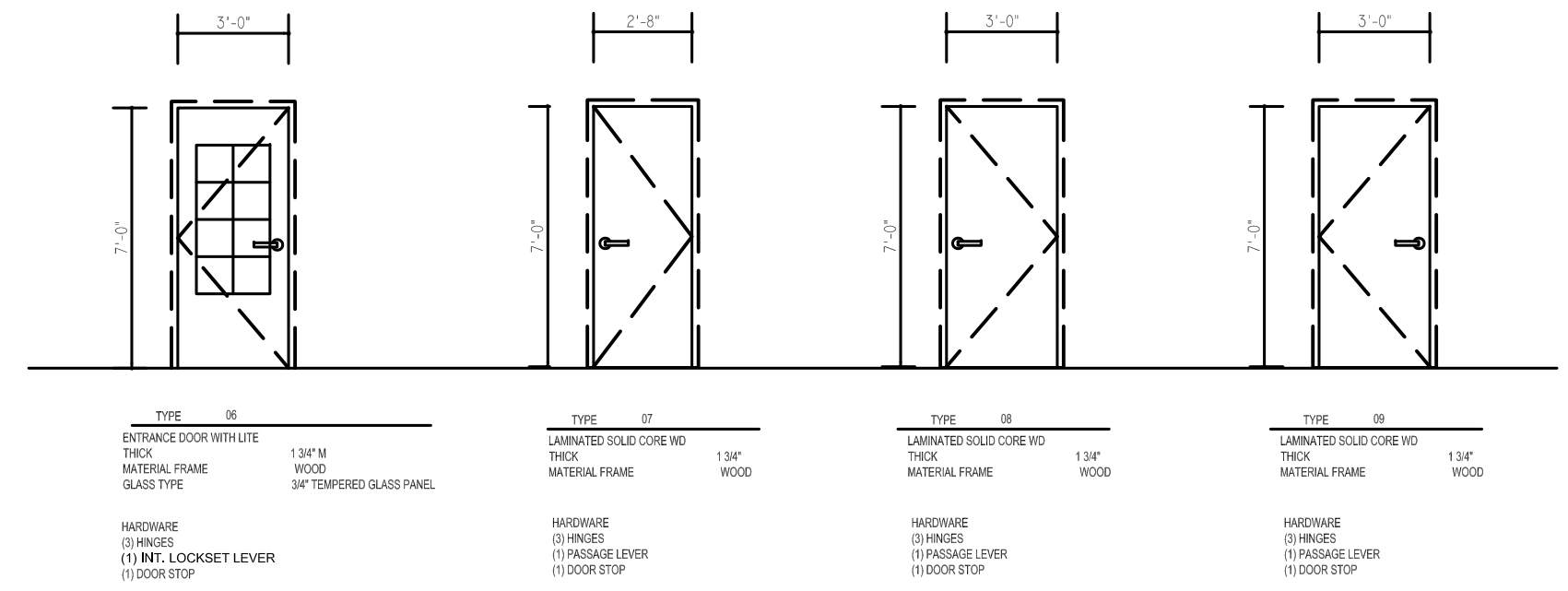
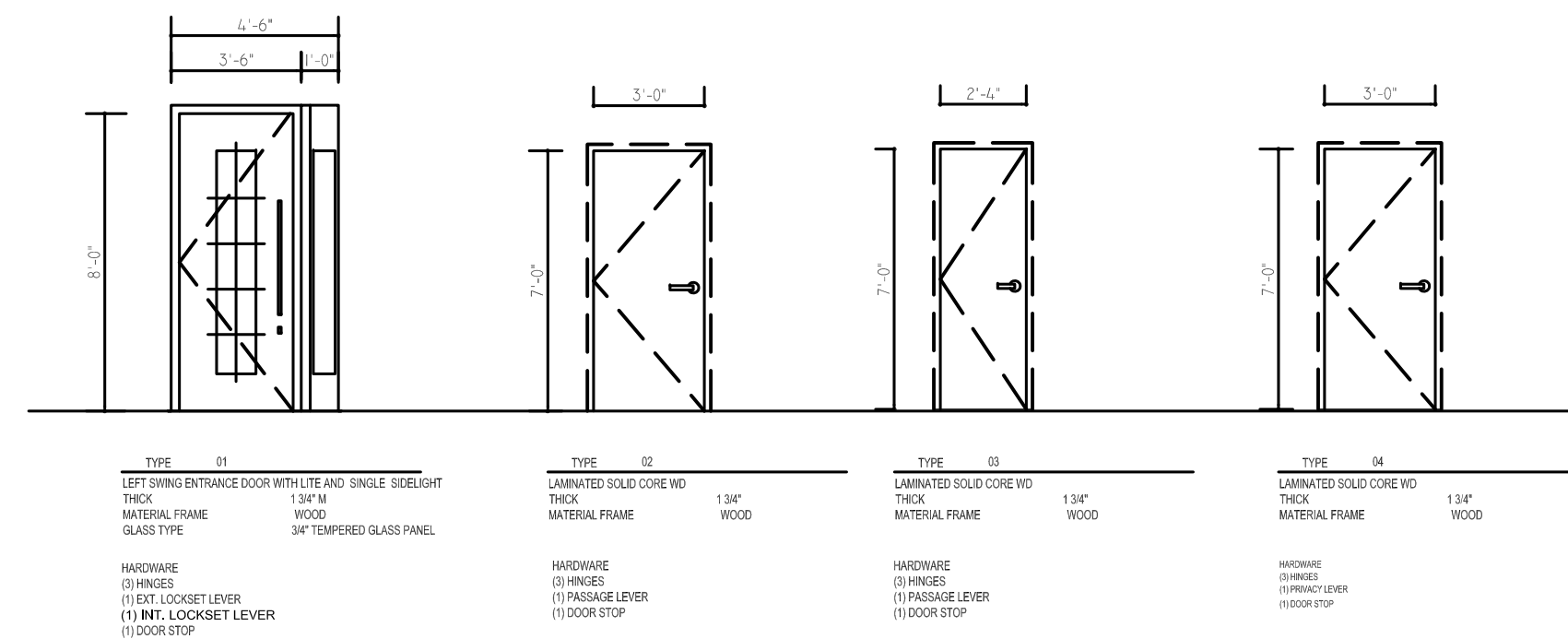
Scale: 1/4" = 1'



EAST ELEVATION

Scale: 1/4" = 1'

CRAWL SPACE ACCESS DOOR
 MATCH WITH FLOOR JOIST ON TOP
 AND FINISHED GRADE AT BOTTOM

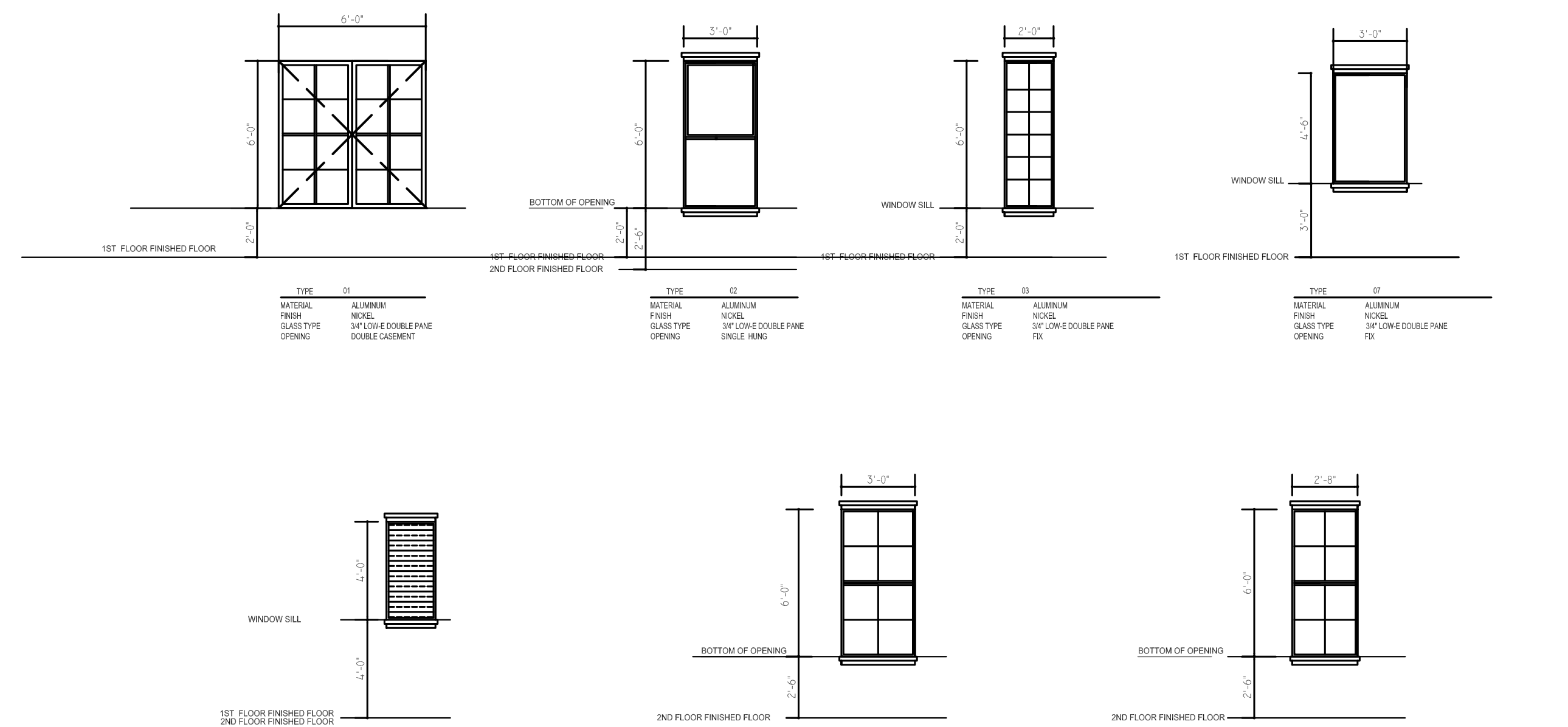


HARDWARE GENERAL SPECIFICATIONS

GRADE/TYPE	ALL HARDWARE SHALL BE COMMERCIAL GRADE HEAVY DUTY, ADA COMPLIANT
FINISH	NICKEL
HINGES	COMMERCIAL GRADE 4-1/2" SQUARE
OVERHEAD CLOSER	TAYMOR 800 SERIES DOOR CLOSER
PANIC EXIT DEVICE	TAYMOR 8500 SERIES PUSH PAD EXIT DEVICE
THRESHOLDS	FROST KING 3-1/2" X 3/8" SILVER ADJUSTABLE HEIGHT THRESHOLD OR EQUAL
PASSAGE LEVER	TAYMOR NAGARA PASSAGE SET OR EQUAL
PRIVACY LEVER	TAYMOR NAGARA PRIVACY SET OR EQUAL
INT. LOCKSET LEVER	TAYMOR NAGARA ENTRY-KD SET OR EQUAL
EXT. LOCKSET LEVER	TAYMOR NAGARA HANDLESET OR EQUAL
FIRE RATED EXT. LOCKSET	TAYMOR EXCALIBUR ENTRY SET
POCKET DOOR PULL	ROCKWOOD DOOR PULL NO. 106
DOOR STOPS	TAYMOR LOW PROFILE DOOR STOP OR EQUAL

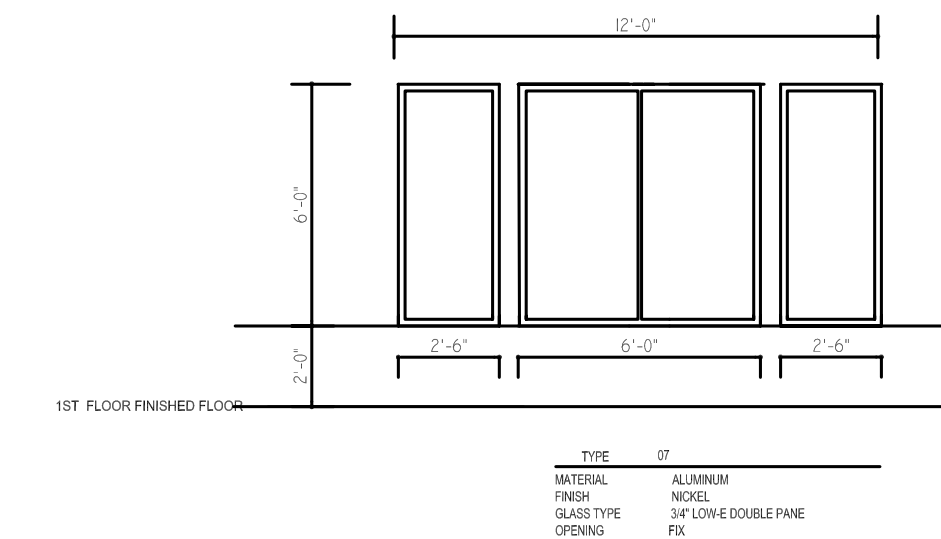
GENERAL DOOR NOTES

- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, OR SPECIAL KNOWLEDGE OR EFFORT.
- THRESHOLDS SHALL BE NO HIGHER THAN 1/2" ABOVE THE FLOOR. EDGE SHALL BE BEVELED WITH 1:2 SLOPE MAX. IF THEY EXCEED MORE THAN 1/4" IN HEIGHT.
- DOOR HARDWARE SHALL BE LEVER OR FLUSH TYPE, MOUNTED BETWEEN 30" AND 44" ABOVE FLOOR LINE AND SHALL BE OPERABLE WITH A MAXIMUM EFFORT OF 8.5 LBS OF FORCE FOR EXTERIOR DOORS AND 5 LBS OF FORCE FOR INTERIOR DOORS. FORCE TO OPEN FIRE DOORS SHALL NOT EXCEED 15 LBS. MAX.
- PROVIDE A READABLY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE MAIN ENTRANCE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." THE SIGN SHALL BE 1" HIGH ON A CONTRASTING BACKGROUND.
- ALL FIRE RATED DOOR ASSEMBLIES SHALL HAVE FIRE RATED HARDWARE, BE SELF CLOSING AND TIGHT FITTING WITH SMOKE CONTROL AND DRAFT GASKET.
- INSTALL ALL DOORS AND HARDWARE PER MANUFACTURER'S INSTRUCTIONS.



1. PROVIDE LAMINATED TEMPERED FLOAT GLASS MEETING THE REQUIREMENTS BELOW.

BUILDING ENVELOPE REQUIREMENTS: FENESTRATION	
CLIMATE ZONE	2
VERTICAL FENESTRATION	
U-FACTOR	
FIXED FENESTRATION	0.50
OPERABLE FENESTRATION	0.65
ENTRANCE DOORS	0.83
SHGC	0.25
SKYLIGHTS	
U-FACTOR	0.65
SHGC	0.35



DOOR AND WINDOW SCHEDULE

Scale: NTS

LEGAL DESCRIPTION:

LOT 10 BLK 17
ABONDON ALLEY
SOUTHDALE

FLOOD PLAIN DATE:

MAP NO: 48201C 0855L
DATE: 06-18-2007
ZONE: AE
B.F.E: 52'

4323 JIM WEST STREET
BELLAIRE, TX 77401



NO	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		

ARCHITECTURAL PLAN

SCALE: NTS

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