

NOTE:

SEE SHEET 1/2 FOR PLAN NOTES
1 SQUARE FOOTAGES.

FIRST FLOOR PLAN - DIMENSIONS
ELEVATION 1/A
SCALE: 1/8" = 1'-0"

Drawing No. 1-1/A
Page 2 of 18
Revision No.



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Imperial
Series

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Drawn by C.J.D.

Novatecture

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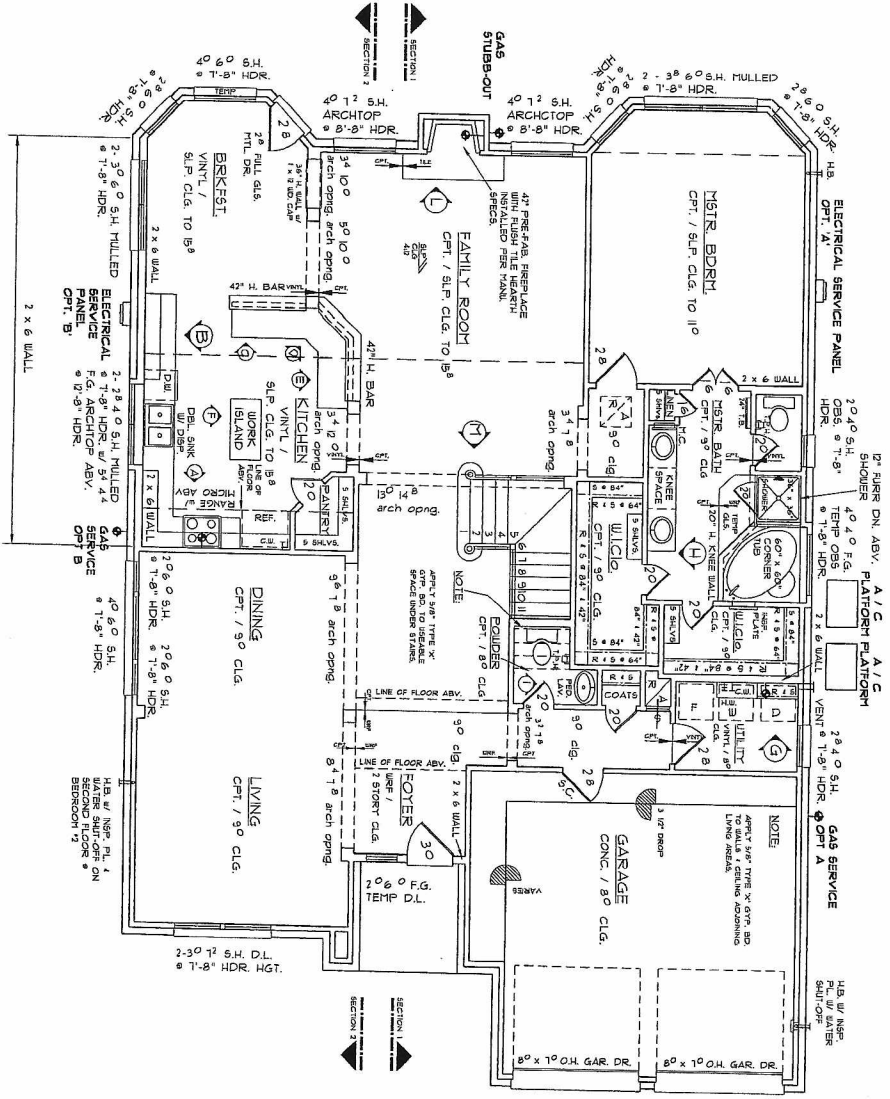
12-10-98

Date:

Plan Number KP 227

Plan Name

LEXINGTON I



SQUARE FOOTAGES	
FIRST FLOOR	2144 SQ. FT.
SECOND FLOOR	1711 SQ. FT.
TOTAL LIVING	2915 SQ. FT.
PORCH	55 SQ. FT.
GARAGE	448 SQ. FT.
TOTAL SLAB	3641 SQ. FT.

NOTE:
SEE SHEET 1.1 FOR DIMENSIONS

FIRST FLOOR PLAN - PLAN NOTES
ELEVATION 'A'

SCALE: 1/8" = 1'-0"

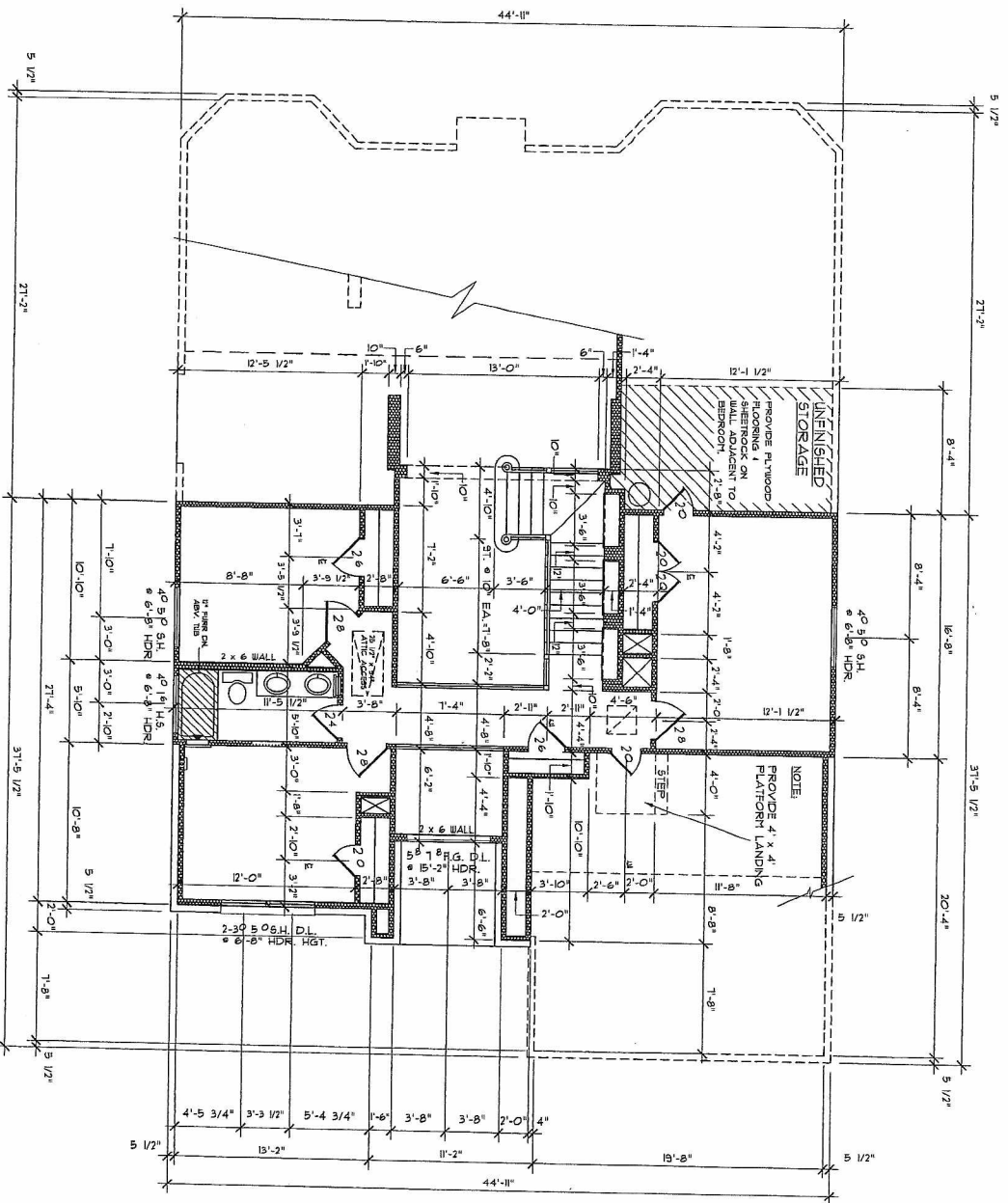
Drawing No. 1-2A
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Plan Number	227
Plan Name	LEXINGTON I
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SECOND FLOOR PLAN - PLAN NOTES
 ELEVATION 'A'
 SCALE: 1/8" = 1'-0"

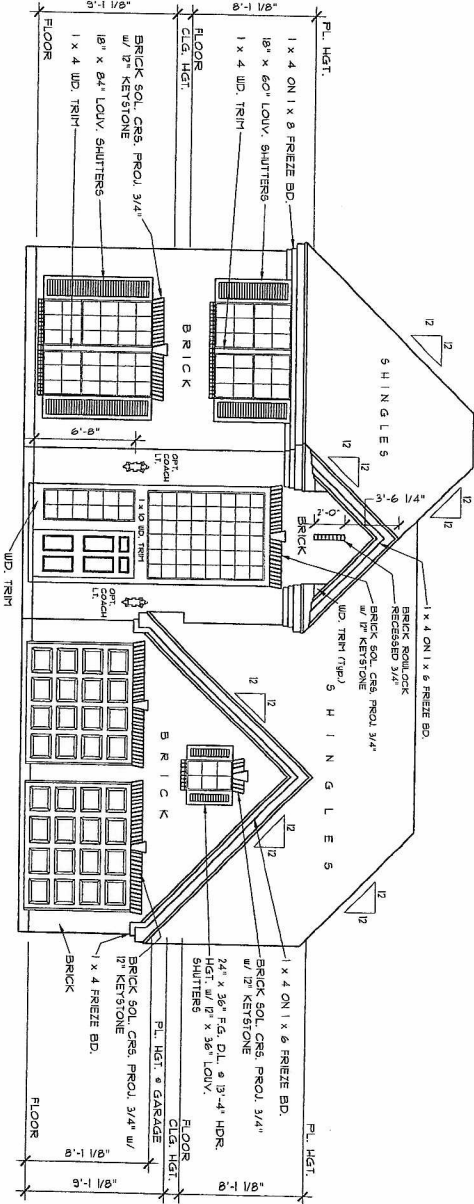
Drawing No. 2 • 1A
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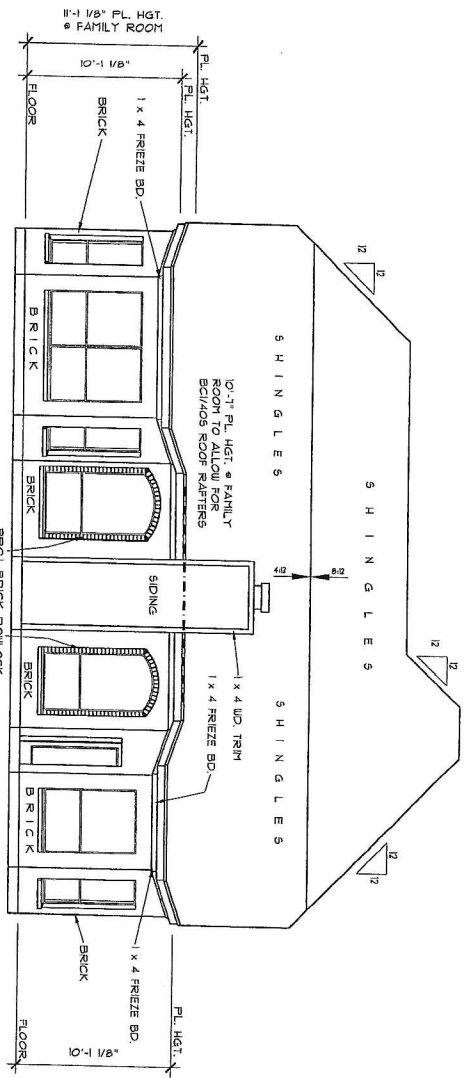
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Plan Number: LP 227
 Plan Name: LEXINGTON I



FRONT ELEVATION - ELEVATION 'A'

SCALE: 1/8" = 1'-0"



REAR ELEVATION - ELEVATION 'A'

SCALE: 1/8" = 1'-0"

03-28-03 CHANGED FAMILY RM. PL. HGT. FOR BCI ROOF RAFTERS
04-28-00 SHOW BACK DOOR

Drawing No. 301A
Page 6 of 18
Revision No. 2
Date 03-28-03

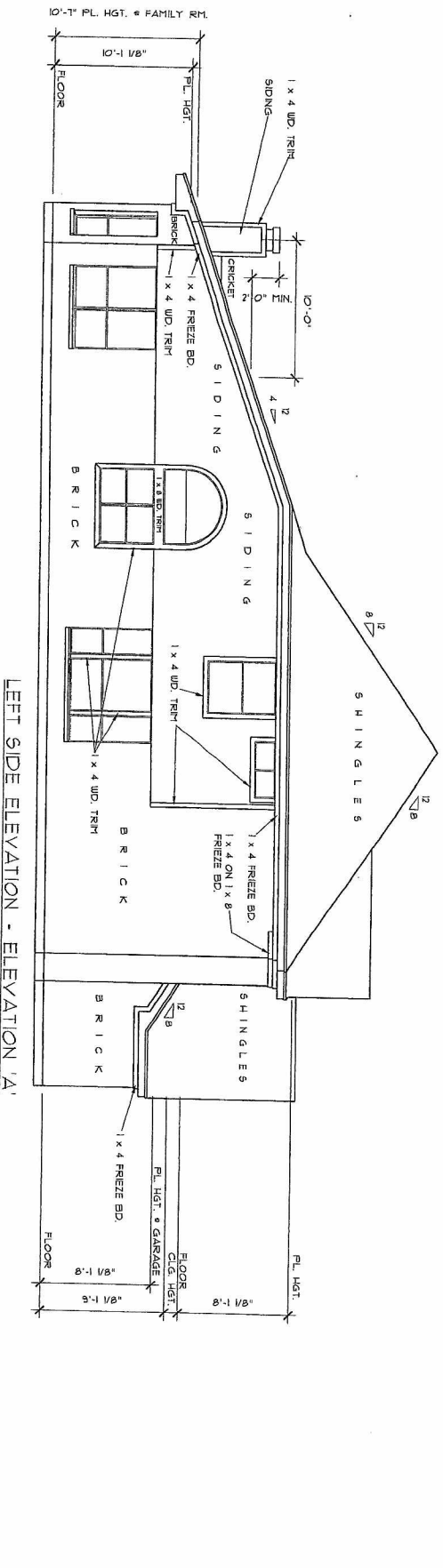


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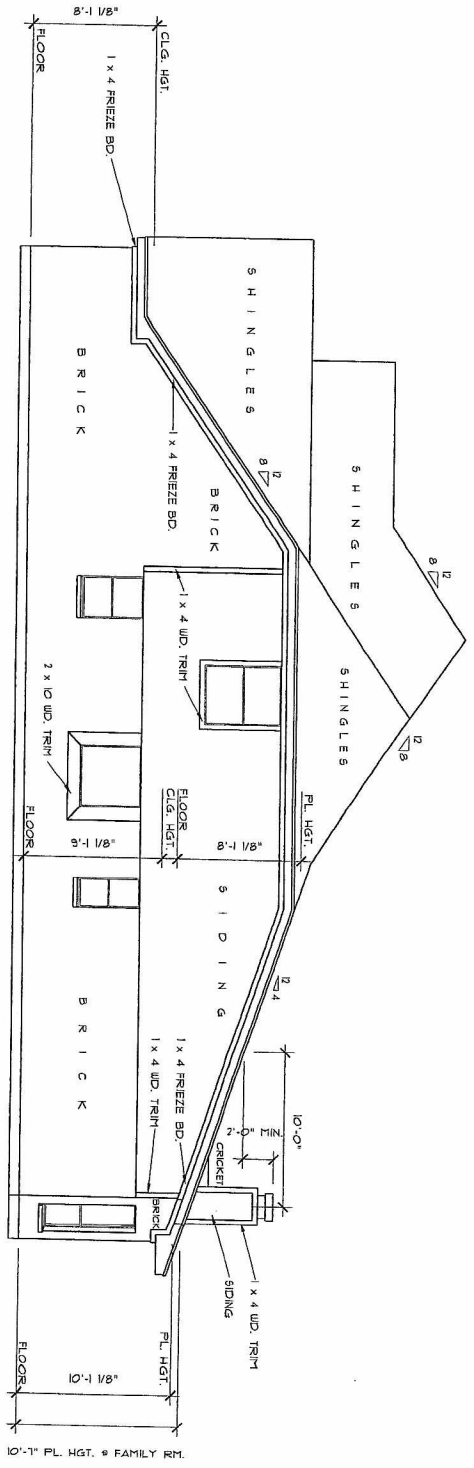
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Plan Number 227
Plan Name LEXINGTON-I



LEFT SIDE ELEVATION - ELEVATION 'A'

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION - ELEVATION 'A'

SCALE: 1/8" = 1'-0"

03-28-03 CHANGED FAMILY RM. PL. HGT. FOR BCI ROOF RAFTERS

Drawing No. 3-22A
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 Revision No. 1
 Date 03-28-03

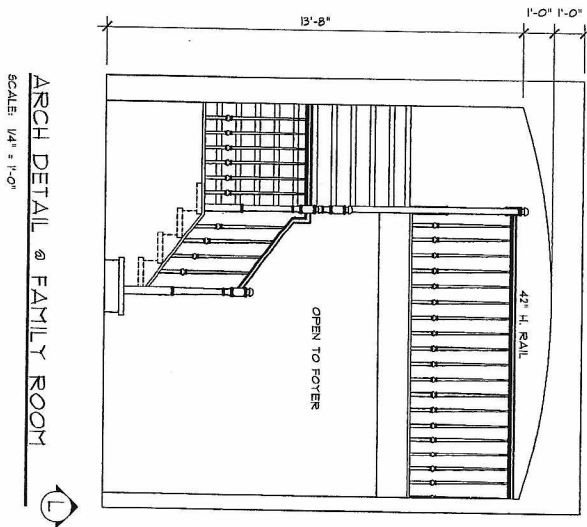
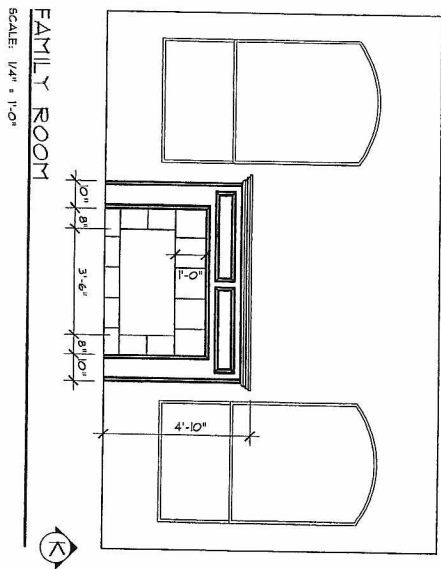


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INTERIOR ELEVATIONS - ELEVATION 'A'

SCALE: 1/4" = 1'-0"

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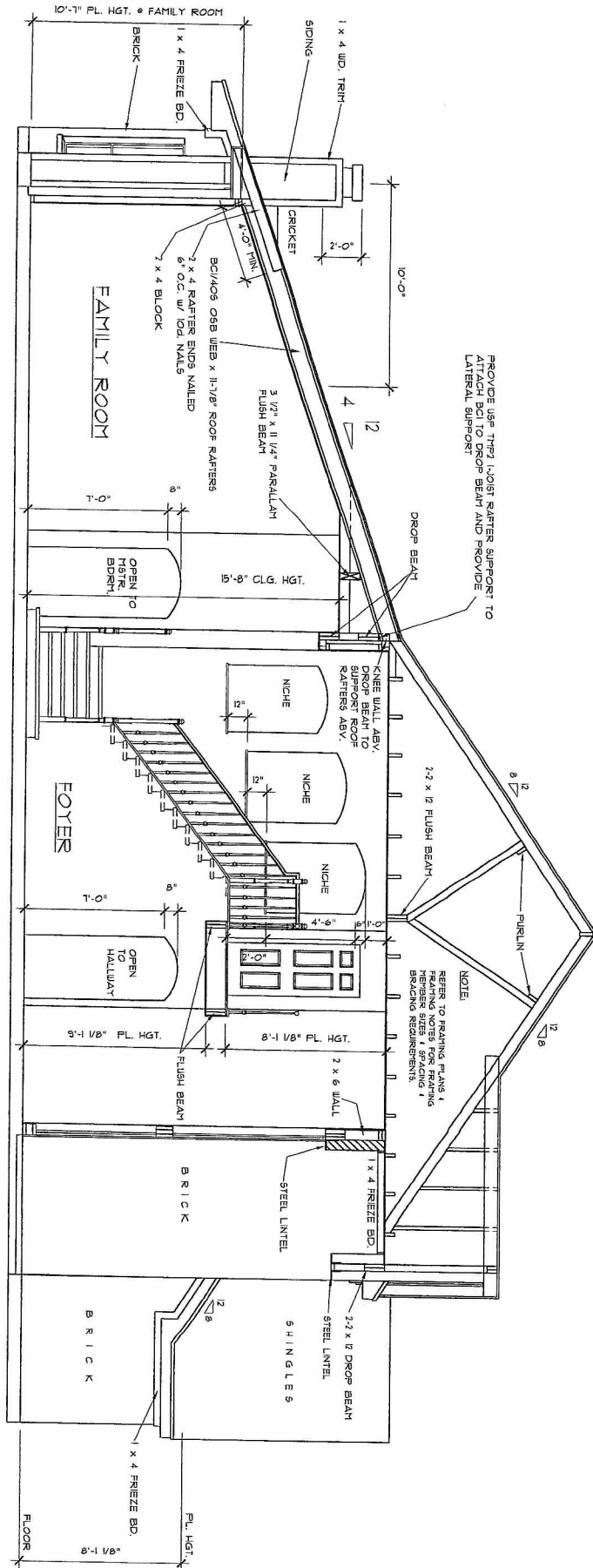


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Plan Number 1 • 227
Plan Name LEXINGTON I



BUILDING SECTION - SECTION 1
ELEVATION 'A'

SCALE: 3/16" = 1'-0"

03-28-03 CHANGED ROOF RAFTERS •
FAMILY/BRKFST. TO BCI
03-23-01 BRICK • FRONT PORCH ABV. TRANSOM
03-23-01 2 x 10 RAFTERS ABV. FAMILY/KIT/BRKFST.

Drawing No. 4 • 3A
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Date 03-28-03



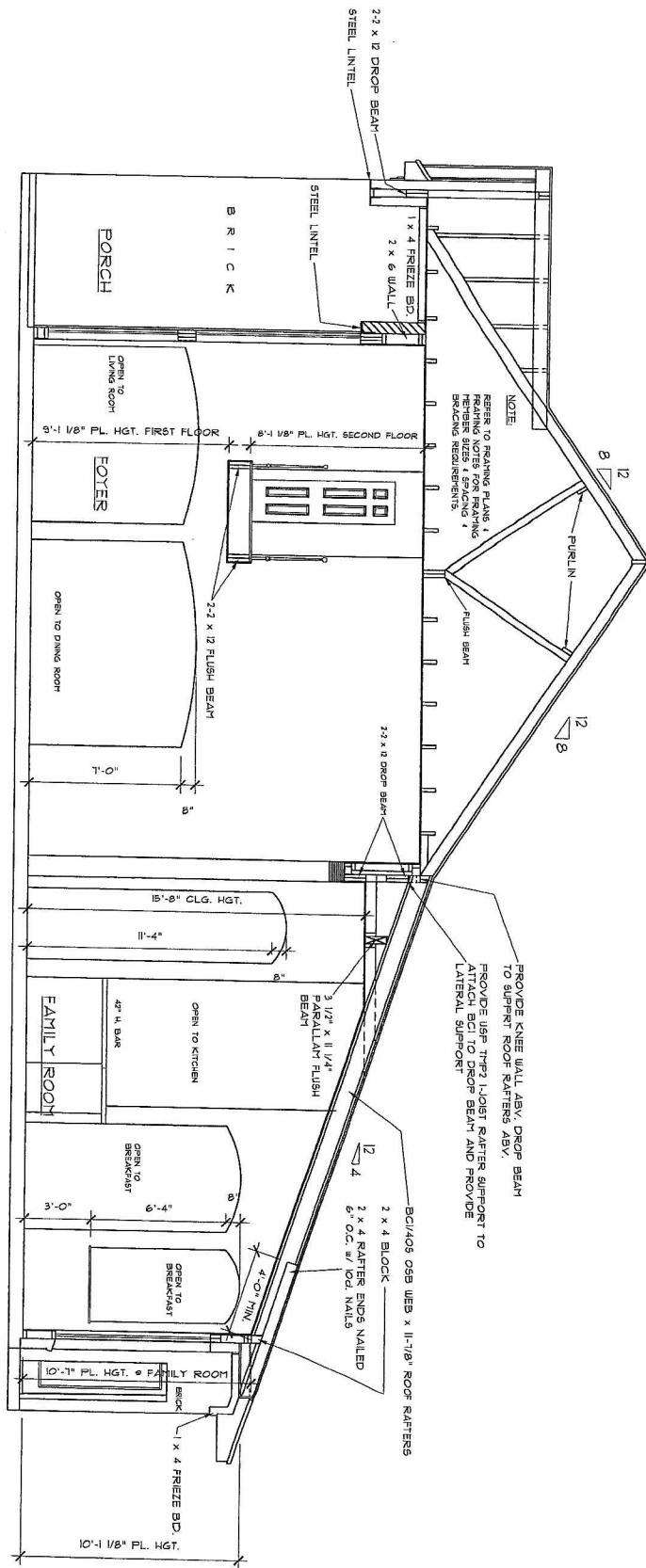
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Plan Name: LEXINGTON I



BUILDING SECTION - SECTION 2
ELEVATION 'A'

SCALE: 3/16" = 1'-0"

03-28-03 CHANGED ROOF RAFTERS ABV.
FAMILY/BKRFST. TO BCI
03-23-01 BRICK & FRONT PORCH ABV. TRANSOM
03-23-01 2 x 10 RAFTERS ABV. FAMILY/KIT/BRKFBST.

Drawing No. 4-4A
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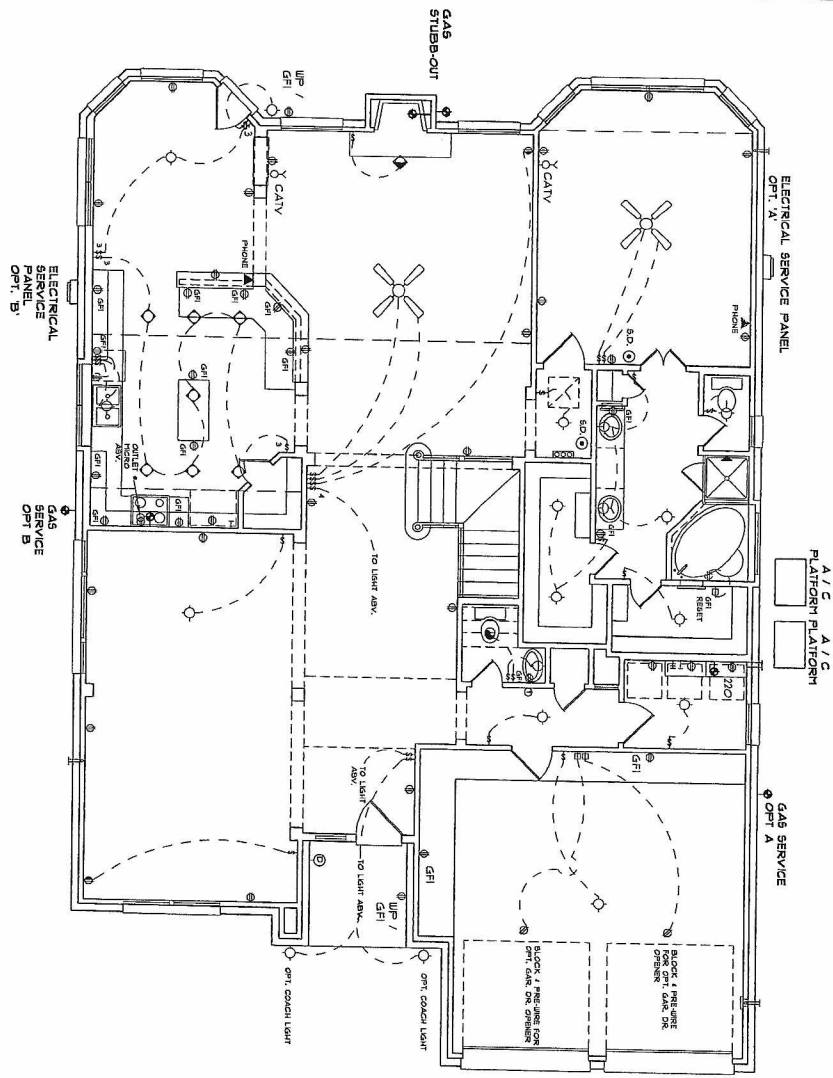
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Plan Number KP 227
Plan Name LEXINGTON I

ELECTRICAL SYMBOLS

- LIGHTING**
- SURFACE MOUNT
 - ◊ RECESSED FIXTURE
 - ◊ RECESSED WALL WASHER
 - PULL CHAIN FIXTURE
 - WALL MOUNTED FIXTURE
 - EXTERNAL FIXTURE
 - SINGLE FLOOD - WALL MOUNT
 - DOUBLE FLOOD - WALL MOUNT
 - TRACK LIGHT
 - SURFACE MOUNT FLUORESCENT
- OUTLETS**
- DUPLEX CONVENIENCE OUTLET
 - DUPLEX WITH TOP HALF SWITCHED
 - 220 VOLT
 - COUNTERTOP
 - DUPLEX WITH GROUND FAULT INTERRUPTER
 - WEATHERPROOF
 - FLOOR
- SWITCHES**
- SINGLE POLE
 - THREE WAY
 - DIMMER (ROSIAN)
 - DOOR
 - WEATHERPROOF
- MISCELLANEOUS**
- POWER PANEL
 - TELEPHONE JACK
 - DOOR CHIME
 - PUSH BUTTON
 - CABLE T.V.
 - EXHAUST FAN
 - RANGE EXHAUST DISPOSAL
 - THERMOSTAT (S-O° A.F.F.)
 - SMOKE DETECTOR
 - DOOR BELL
 - GAS LINE



**FIRST FLOOR - ELECTRICAL PLAN
ELEVATION 'A'**

SCALE: 1/8" = 1'-0"

08-02-01 ADDED ONE ADDITIONAL OUTLET IN KITCHEN
CHANGED OUTLET SPACING - BARTOP

Drawing No. **5-1A**
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Date 08-02-01



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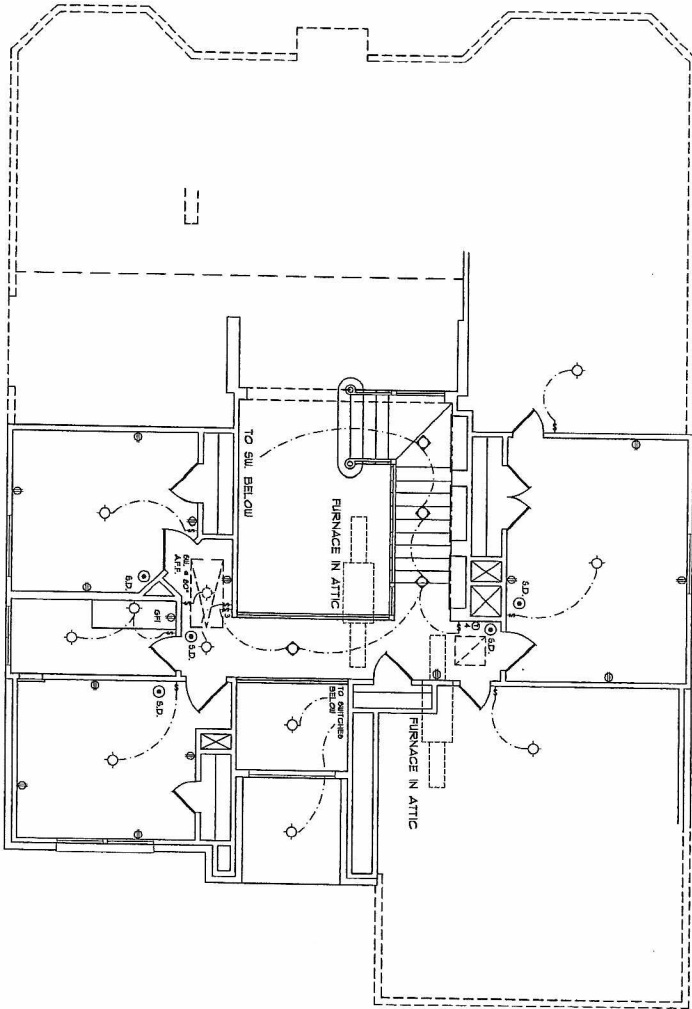
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Date: **12-10-93**
Plan Number **KP 227**
Plan Name **LEXINGTON I**

ELECTRICAL SYMBOLS

- LIGHTING**
- SURFACE MOUNT
 - ◊ RECESSED FIXTURE
 - ◆ RECESSED WALL WASHER
 - ⊙ FULL CHAIN FIXTURE
 - ⊙ WALL MOUNTED FIXTURE
 - ⊙ WALL MOUNTED FIXTURE
 - ⊙ SINGLE FLOOD - WALL MOUNT
 - ⊙ DOUBLE FLOOD - WALL MOUNT
 - ⊙ TRACK LIGHT
 - ⊙ SURFACE MOUNT FLUORESCENT
- OUTLETS**
- ⊙ DUPLEX CONVENIENCE OUTLET
 - ⊙ DUPLEX WITH TOP HALF SWITCHED
 - ⊙ 220 VOLT
 - ⊙ COUNTERTOP
 - ⊙ DUPLEX WITH GROUND FAULT INTERRUPTER
 - ⊙ WEATHERPROOF
 - ⊙ FLOOR
- SWITCHES**
- ⊙ SINGLE POLE
 - ⊙ THREE WAY
 - ⊙ DIMMER (PROSTAT)
 - ⊙ DOOR
 - ⊙ WEATHERPROOF
- MISCELLANEOUS**
- ⊙ POWER PANEL
 - ⊙ TELEPHONE JACK
 - ⊙ DOOR CHIME
 - ⊙ PUSH BUTTON
 - ⊙ CABLE TV
 - ⊙ EXHAUST FAN
 - ⊙ RANGE EXHAUST
 - ⊙ DISPOSAL
 - ⊙ THERMOSTAT (S-O° A.F.F.)
 - ⊙ SMOKE DETECTOR
 - ⊙ DOOR BELL
 - ⊙ GAS LINE



SECOND FLOOR - ELECTRICAL PLAN
ELEVATION 'A'

SCALE: 1/8" = 1'-0"

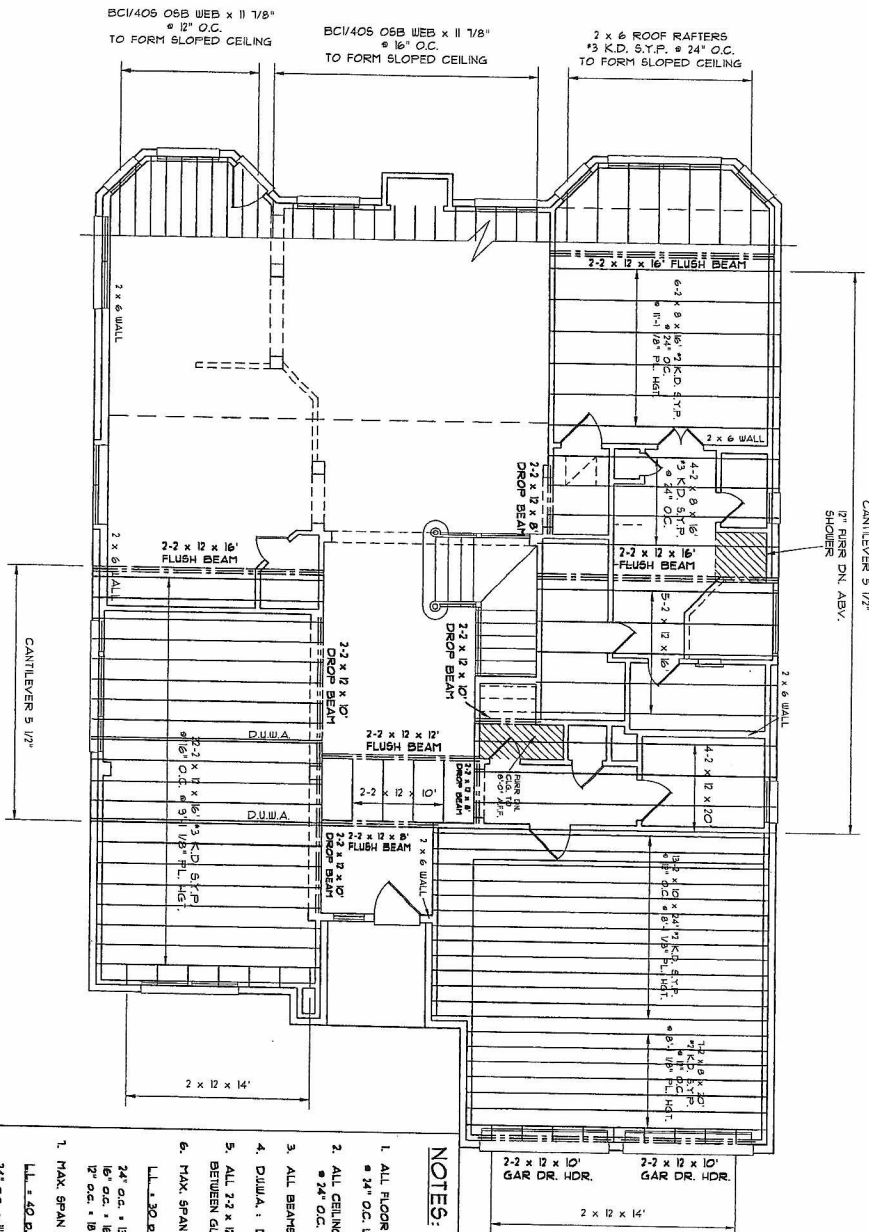
Drawing No. **5 • 2A**
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Date: **12-10-99**

Plan Number **KP 227**
Plan Name **LEXINGTON I**



- NOTES:**
1. ALL FLOOR JOIST TO BE 2 x 12 @ 16\"/>
 - 24\"/>
 2. ALL CEILING JOIST TO BE 2 x 6 @ 16\"/>
 - 24\"/>
 3. ALL BEAMS & HEADERS TO BE 2\"/>
 4. DIM. : DENOTED DOUBLE UNDER WALL ABOVE.
 5. ALL 2 x 12 BEAMS TO HAVE 3/8\"/>
 6. MAX. SPAN FOR FLOOR JOIST 19' K.D. S.T.P.
 - L.L. = 30 BAL. D.L. = 10 BAL.
 - 24' o.c. = 19'-2"
 - 16' o.c. = 16'-2"
 - 12' o.c. = 16'-8"
1. MAX. SPAN FOR FLOOR JOIST 19' K.D. S.T.P.
 L.L. = 40 BAL. D.L. = 10 BAL.
 24' o.c. = 11'-0"
 16' o.c. = 14'-5"
 12' o.c. = 16'-8"
- B. SEE FRAMING NOTES ON SHEET 6.3.

FIRST FLOOR - CEILING FRAMING PLAN
ELEVATION 'A'
 SCALE: 1/8" = 1'-0"

03-28-03 CHANGED ROOF RAFTERS ADV.
 FAMILY/BRKFST TO BCI
 03-23-03 BRICK - FRONT PORCH ADV. TRANSON
 03-13-03 2 x 10 RAFTERS ADV. FAMILY/KIT/BRKFST.



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Plan Number **KP 227**
 Plan Name
LEXINGTON I

FRAMING NOTES:

1. ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED TESTING AGENCY, KILN DRY TO 15% MAXIMUM MOISTURE CONTENT.
 3. FRAME OPENING: DOUBLE STUD FOR OPENING LESS THAN 4' WIDE AND TRIPLE STUD FOR OPENING 4' WIDE OR LARGER.
 4. PROVIDE A CONTINUOUS TIE ACROSS BUILDING WITH STRONGBACKS ON ALL JOIST SPANS OVER 7'-6" AND TWO STRONGBACKS ON ALL JOIST SPANS OVER 15'-0". STRONGBACKS SHALL BE ONE 2" x 6" VERTICAL AND ONE 2" x 4" PLAT - RUN PERPENDICULAR TO JOIST AND NAIL TO EACH JOIST.
 5. BRIDGING: PROVIDE METAL CROSS, WOOD CROSS OR 2" SOLID WOOD AT 8'-0" MAXIMUM FOR SPANS OVER 10'-0".
 6. PROVIDE COLLAR TIES OF 2" x 4" BOARDS 1/3 DOWN FROM RIDGE BEAMS SPACE 4'-0" O.C. MAX.
 7. PROVIDE RIGID UNDER ALL BRACE SPANS (HORIZONTAL SPAN) OVER 10'-0" AND BRACE TO DOUBLE JOIST OR PARTITION AT 4'-0" O.C. MAXIMUM.
 8. BRACING: PROVIDE PLYWOOD SHEATHING THICKNESS TO MATCH TYPICAL EXTERIOR SHEATHING) AT FACE OF STUDS FROM TOP TO BOTTOM PLATES AT EACH CORNER OF BUILDING AND MAJOR OFFSETS. ALTERNATE - PROVIDE 1" x 4" INSET INTO STUDS AT 45° AT SIMILAR LOCATIONS.
 9. PROVIDE DOUBLE JOIST UNDER PARTITIONS ABOVE WHICH ARE PARALLEL WITH JOIST SPAN. SPACE AND BLOCK IF PARTITION ABOVE IS A FLUJMBING WALL.
 10. PROVIDE SOLID BLOCKING AT 12" O.C. BETWEEN JOIST UNDER PARTITIONS ABOVE WHICH ARE PERPENDICULAR TO JOIST SPAN. BLOCKING SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND SHALL MATCH DEPTH OF JOIST.
 11. THE NUMBER OF WALL STUDS AT BREAKING POINTS OF 2" x 4" MEMBER BEAMS SHALL EXCEED THE NUMBER OF MEMBERS IN THE BEAM BY ONE. THE CENTERLINE OF THE BEAM SHALL BE THE CENTERLINE OF THE SUPPORTING WALL STUDS.
 12. TRUSSES SHALL BE DESIGNED FOR BEARING WALL LOADS WHERE REQUIRED.
 13. ALL CHIMNEYS TO BE 2" x 4" CONSTRUCTION WITH STRUCTURAL GRADE EXTERIOR SIDING UNLESS NOTED OTHERWISE.
 14. ALL BEAMS MADE UP OF 2 NUMBERS OF 2" x 4" JOIST SHALL USE THE FOLLOWING DIMENSIONS FOR THE MAXIMUM HORIZONTAL SPACING OF BOLTS:
 3. - 2" MEMBERS 2'-0" O.C.
 4. - 2" MEMBERS 2'-6" O.C.
 5. - 2" MEMBERS 3'-0" O.C.
 15. ALL RIDGE, HIP AND VALLEY BEAMS, PARTIES, RAFTERS AND BRICES OCCURRING IN ANY OF THE ABOVE SHALL BE BRACED ONLY TO DOUBLE JOIST OR PARTITIONS BELOW. EXCEPTION: A TWO MEMBER OR LARGER BEAM SHALL BE DESIGNED AND INSTALLED PARALLEL WITH ANY OF THE ABOVE IF JOIST BELOW ARE PARALLEL WITH THE BEAMS, RAFTERS AND PURLINS ABOVE.
 16. ALL STRUCTURAL LUMBER HAS BEEN DESIGNED BASED ON SOUTHERN YELLOW PINE OF THE FOLLOWING MINIMUM GRADES AND ALLOWABLE STRESSES AS PER NATIONAL FOREST PRODUCTS ASSOCIATION. (ANY STUDS IN SPECIES OR GRADE MUST BE COMPENSATED ACCORDINGLY)

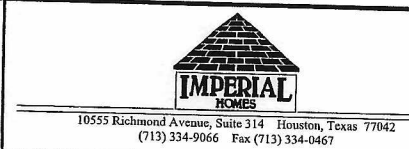
MEMBER	MINIMUM GRADE	ALLOWABLE STRESS
HEADERS, GIRDERS	#2 OR BETTER	1000
ALL OTHER LUMBER	#3 OR BETTER	800
 - * HEADERS, GIRDERS, ALLOWABLE SPANS FOR #2 S.Y.P. HEADERS OVER OPENINGS IN EXTERIOR WALLS ARE AS FOLLOWS:

WIDTH OF ROOF STRUCTURE	MAXIMUM SPAN
UP TO 26'-0"	2 - 2 x 6S
	2 - 2 x 8S
	2 - 2 x 10S
	2 - 2 x 12S
26'-0" TO 32'-0"	2 - 2 x 6S
	2 - 2 x 8S
	2 - 2 x 10S
	2 - 2 x 12S
 - WIDTH OF FLOOR STRUCTURE

HEADER SIZE	MAXIMUM SPAN
2 - 2 x 6S	3'-6"
2 - 2 x 8S	4'-6"
2 - 2 x 10S	5'-10"
2 - 2 x 12S	7'-2"
 - UP TO 24'-0"
- THESE HEADERS AND SPANS ARE ASSUMING UNIFORMLY DISTRIBUTED LOAD REQUIREMENT TO 1/2 THE WIDTH MULTIPLIED BY THE APPLICABLE LOAD. IF CONCENTRATED LOADS FROM BEAMS OR OPENINGS ABOVE ARE APPLIED TO THESE HEADERS, SPECIAL ANALYSIS WILL BE REQUIRED.
16. 6" x 6" SHEATHING: WEATHERPROOFING FACES, WATER RESISTANT GFI. JOINT COVER 3" ROOF FELT IN ROOF CEILING OR COVER BY 1# FELT OR 4 MIL. BLACK POLYETHYLENE.
 19. FOUNDATION PLATES OR SLABS SHALL BE BOLTED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE - MAXIMUM 6'-0" O.C. - MINIMUM 2 BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN 12" OF END OF EACH PIECE - PROVIDE 2 WASHER AT TOP OF PLATE.
 20. ALL EXTERIOR 4 PARTY WALL PLATES TO BE SET IN SEALANT.
 21. ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE TREATED LUMBER.
 22. PROVIDE BRICK TIES OF 22 GAUGE x 7/16" CORRUGATED METAL - 3" INTO MASONRY AT 24" HORIZONTALLY AND 16" VERTICALLY.
 23. PROVIDE MASONRY WEEP HOLES 3/2" O.C. AT BASE OR LEDGE.
 24. PLYWOOD ROOF SHEATHING SHALL BE 1/2" THICK STAMPAED C-D EXTERIOR GRADE. PROVIDE 1" CLIPS AT EDGES - PANEL INDEX TO BE _____ ALL SHALL BEAR THE APPROVED STAMP. NAIL WITH 6d COMMON NAILS 6" O.C. AT EDGES & 12" O.C. AT INTERMEDIATE SUPPORTS.
 25. PLYWOOD FLOOR SHEATHING SHALL BE _____ THICK STAMPAED C-D INTERIOR GRADE WITH EXTERIOR GULE USE TONGUE & GROOVE PLYWOOD IF CALLED FOR ON WALL SECTION). PANEL INDEX TO BE _____ ALL SHALL BEAR THE APPROVED STAMP. NAIL WITH 6d COMMON NAILS 6" O.C. AT EDGES & 10" O.C. AT INTERMEDIATE SUPPORTS.
 26. FOR 3 STORY CONSTRUCTION, ALL BEARING WALLS SUPPORTING 2 FLOORS, ROOF & CEILING SHALL BE DOUBLE 2" x 4 STUDS @ 16" O.C. ALTERNATE SHALL BE 3" x 4 STUDS @ 16" O.C. IN USE OF DOUBLE STUDING.

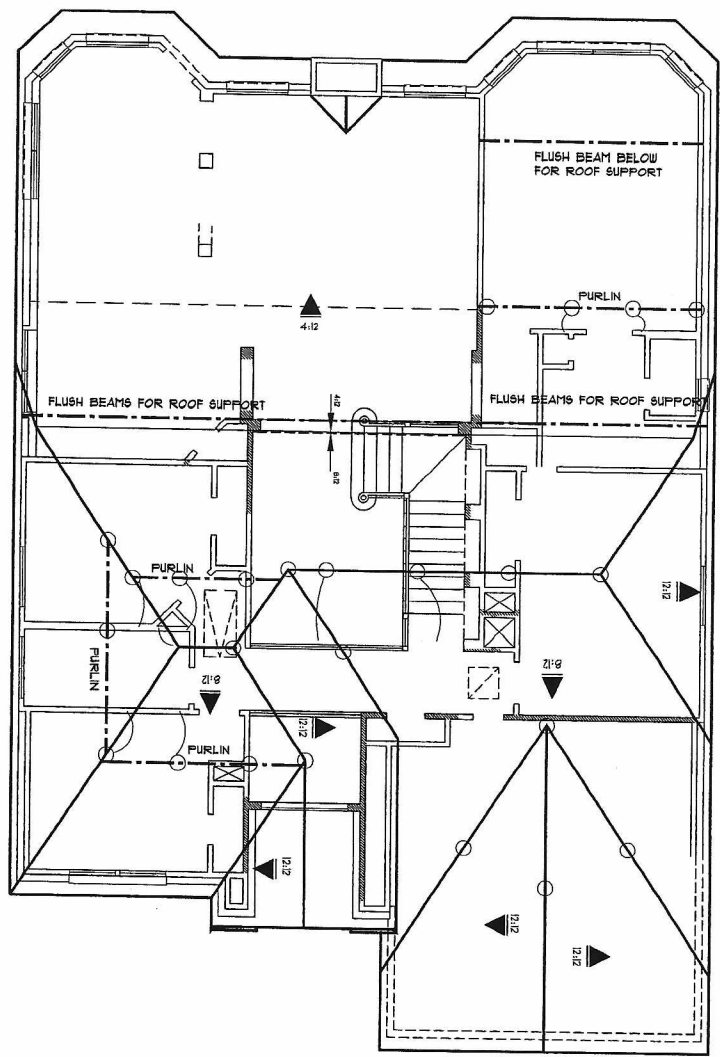
FRAMING NOTES - ELEVATION 'A'

Drawing No. **6-3A**
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Imperial Series

Plan Number **227**
 Plan Name **LEXINGTON I**
 Date: **12-10-99**
 Designed by: **NOVATECTURE**
 Drawn by: **C.J.D.**
 Checked by:



ROOF PLAN - ELEVATION 'A'

SCALE: 1/8" = 1'-0"

Drawing No. T • 1A
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IMPERIAL HOMES

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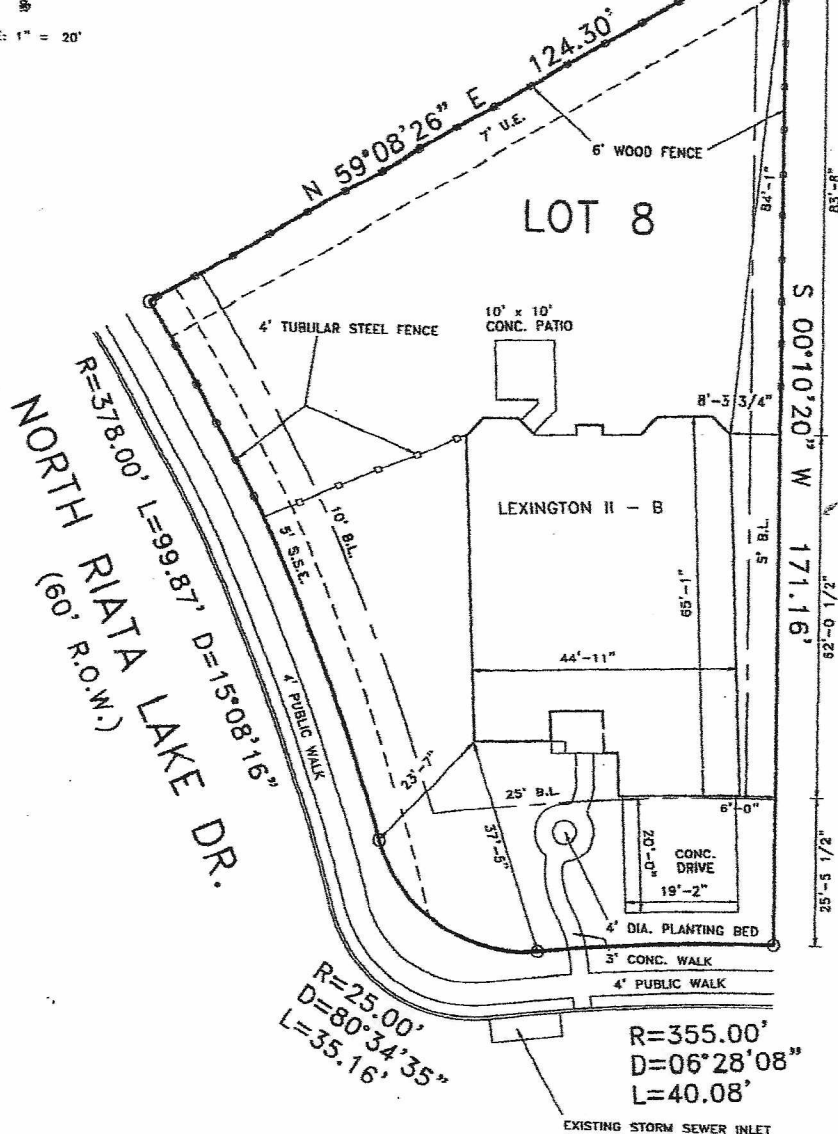
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Plan Number: KP 227
 Plan Name: LEXINGTON I



PLOT PLAN



NORTH RIATA LAKE DR.
 (60' R.O.W.)
 $R=378.00'$ $L=99.87'$ $D=15^{\circ}08'16''$

$R=25.00'$
 $D=80^{\circ}34'35''$
 $L=35.16'$

$R=355.00'$
 $D=06^{\circ}28'08''$
 $L=40.08'$

10703 BARKER LAKE CT.

PREPARED WITHOUT BENEFIT OF H.L. & P. PLAT

PLOT PLAN ONLY
 THIS IS NOT A BOUNDARY SURVEY.

- NOTES:
- 1.) PLOT PLAN PREPARED WITHOUT CURRENT TITLE COMMITMENT. EASEMENTS AND BUILDING LINES NOT SHOWN HEREON MAY AFFECT SUBJECT PROPERTY.
 - 2.) BEARINGS BASED ON PLAT OF BARKER LAKE, SEC 2 RECORDED IN FILM CODE NO. 574053, H.C.M.R.
 - 3.) SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY.

BARKER LAKE
 IMPERIAL HOMES
 HARRIS COUNTY
 TEXAS



The Windrose Survey Co.
 10675 RICHMOND AVE.
 Houston, Texas 77042
 (713) 458-2282

LOT 8
 BLOCK 1
 SECTION 2
 03-11-05